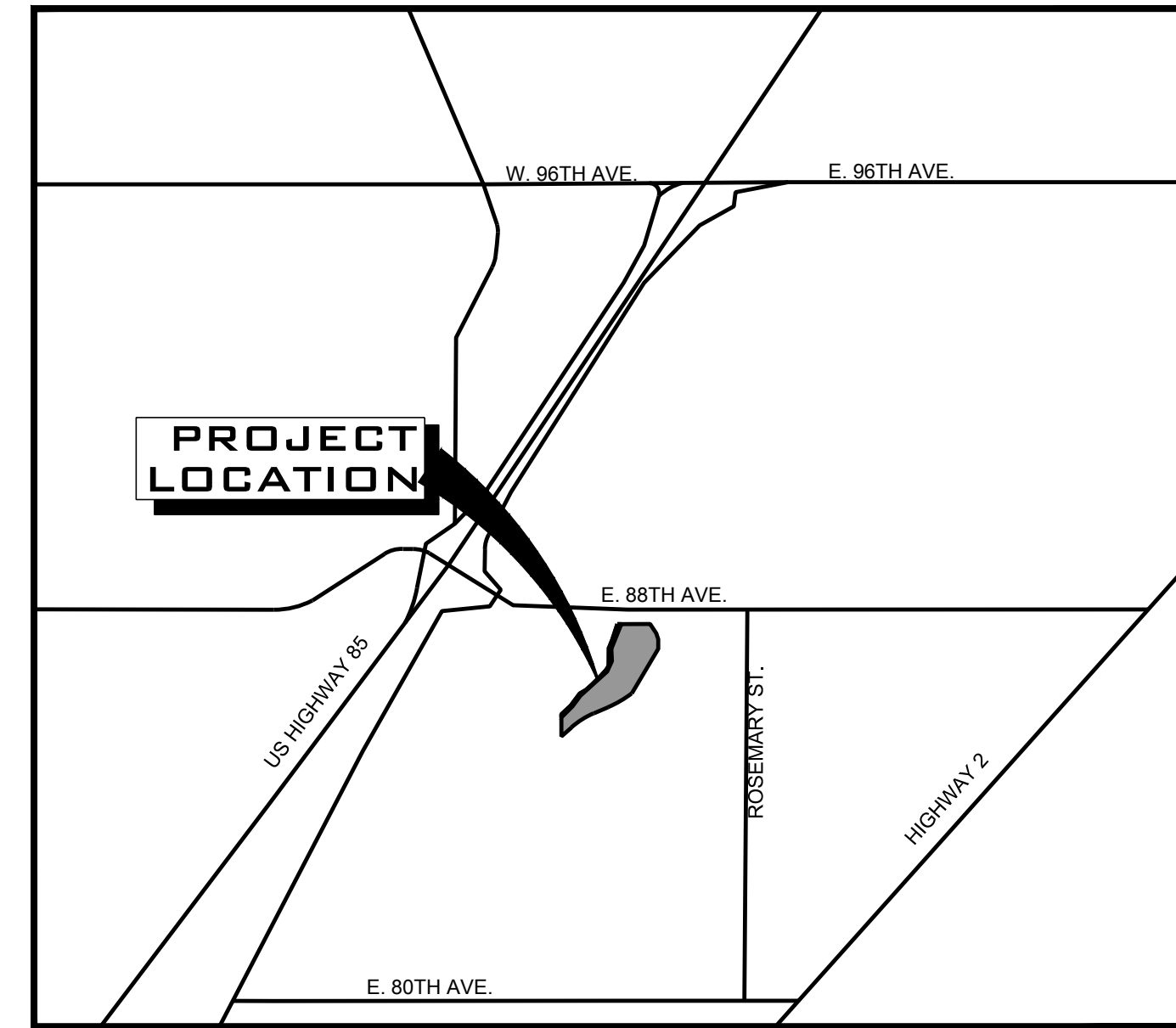


DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:
SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH,
RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004

MASTER LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTERLINE	---
---	FLOOD PLAIN	---
---	LIMITS OF DISTURBANCE	LOD
---	SWALE / STREAM FLOWLINE	---
---	OVERFLOW RELIEF PATH	---
X	FENCE LINE	X
---	EASEMENT	---
---	EDGE OF PAVEMENT	---
---	VERTICAL CURB AND GUTTER	---
---	MOUNTABLE CURB AND GUTTER	---
---	SPILL GUTTER	---
---	TRANSITION GUTTER	---
---	CONCRETE SIDEWALK	---
---	HANDICAP PARKING	---
---	SIGHT TRIANGLE	---
---	SIGN(S)	---
---	PARKING COUNT INDICATOR	---
5825	MAJOR CONTOUR	5825
5822	MINOR CONTOUR	5822
---	GRADE BREAK	---
52 FG 5236 FG	SPOT ELEVATION	52 FG 5236 FG
---	RIP RAP	---
W	WATER LINE	W
W	WATER METER	W
W	WATER VALVE	W
W	WATER REDUCER	W
W	WATER FITTINGS	W
W	FIRE HYDRANT	W
SS	SANITARY LINE	SS
SS	SANITARY MANHOLE	SS
SS	SANITARY CLEANOUT	SS
SS	STORM SEWER PIPE	SS
SS	STORM SEWER MANHOLE	SS
SS	STORM SEWER INLET	SS
SS	STORM SEWER FLARED END SECTION	SS
SS	STORM SEWER HEADWALL	SS
E	UNDERGROUND ELECTRIC	E
OHE	OVERHEAD ELECTRIC	OHE
U	UTILITY POLE	U
SL	STREET LIGHT	SL
CATV	CABLE TV SERVICE	CATV
T	TELECOM SERVICE	T
FO	FIBER OPTIC SERVICE	FO
G	NATURAL GAS SERVICE	G
T	TREE	T
---	TREE LINE	---



VICINITY MAP
SCALE 1" = 2,000'

SHEET INDEX

SHEET #	SHEET TITLE
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
C4.0	DETAILS
C4.1	DETAILS
C4.2	LINE OF SIGHT PROFILES
A-1	BUILDING ELEVATIONS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
E-1	PHOTOMETRIC PLAN
E-2	CUT SHEETS

CONTACT LIST

OWNER	CIVIL ENGINEER	SURVEYOR	ARCHITECT
ALL DEMOLITION AND EXCAVATING CO. 6300 W. 49TH DRIVE WHEAT RIDGE, CO 80033 (303) 944-9686 CONTACT: TANYA BAKUM	R&R ENGINEERS & SURVEYORS, LLC 1635 WEST 13TH AVENUE, STE 310 DENVER, CO 80204 (303) 753-6730 CONTACT: ROBERT DEVENNEY, P.E.	FALCON SURVEYING, INC 9940 WEST 25TH AVENUE LAKEWOOD, CO 80215 (303) 202-1560 CONTACT: JEFFREY MACKENNA	RUDD & ASSOCIATES, ARCHITECTS 1840 EAST THURSTON AVENUE SPOKANE, WA 99203 (509) 242-3122 CONTACT: MIKE RUDD
JUMP DESIGN COMPANY 1733 SOUTH CLARKSON STREET DENVER, CO 80210 (303) 282-0463 CONTACT TOM JUMP	MEP	SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT 6595 EAST 70TH AVENUE COMMERCE CITY, CO 80037 (303) 288-2646	SOUTH ADAMS COUNTY FIRE DEPARTMENT 6050 SYRACUSE STREET COMMERCE CITY, CO 80022 (303) 288 0835

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT SATURN FIVE DEMOLITION LLC BEING THE OWNER OF THAT PART OF THE SE 1/4 OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

PARCEL A:
PLOTS 1 THROUGH 4, FOURTH ADDITION TO HENEBRYDALE, TOGETHER WITH A 40 FOOT WIDE STREET (NOW VACATED BY VACATION OF RIGHT-OF-WAY RECORDED SEPTEMBER 28, 1965, IN BOOK 1250 AT PAGE 246), AS SHOWN ON THE RECORDED PLAT OF SAID FOURTH ADDITION TO HENEBRYDALE, AS RECORDED IN PLAT BOOK 1 AT PAGE 58, ADAMS COUNTY RECORDS, BEING A PART OF THE EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL B:
THAT PART OF THE EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, AS DESCRIBED IN ORDER AND JUDGMENT, CIVIL ACTION NO. 00 CV 1526, DIV. C, RECORDED NOVEMBER 3, 2000, IN BOOK 6313 AT PAGE 215, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER; THENCE S 90°00'00" W, ALONG THE NORTH LINE OF SAID EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER, A DISTANCE OF 553.76 FEET; THENCE S 18°42'48" W, A DISTANCE OF 31.67 FEET TO THE SOUTH RIGHT-OF-WAY LINE EAST 88TH AVENUE, THE CENTERLINE OF THE ABANDONED BURLINGTON DITCH AS DESCRIBED IN COURT ORDER RECORDED IN BOOK 5941 AT PAGE 250, ADAMS COUNTY RECORDS, AND THE POINT OF BEGINNING. THENCE CONTINUING S 18°42'48" W ALONG SAID CENTERLINE, A DISTANCE OF 222.20 FEET; THENCE S 21°50'17" W ALONG SAID CENTERLINE, A DISTANCE OF 129.88 FEET;

THENCE S 00°57'24" W ALONG SAID CENTERLINE, A DISTANCE OF 238.73 FEET TO THE CENTERLINE OF SAID ABANDONED BURLINGTON DITCH, PER ALBERT G. ELHART ON JUNE 10, 2003, AS SHOWN ON LAND SURVEY PLATS RECORDED IN ADAMS COUNTY LAND SURVEY PLATS, PREPARED BY R.W. BAYER & ASSOCIATES, INC., FILE NO. 29-27-104L AND FILE NO. 29-27-105L; THENCE S 31°04'58" W ALONG SAID CENTERLINE, A DISTANCE OF 63.39 FEET; THENCE S 41°44'38" W ALONG SAID CENTERLINE, A DISTANCE OF 102.31 FEET; THENCE S 45°28'33" W, A DISTANCE OF 181.18 FEET; THENCE S 48°56'56" W ALONG SAID CENTERLINE, A DISTANCE OF 113.98 FEET; THENCE S 60°24'26" W, A DISTANCE OF 96.90 FEET TO THE CENTERLINE OF THE ABANDONED BURLINGTON DITCH, AS SHOWN ON THE LAND SURVEY PLAT RECORDED IN ADAMS COUNTY LAND SURVEY PLATS, PREPARED BY R.W. BAYER & ASSOCIATES, INC., FILE NO. 29-27-106L, DATED JULY 11, 2003 AND AS SHOWN ON THE BOUNDARY SURVEY PREPARED BY LIND ENGINEERING, FILE NO. 29-27-31L, DATED SEPTEMBER 3, 1964; THENCE S 37°09'30" W ALONG SAID CENTERLINE, A DISTANCE OF 209.80 FEET; THENCE S 47°04'00" W, ALONG SAID CENTERLINE, A DISTANCE OF 172.95 FEET TO THE WEST LINE OF THE EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 29; THENCE S 00°21'05" W ALONG SAID WEST LINE, A DISTANCE OF 43.88 FEET TO THE WESTERLY LINE OF PLOTS 1 THROUGH 4, SAID FOURTH ADDITION TO HENEBRYDALE, AS SHOWN ON THE BOUNDARY SURVEY PREPARED BY LIND ENGINEERING, FILE NO. 29-27-33L, DATED JULY 19, 1965; THENCE ALONG SAID WESTERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES:

1. N 45°07'00" E, A DISTANCE OF 220.04 FEET; 2. THENCE N 36°55'00" E, A DISTANCE OF 176.36 FEET; 3. THENCE N 48°11'00" E, A DISTANCE OF 499.00 FEET; 4. THENCE N 24°41'30" E, A DISTANCE OF 156.96 FEET; 5. THENCE N 02°48'30" W, A DISTANCE OF 155.29 FEET; 6. THENCE N 12°28'00" E, A DISTANCE OF 31.00 FEET; 7. THENCE N 22°16'14" E, A DISTANCE OF 347.96 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EAST 88TH AVENUE, BEING 30.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES, FROM THE NORTH LINE OF SAID EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29; THENCE S 90°00'00" W, ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 52.82 FEET TO THE POINT OF BEGINNING.

PARCEL C:
THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LYING NORTH OF THE RIGHT OF WAY OF DENVER AND SALT LAKE RAILROAD COMPANY, EXCEPT THOSE PORTIONS THEREOF DESCRIBED IN THE FOLLOWING BOOKS AND PAGES: BOOK 397 AT PAGES 393, BOOK 946 AT PAGE 287; BOOK 1748 AT PAGE 69; BOOK 1743 AT PAGE 339; BOOK 2170 AT PAGE 355; MARCH 11, 2002 AT RECEPTION NO. C0937518; AND APRIL 21, 2004, AT RECEPTION NO. 2040421000256630, JULY 7, 2012 AT RECEPTION NO. 2012000048518 AND FEBRUARY 25, 2014 AT RECEPTION NO. 2014000011458, AND EXCEPT THE NORTH 20 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING: 796,137 SQ. FT., OR 18.277 ACRES, MORE OF LESS.

BASIS OF BEARING:
THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARING S00°19'46"W A DISTANCE OF 2648.74' AND MONUMENTED AS SHOWN HEREON, TITLE COMMITMENT LEGAL DESCRIPTION BASIS OF BEARING N90°00'00"E.

BENCHMARK:
ELEVATIONS ARE BASED ON NGS POINT "T 405," A 1/2" STAINLESS STEEL ROD IN LOGO BOX AT SOUTHWEST CORNER OF SOUTH KIPLING PARKWAY AND KENTUCKY DRIVE. ELEVATION 5606.1 NAVD88



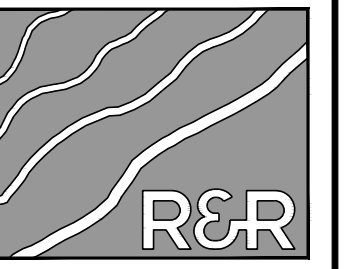
Know what's below.
Call before you dig.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	BY	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	ESJ	11/22/21
2	3RD DEVELOPMENT PLAN SUBMISSION	ESJ	06/20/22



ENGINEERS & SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

ALL DEMOLITION
7200 E. 88TH AVENUE
COMMERCE CITY, CO 80640
PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
6300 W. 49TH DRIVE
WHEAT RIDGE, CO 80033

JOB NO.	DATE
AD21005	5/7/2021
DRWN: ESJ	CHKD: RSD

COVER SHEET

NO. C0.0

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:
SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
 PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
 PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004

GENERAL NOTES:

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

PROJECT STATISTICS	
GROSS SITE AREA	18.277 AC
BUILDING SQUARE FOOTAGE	6,876 SF
NET SQUARE FOOTAGE OF LANDSCAPE AREA WITHIN LIMITS OF CONSTRUCTION	271,379 SF
OVERALL SITE LANDSCAPE/OPEN SPACE AREA	577,170 SF
LOT COVERAGE %/FAR	0.009%/0.012
# PARKING SPACES REQUIRED	5
# PARKING SPACES PROVIDED	9, 1 ADA
BUILDING CONSTRUCTION AND OCCUPANCY	V-B, B-Office S-1 Service/Repair
ZONING	AG
# OF EMPLOYEES	5

BUILDING DEPARTMENT DATA:

CONSTRUCTION CODES: 2009 IBC, 2009 IMC, 2009 IPC, 2009 IFC, 2009 IECC, 2011 NEC

TABLE 503: 9,000 SF BASIC ALLOWABLE AREA FOR S-1 OCCUPANCY
 SECTION 506: A_s = 33,750 SF = 9,000 X (9,000 X 0.75) + (9,000 X 3)
 TOTAL ALLOWABLE AREA: 33,750 SF S-1 OCCUPANCY

TABLE 508.4: SEPARATION OF B AND S-1 SPACE IS RATED 1 HOUR
 TABLE 601: STRUCTURAL FRAME ELEMENTS FOR V-B IS NOT RATED

SECTION 903.2.11.1(2): PROVIDE 20 SF OF OPENING IN EACH 50 LF OF EXTERIOR WALL IN LIEU OF SPRINKLER SYSTEM.

TOTAL SF OF OPENING REQUIRED: 136.8 SF
 (TOTAL BUILDING LF = 342 LF/50 = 6.84 X 20 SF = 136.8 SF)

TOTAL SF OF OPENING PROVIDED: 391 SF

TABLE 1004.1.2 OCCUPANT LOAD

6,300 SF/500 = 13 SERVICE / REPAIR
 2,626 SF/100 = 27 OFFICE AREA
 TOTAL = 40 OCC.

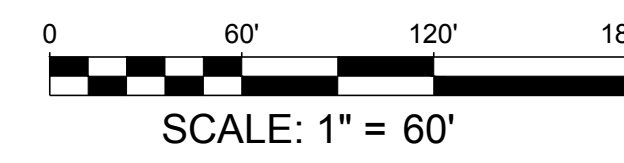
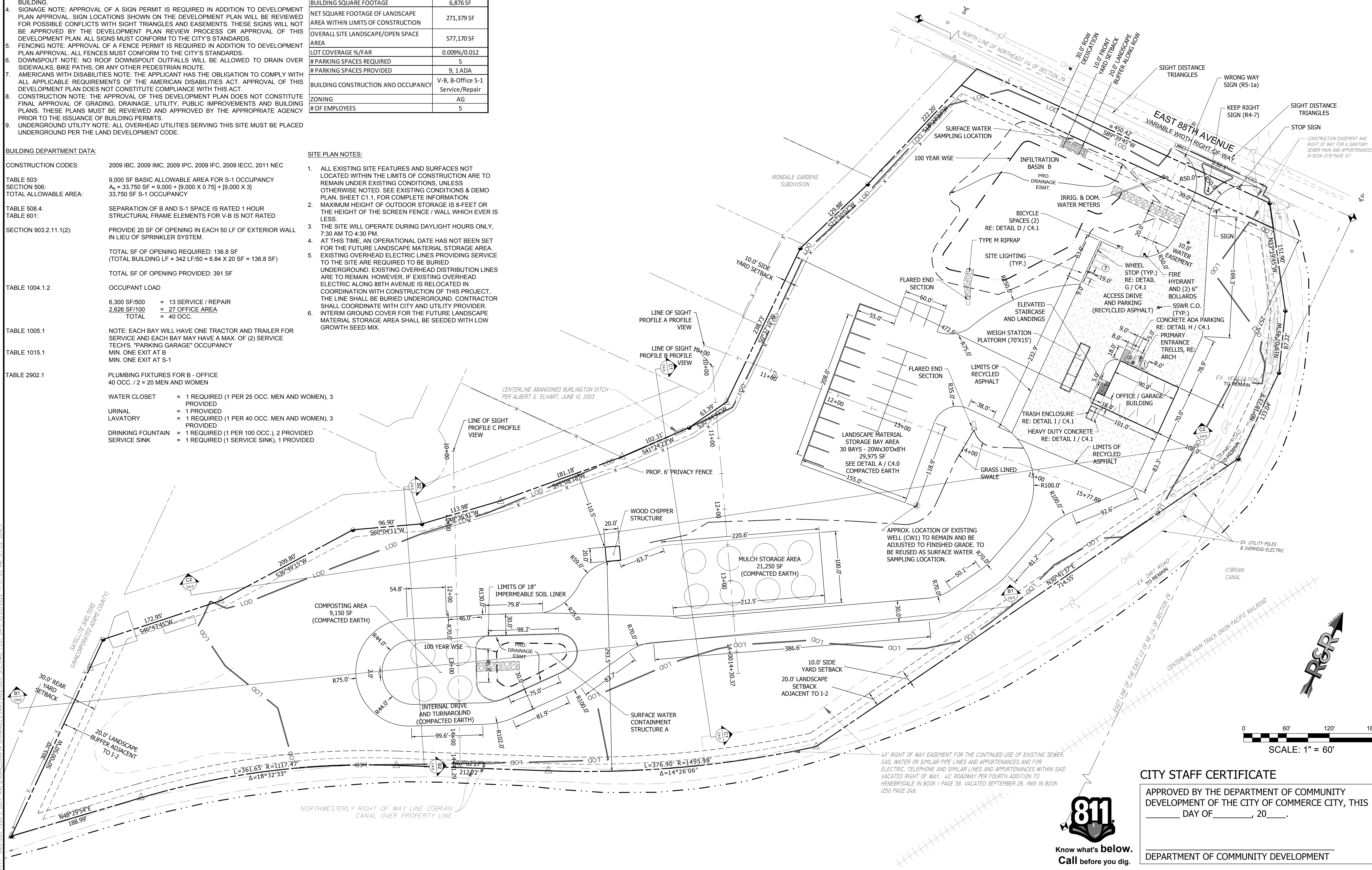
TABLE 1005.1: NOTE: EACH BAY WILL HAVE ONE TRACTOR AND TRAILER FOR SERVICE AND EACH BAY MAY HAVE A MAX. OF (2) SERVICE TECH'S. "PARKING GARAGE" OCCUPANCY
 TABLE 1015.1: MIN. ONE EXIT AT B
 MIN. ONE EXIT AT S-1

TABLE 2902.1: PLUMBING FIXTURES FOR B - OFFICE
 40 OCC. / 2 = 20 MEN AND WOMEN

WATER CLOSET = 1 REQUIRED (1 PER 25 OCC. MEN AND WOMEN), 3 PROVIDED
 URINAL = 1 PROVIDED
 LAVATORY = 1 REQUIRED (1 PER 40 OCC. MEN AND WOMEN), 3 PROVIDED
 DRINKING FOUNTAIN = 1 REQUIRED (1 PER 100 OCC.), 2 PROVIDED
 SERVICE SINK = 1 REQUIRED (1 SERVICE SINK), 1 PROVIDED

SITE PLAN NOTES:

- ALL EXISTING SITE FEATURES AND SURFACES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION ARE TO REMAIN UNDER EXISTING CONDITIONS, UNLESS OTHERWISE NOTED. SEE EXISTING CONDITIONS & DEMO PLAN, SHEET C1.1, FOR COMPLETE INFORMATION.
- MAXIMUM HEIGHT OF OUTDOOR STORAGE IS 8-FEET OR THE HEIGHT OF THE SCREEN FENCE / WALL WHICH EVER IS LESS.
- THE SITE WILL OPERATE DURING DAYLIGHT HOURS ONLY, 7:30 AM TO 4:30 PM.
- AT THIS TIME, AN OPERATIONAL DATE HAS NOT BEEN SET FOR THE FUTURE LANDSCAPE MATERIAL STORAGE AREA.
- EXISTING OVERHEAD ELECTRIC LINES PROVIDING SERVICE TO THE SITE ARE REQUIRED TO BE BURIED UNDERGROUND. EXISTING OVERHEAD DISTRIBUTION LINES ARE TO REMAIN. HOWEVER, IF EXISTING OVERHEAD ELECTRIC ALONG 88TH AVENUE IS RELOCATED IN COORDINATION WITH CONSTRUCTION OF THIS PROJECT, THE LINE SHALL BE BURIED UNDERGROUND. CONTRACTOR SHALL COORDINATE WITH CITY AND UTILITY PROVIDER.
- INTERIM GROUND COVER FOR THE FUTURE LANDSCAPE MATERIAL STORAGE AREA SHALL BE SEEDED WITH LOW GROWTH SEED MIX.



CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	11/22/21
2	3RD DEVELOPMENT PLAN SUBMISSION	06/20/22

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

ALL DEMOLITION
 7200 E. 88TH AVENUE
 COMMERCE CITY, CO 80640

PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
 6300 W. 49TH DRIVE
 WHEAT RIDGE, CO 80033

DEVELOPMENT PLAN

JOB NO. AD21005
 ORG. SUBM. DATE 5/7/2021
 DWN: ESJ CHD: RSD
 NAME

SITE PLAN

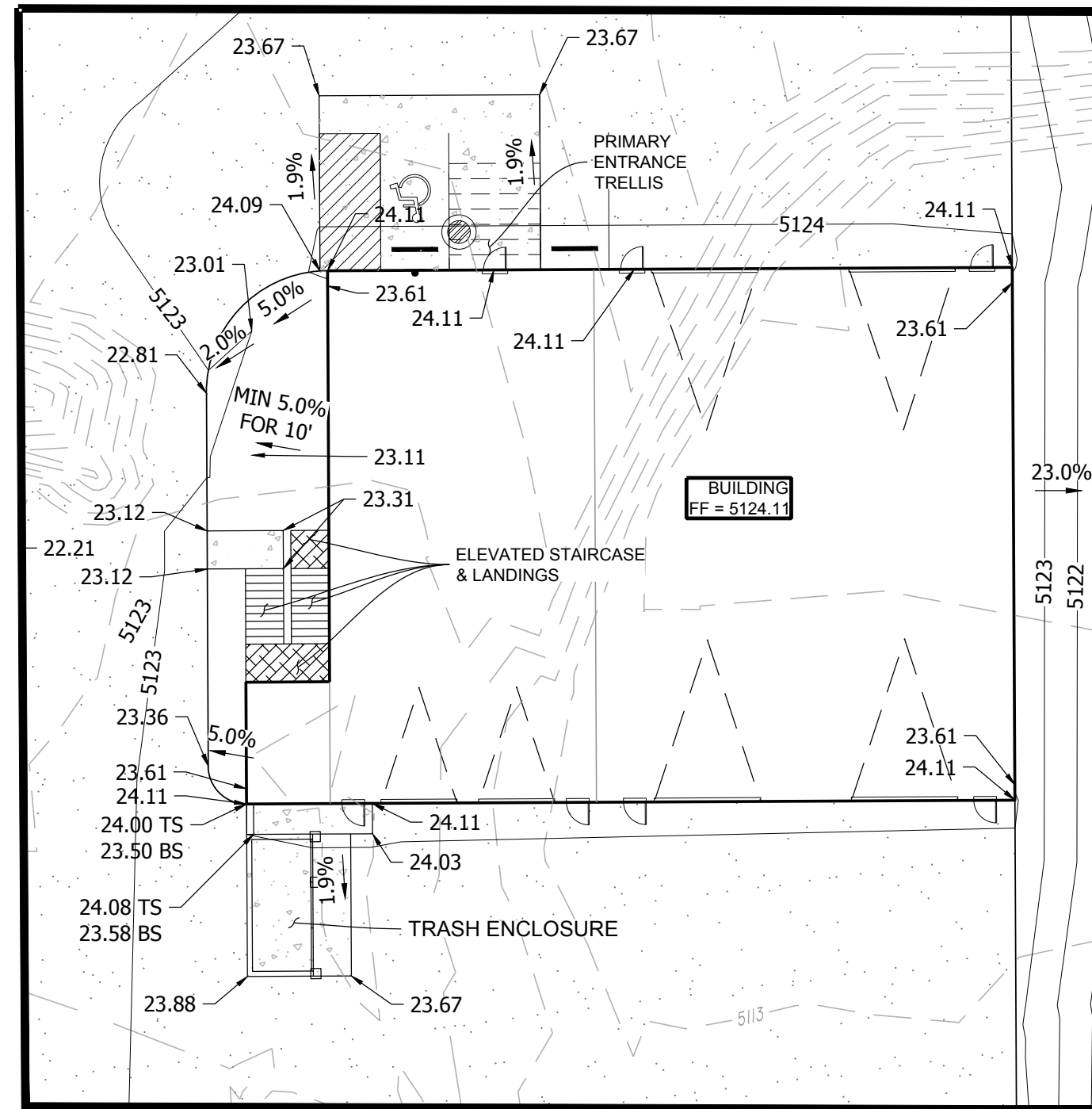
NO. C1.0

PLAN NO. AD21005-2200 E. 88TH AVE. ENGINEERING & SURVEYING PLANS AD21005-SITE DWG. PLOT DATE: 6/20/2022 11:57:05 AM. BY: LIZ JONES

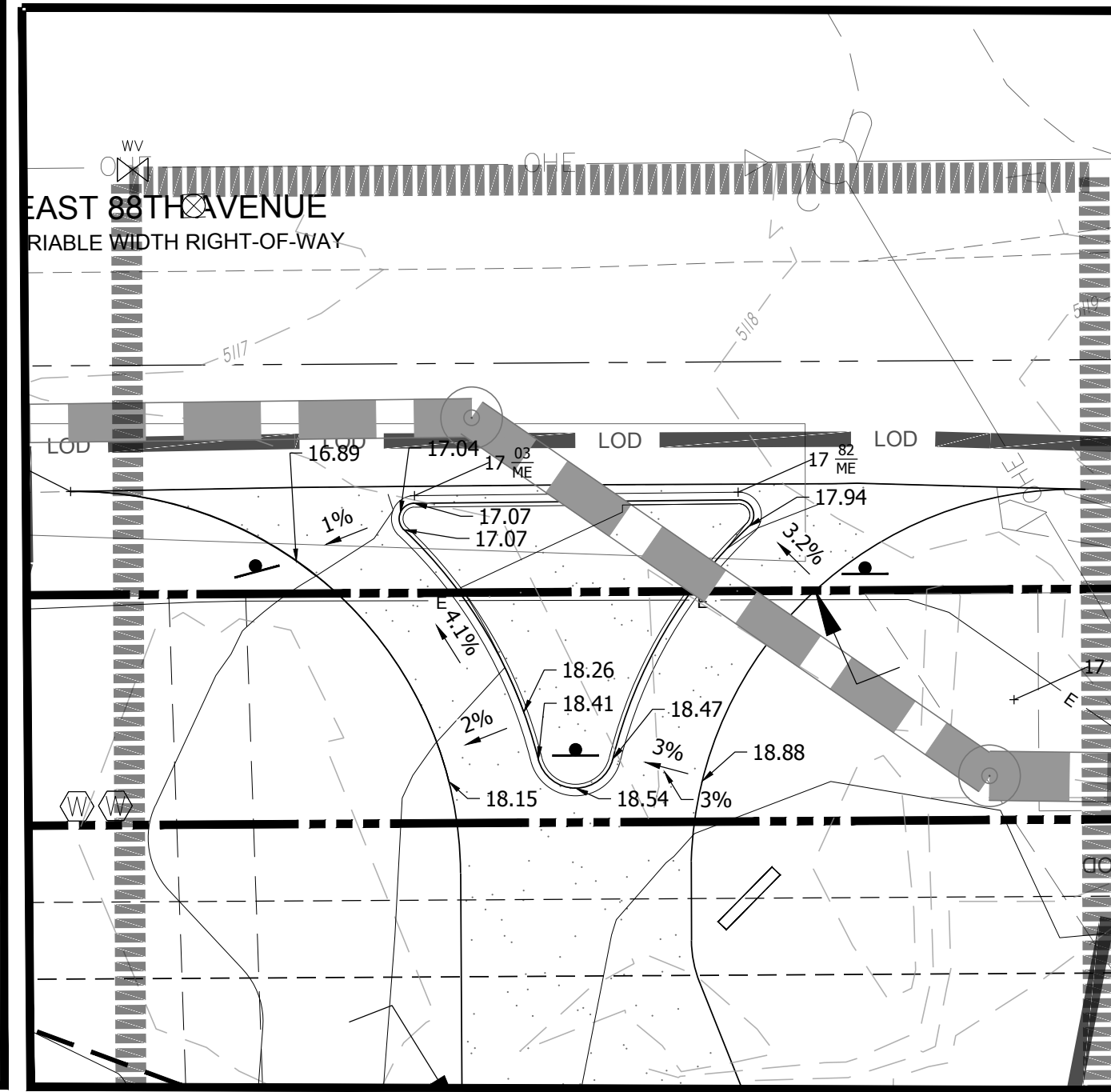
DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

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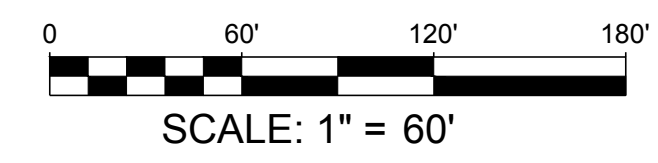
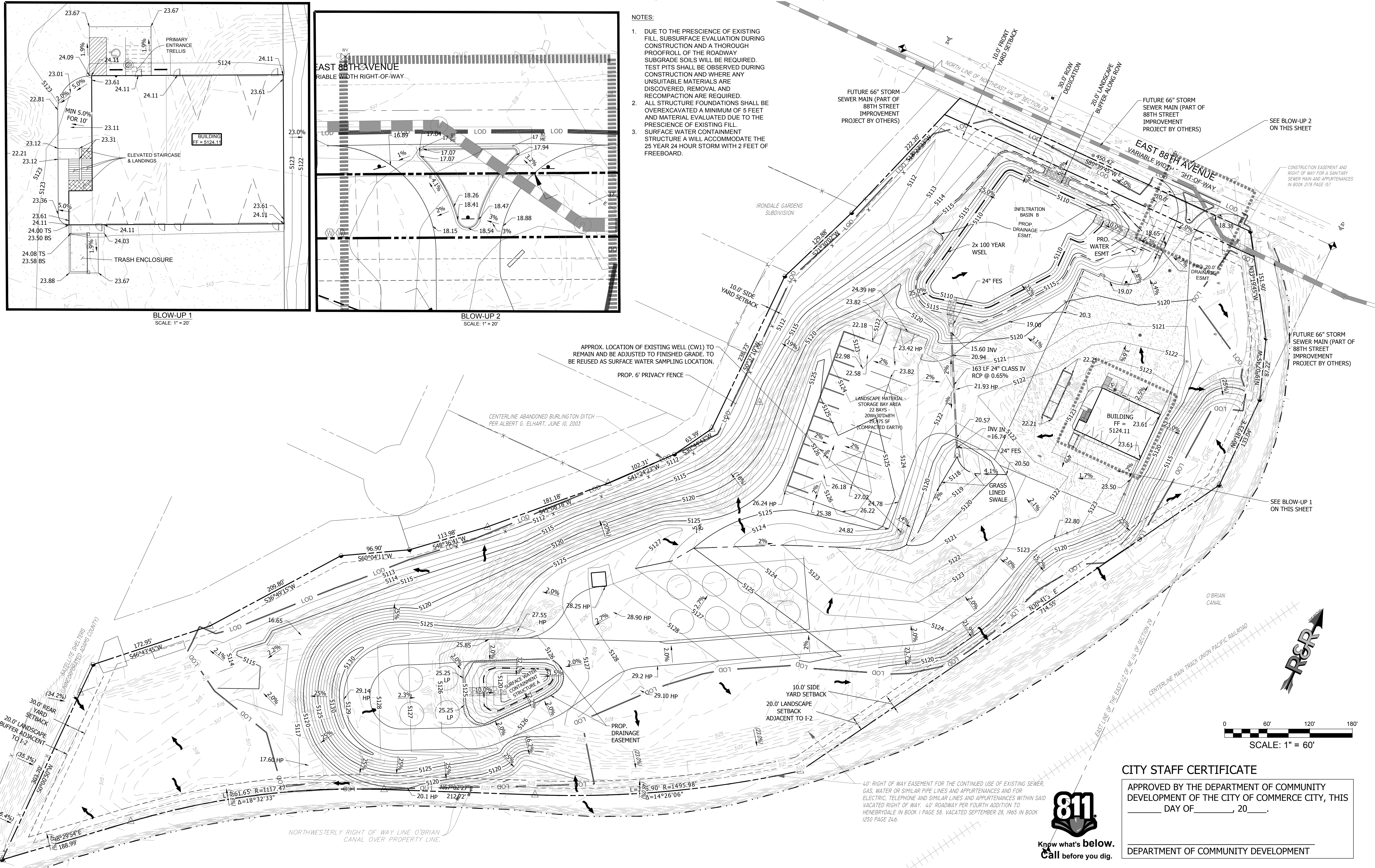
BLOW-UP 1
SCALE: 1" = 20'



BLOW-UP 2
SCALE: 1" = 20'

NOTES:

1. DUE TO THE PRESENCE OF EXISTING FILL, SUBSURFACE EVALUATION DURING CONSTRUCTION AND A THOROUGH PROOFROLL OF THE ROADWAY SUBGRADE SOILS WILL BE REQUIRED. TEST PITS SHALL BE OBSERVED DURING CONSTRUCTION AND WHERE ANY UNSUITABLE MATERIALS ARE DISCOVERED, REMOVAL AND RECOMPACTION ARE REQUIRED.
2. ALL STRUCTURE FOUNDATIONS SHALL BE OVEREXCAVATED A MINIMUM OF 5 FEET AND MATERIAL EVALUATED DUE TO THE PRESENCE OF EXISTING FILL. SURFACE WATER CONTAINMENT STRUCTURE A WILL ACCOMMODATE THE 25 YEAR 24 HOUR STORM WITH 2 FEET OF FREEBOARD.
- 3.



CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	BY	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	ESJ	11/22/21
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R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

ALL DEMOLITION
 7200 E. 88TH AVENUE
 COMMERCE CITY, CO 80640

PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
 6300 W. 49TH DRIVE
 WHEAT RIDGE, CO 80033

DEVELOPMENT PLAN

JOB NO. AD21005
 ORG. SUBM. DATE 5/7/2021
 DWN: ESJ CHD: RSD
 NAME

GRADING PLAN

NO. **C2.0**

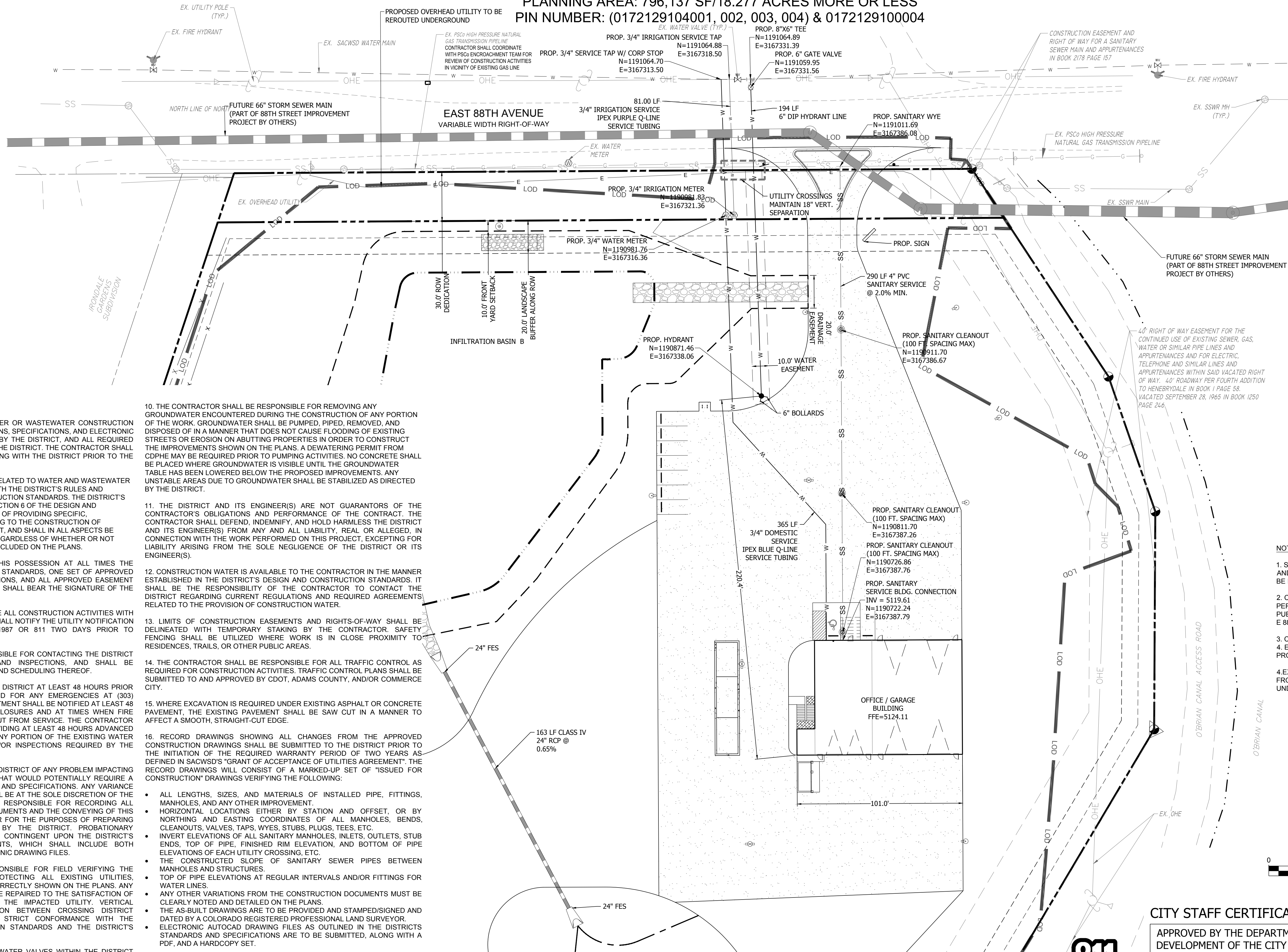
P:\17\AD21005_7200 E. 88TH AVE\ENGINEERING\AD21005-GRADING.DWG, PLOT DATE: 6/20/2022 11:57:15 AM, BUILZ: JONES

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004



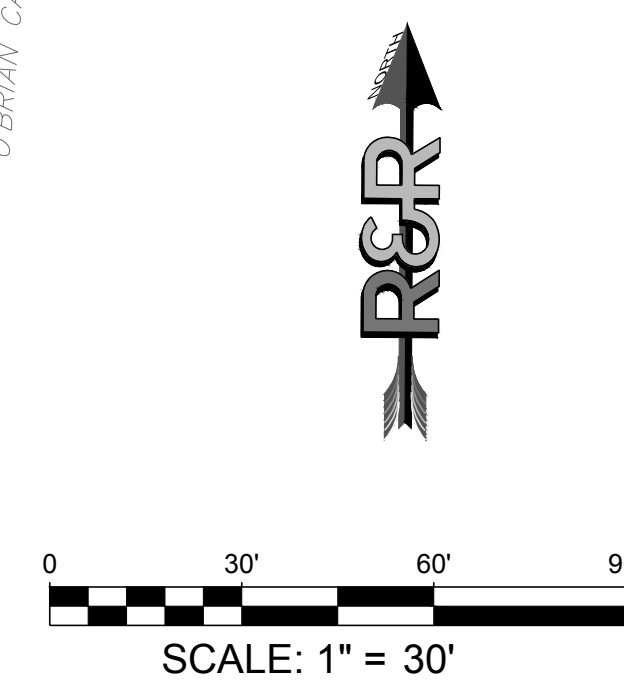
UTILITY NOTES:

1. NO WORK SHALL BEGIN ON ANY WATER OR WASTEWATER CONSTRUCTION PROJECT UNTIL THE CONSTRUCTION PLANS, SPECIFICATIONS, AND ELECTRONIC DRAWING FILES HAVE BEEN APPROVED BY THE DISTRICT, AND ALL REQUIRED EASEMENTS HAVE BEEN CONVEYED TO THE DISTRICT. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DISTRICT PRIOR TO THE START OF ANY CONSTRUCTION.
2. ALL MATERIALS AND CONSTRUCTION RELATED TO WATER AND WASTEWATER FACILITIES SHALL BE IN ACCORDANCE WITH THE DISTRICT'S RULES AND REGULATIONS AND DESIGN AND CONSTRUCTION STANDARDS. THE DISTRICT'S STANDARD DETAILS ARE INCLUDED IN SECTION 6 OF THE DESIGN AND CONSTRUCTION STANDARDS AS A MEANS OF PROVIDING SPECIFIC, SUPPLEMENTAL INFORMATION PERTAINING TO THE CONSTRUCTION OF FACILITIES TO BE OWNED BY THE DISTRICT, AND SHALL IN ALL ASPECTS BE COMPLIED WITH BY THE CONTRACTOR REGARDLESS OF WHETHER OR NOT SUCH APPLICABLE DETAILS HAVE BEEN INCLUDED ON THE PLANS.
3. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS, ONE SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, AND ALL APPROVED EASEMENT AGREEMENTS. APPROVED WATER PLANS SHALL BEAR THE SIGNATURE OF THE APPROPRIATE FIRE MARSHAL.
4. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ANY AFFECTED UTILITY COMPANY AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR 811 TWO DAYS PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT REGARDING ALL REQUIRED TESTS AND INSPECTIONS, AND SHALL BE RESPONSIBLE FOR THE COORDINATION AND SCHEDULING THEREOF.
6. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND FOR ANY EMERGENCIES AT (303) 288-2646. THE APPROPRIATE FIRE DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY STREET CLOSURES AND AT TIMES WHEN FIRE HYDRANTS ARE TO BE TEMPORARILY OUT FROM SERVICE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AT LEAST 48 HOURS ADVANCED NOTICE OF ANY NEED TO SHUT DOWN ANY PORTION OF THE EXISTING WATER SYSTEM AND FOR OBSERVATIONS AND/OR INSPECTIONS REQUIRED BY THE DISTRICT.
7. THE CONTRACTOR SHALL NOTIFY THE DISTRICT OF ANY PROBLEM IMPACTING WATER AND WASTEWATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ALL FIELD CHANGES TO THE APPROVED DOCUMENTS AND THE CONVEYING OF THIS INFORMATION TO THE DESIGN ENGINEER FOR THE PURPOSES OF PREPARING RECORD DOCUMENTS AS REQUIRED BY THE DISTRICT. PROBATIONARY ACCEPTANCE OF THE WORK SHALL BE CONTINGENT UPON THE DISTRICT'S RECEIPT OF THE RECORD DOCUMENTS, WHICH SHALL INCLUDE BOTH "AS-CONSTRUCTED" PLANS AND ELECTRONIC DRAWING FILES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF (POTHOLING), AND PROTECTING ALL EXISTING UTILITIES INCLUDING THOSE NOT SHOWN, OR INCORRECTLY SHOWN ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE DISTRICT AND THE OWNER OF THE IMPACTED UTILITY. VERTICAL CLEARANCES AND UTILITY PROTECTION BETWEEN CROSSING DISTRICT FACILITIES SHALL BE MAINTAINED IN STRICT CONFORMANCE WITH THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS AND THE DISTRICT'S STANDARD DETAILS.
9. EXISTING POTABLE AND IRRIGATION WATER VALVES WITHIN THE DISTRICT SHALL BE OPERATED BY DISTRICT PERSONNEL UNLESS OTHERWISE ALLOWED BY THE DISTRICT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THE WORK. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED, AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION ON ADJACENT PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THE PLANS. A DEWATERING PERMIT FROM CDPEH MAY BE REQUIRED PRIOR TO PUMPING ACTIVITIES. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS DUE TO GROUNDWATER SHALL BE STABILIZED AS DIRECTED BY THE DISTRICT.
11. THE DISTRICT AND ITS ENGINEER(S) ARE NOT GUARANTORS OF THE CONTRACTOR'S OBLIGATIONS AND PERFORMANCE OF THE CONTRACT. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE DISTRICT AND ITS ENGINEER(S) FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE WORK PERFORMED ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DISTRICT OR ITS ENGINEER(S).
12. CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR IN THE MANNER ESTABLISHED IN THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE DISTRICT REGARDING CURRENT REGULATIONS AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER.
13. LIMITS OF CONSTRUCTION EASEMENTS AND RIGHTS-OF-WAY SHALL BE DELINEATED WITH TEMPORARY STAKING BY THE CONTRACTOR. SAFETY FENCING SHALL BE UTILIZED WHERE WORK IS IN CLOSE PROXIMITY TO RESIDENCES, TRAILS, OR OTHER PUBLIC AREAS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AS REQUIRED FOR CONSTRUCTION ACTIVITIES. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO AND APPROVED BY CDOT, ADAMS COUNTY, AND/OR COMMERCE CITY.
15. WHERE EXCAVATION IS REQUIRED UNDER EXISTING ASPHALT OR CONCRETE PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO AFFECT A SMOOTH, STRAIGHT-OUT EDGE.
16. RECORD DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE DISTRICT PRIOR TO THE INITIATION OF THE REQUIRED WARRANTY PERIOD OF TWO YEARS AS DEFINED IN SACWSDS'S "GRANT OF ACCEPTANCE OF UTILITIES AGREEMENT". THE RECORD DRAWINGS WILL CONSIST OF A MARKED-UP SET OF "ISSUED FOR CONSTRUCTION" DRAWINGS VERIFYING THE FOLLOWING:
 - ALL LENGTHS, SIZES, AND MATERIALS OF INSTALLED PIPE, FITTINGS, MANHOLES, AND ANY OTHER IMPROVEMENT.
 - HORIZONTAL LOCATIONS EITHER BY STATION AND OFFSET, OR BY NORTHING AND EASTING COORDINATES OF ALL MANHOLES, BENDS, CLEANOUTS, VALVES, TAPS, WYES, STUBS, PLUGS, TEES, ETC.
 - INVERT ELEVATIONS OF ALL SANITARY MANHOLES, INLETS, OUTLETS, STUB ENDS, TOP OF PIPE, FINISHED RIM ELEVATION, AND BOTTOM OF PIPE ELEVATIONS OF EACH UTILITY CROSSING, ETC.
 - THE CONSTRUCTED SLOPE OF SANITARY SEWER PIPES BETWEEN MANHOLES AND STRUCTURES.
 - TOP OF PIPE ELEVATIONS AT REGULAR INTERVALS AND/OR FITTINGS FOR WATER LINES.
 - ANY OTHER VARIATIONS FROM THE CONSTRUCTION DOCUMENTS MUST BE CLEARLY NOTED AND DETAILED ON THE PLANS.
 - THE AS-BUILT DRAWINGS ARE TO BE PROVIDED AND STAMPED/SIGNED AND DATED BY A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR.
 - ELECTRONIC AUTOCAD DRAWING FILES AS OUTLINED IN THE DISTRICTS STANDARDS AND SPECIFICATIONS ARE TO BE SUBMITTED, ALONG WITH A PDF, AND A HARDCOPY SET.

SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT PLANS TO BE PREPARED AND APPROVED FOR FINAL CONSTRUCTION DETAIL.

- NOTE:**
1. SIZE, INVERTS, AND LOCATIONS OF WATER AND SANITARY MAINS AND STRUCTURES SHALL BE FIELD VERIFIED PRIOR TO FINAL DESIGN.
 2. CONTRACTOR SHALL OBTAIN RIGHT OF WAY PERMIT FROM CITY OF COMMERCE CITY - PUBLIC WORKS FOR UTILITY CONSTRUCTION IN E 88TH AVENUE.
 3. CONTRACTOR SHALL OBTAIN PSCo
 4. EXISTING OVERHEAD LINES ALONG PROPERTY FRONTAGE ARE REQUIRED TO BE INSTALLED UNDERGROUND.



CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	BY	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	ESJ	11/22/21
2	3RD DEVELOPMENT PLAN SUBMISSION	ESJ	06/20/22

R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENINEERS.COM

ALL DEMOLITION
SITE ADDRESS: 7200 E. 88TH AVENUE
COMMERCE CITY, CO 80640
PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
6300 W. 49TH DRIVE
WHEAT RIDGE, CO 80033

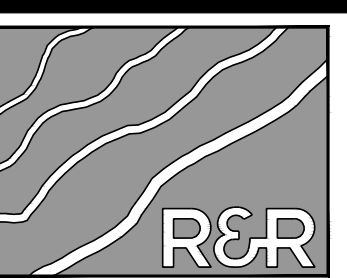
DEVELOPMENT PLAN	
JOB NO.	AD21005
ORG. SUBM. DATE	5/7/2021
DWN.	ESJ
CHKD.	RSD
NAME	
UTILITY PLAN	
NO.	C3.0

PLAN 16, 10/21/2025 7:00 E. 88TH AVE. ENGINEERING & SURVEYING, INC. 1635 WEST 13TH AVENUE, SUITE 310, DENVER, CO 80204. PLOT DATE: 6/20/2022 11:57 AM. BY: LUT. JONES

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:
 SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH,
 RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
 PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
 PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004

NO.	REVISION	BY	DATE
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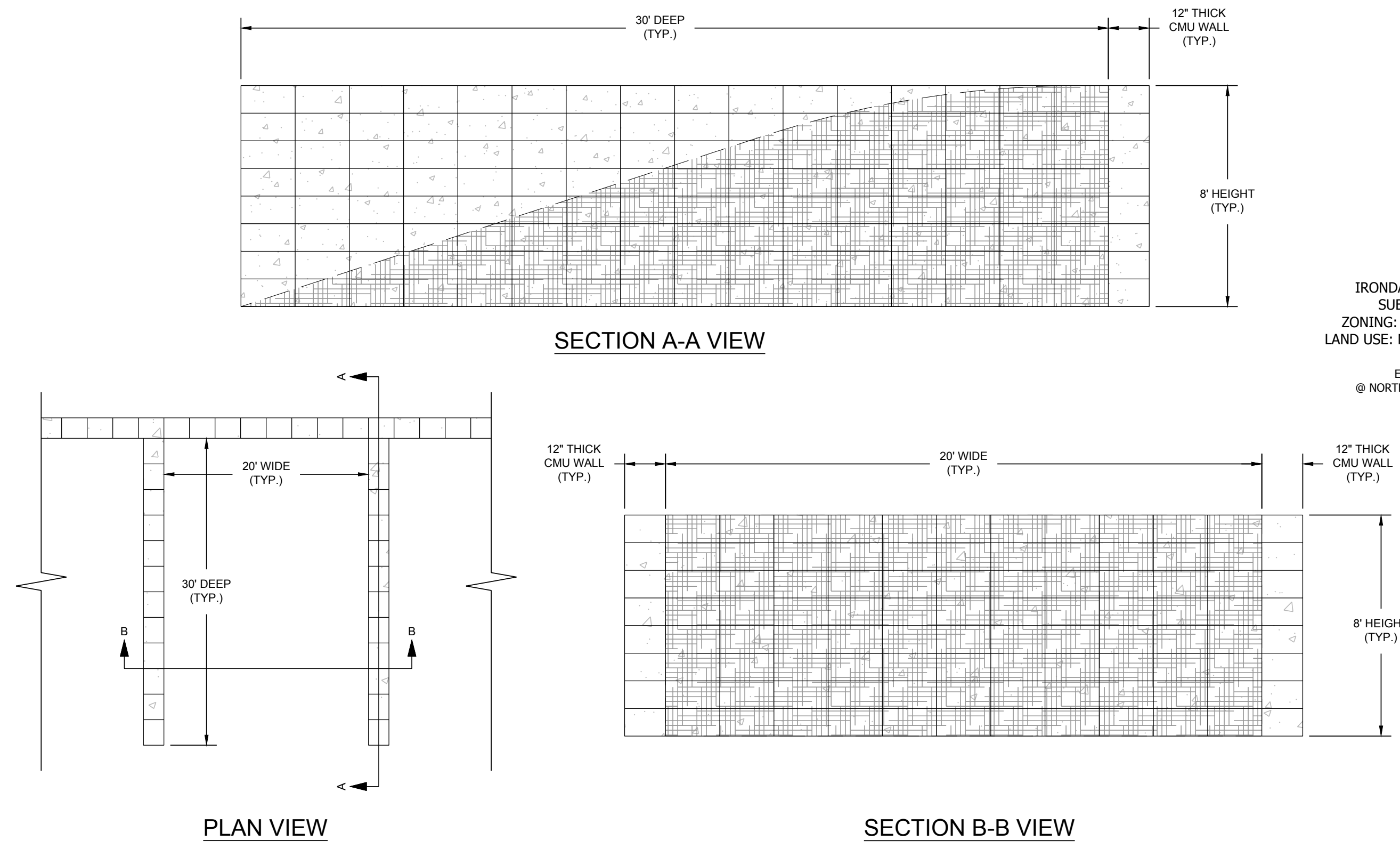
R&R ENGINEERS-SURVEYORS, INC.
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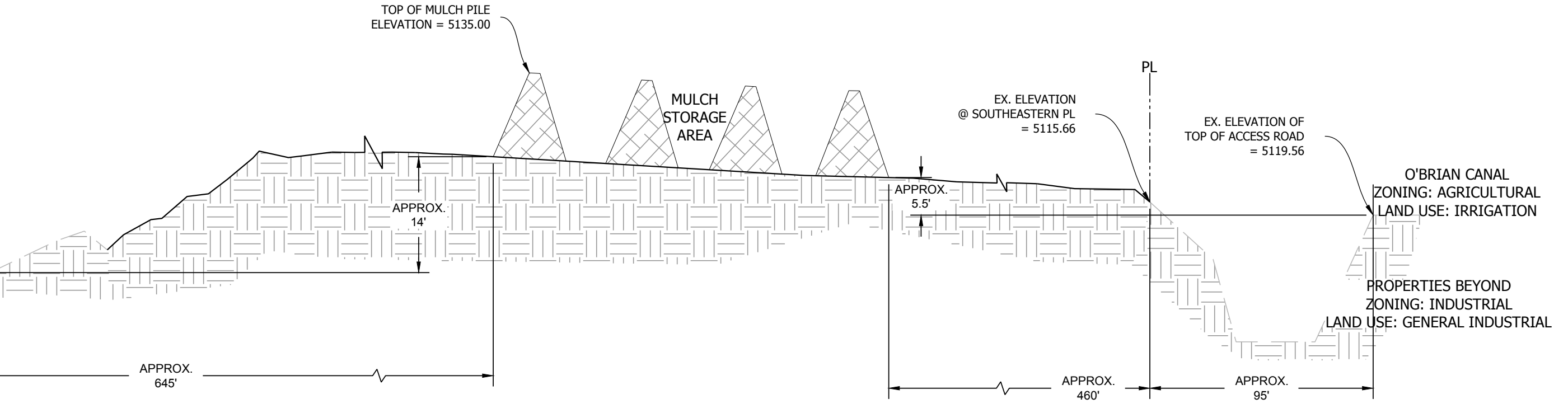
DEVELOPMENT PLAN
JOB NO. AD21005
ORG. SUBM. DATE 5/7/2021
DWN: ESJ CHD: RSD
NAME

DETAILS
 NO. C4.0

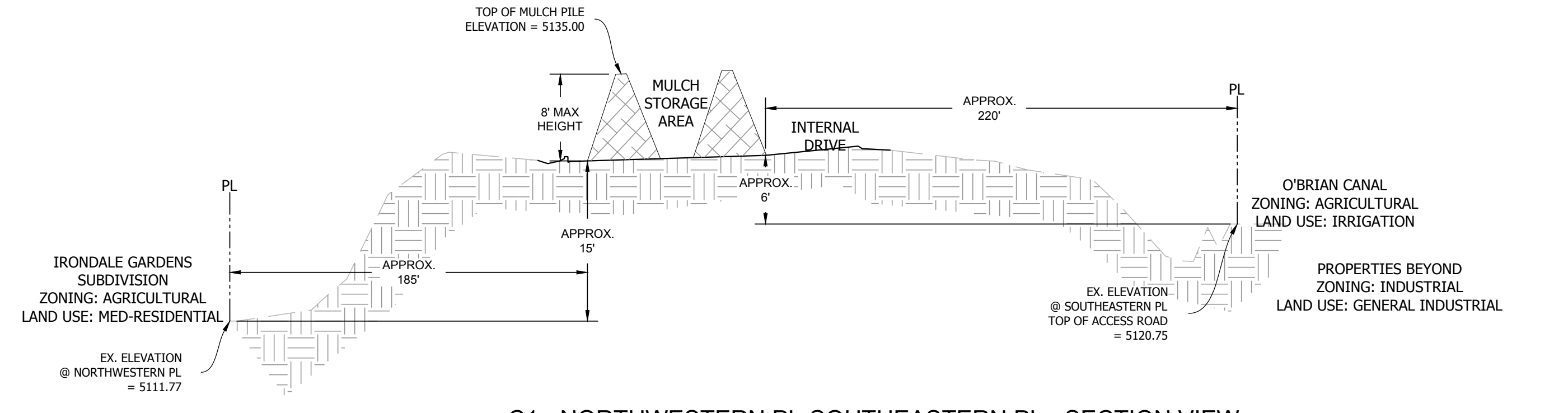


- NOTES:
 1. FLOOR OF STORAGE BAYS SHALL BE RECYCLED ASPHALT MATERIAL.
 2. STORAGE BAY WALLS SHALL BE CONSTRUCTED OF CMU BLOCK MATERIAL.
 3. HEIGHT OF OUTDOOR MATERIAL STORAGE IS 8-FOOT MAX.

A LANDSCAPE MATERIAL STORAGE BAY
 Scale: N.T.S.

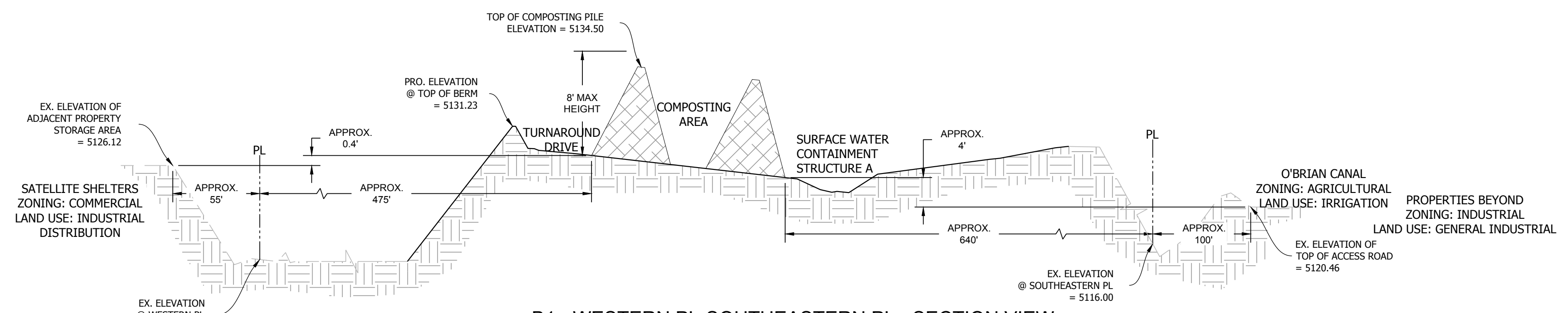


C1 - WESTERN PL-SOUTHEASTERN PL - SECTION VIEW

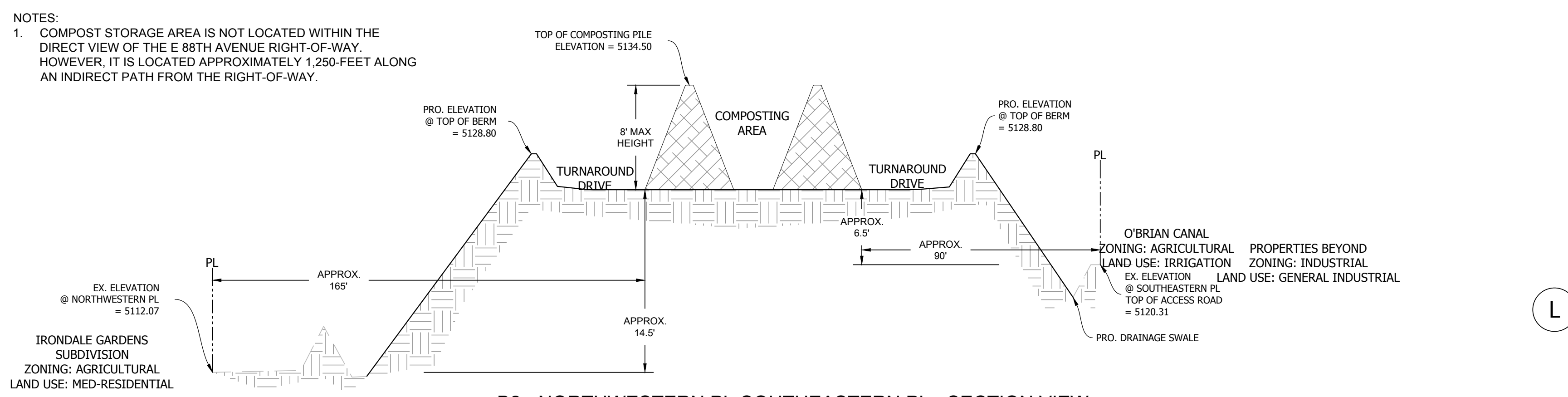


C1 - NORTHWESTERN PL-SOUTHEASTERN PL - SECTION VIEW

C MULCH STORAGE AREA
 Scale: N.T.S.

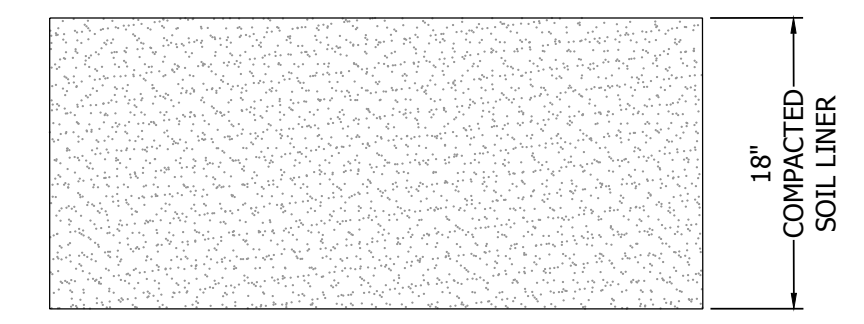


B1 - WESTERN PL-SOUTHEASTERN PL - SECTION VIEW



B2 - NORTHWESTERN PL-SOUTHEASTERN PL - SECTION VIEW

B COMPOSTING AREA
 Scale: N.T.S.



L COMPACTED SOIL LINER SECTION
 Scale: N.T.S.

- TYPICAL SURFACE WATER CONTAINMENT STRUCTURE IMPERMEABLE LINER DETAIL
- NOTES:
 1. SOIL LINER LAYER SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR.
 2. HYDRAULIC CONDUCTIVITY SHALL NOT EXCEED 1 X 10⁻⁶ CM/SEC AND SHALL BE LABORATORY VERIFIED FOLLOWING ASTM 5084.

HATCH LEGEND

DESCRIPTION	PROPOSED
MULCH/COMPOSTING STOCKPILES	
COMPACTED EARTH	
LANDSCAPE MATERIAL BAY CONTENTS	
CONCRETE	
COMPACTED SOIL LINER	
RECYCLED ASPHALT	

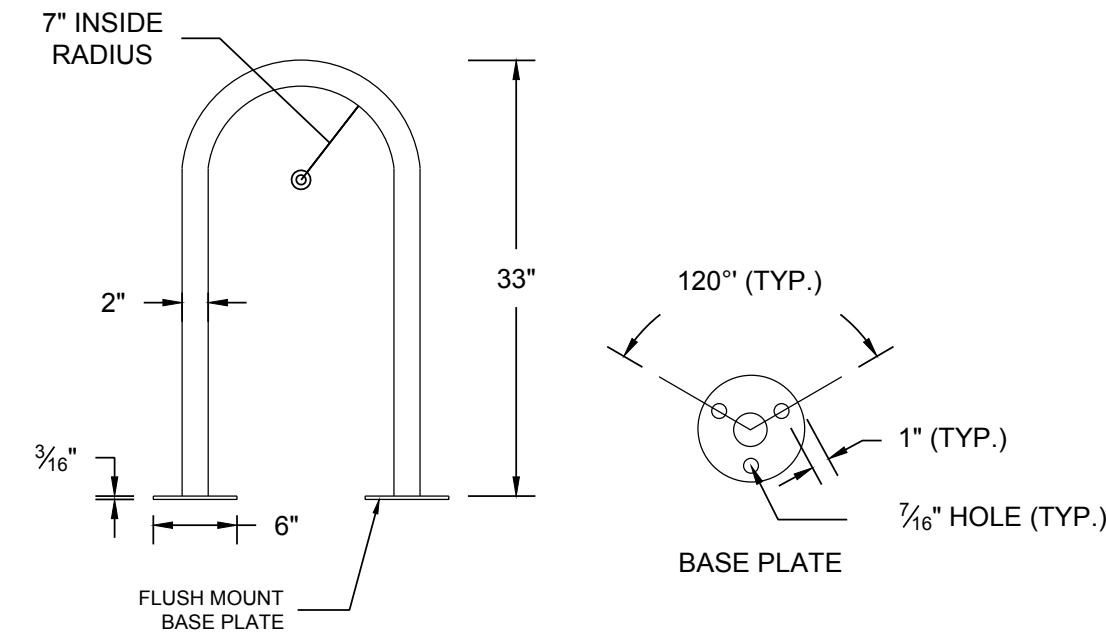
CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.
 DEPARTMENT OF COMMUNITY DEVELOPMENT



DEVELOPMENT PLAN FOR ALL DEMOLITION

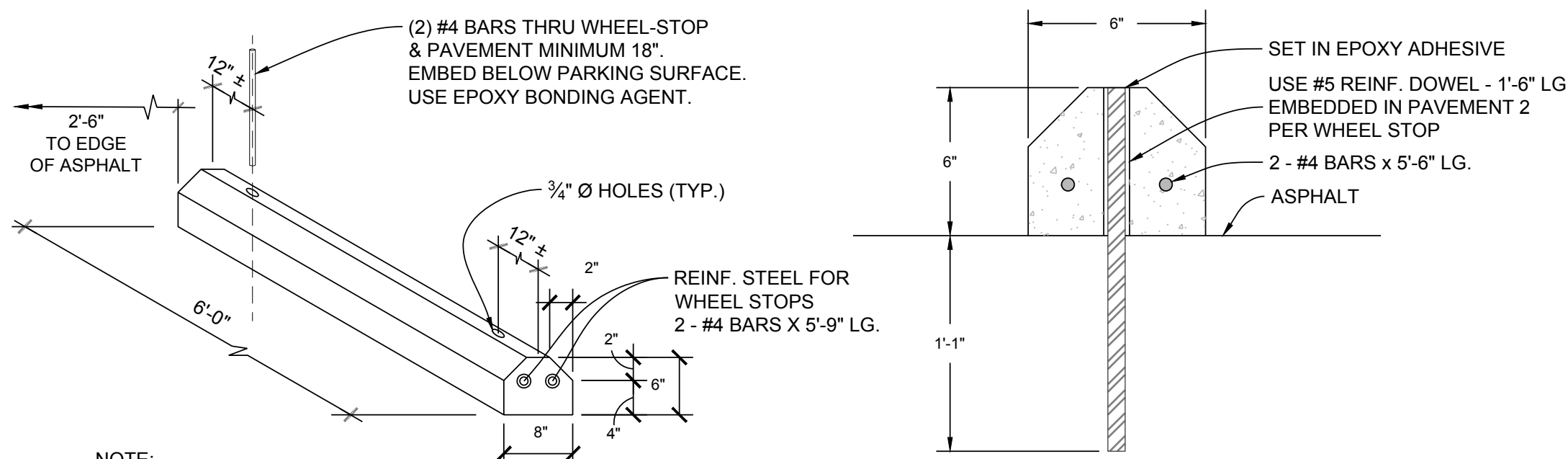
TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
 PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
 PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004



- NOTES:**
DIMENSIONS:
 1. HEIGHT - 33" FROM THE GROUND.
 2. CONTINUOUS BEND INSIDE RADIUS = 7".
MATERIALS AND CONSTRUCTION:
 1. MINIMUM OR 1 1/2" SCHEDULE 40 STEEL PIPE (1 3/8" OUTSIDE DIAMETER).
 2. MAXIMUM 1 1/2" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER).
 3. SOLID ONE-PIECE CONSTRUCTION; CONTINUOUS BEND; LEGS 14" - 18" APART.
 4. GALVANIZED WITH BLACK POWDER COAT FINISH.
 5. FLUSH MOUNTED WITH WELDED BASE PLATES (6" DIAMETER, 3/16" THICK BASE PLATE), HIDDEN OR VANDAL-RESISTANT FASTENERS (SCREWS OR EXPANSION BOLTS).

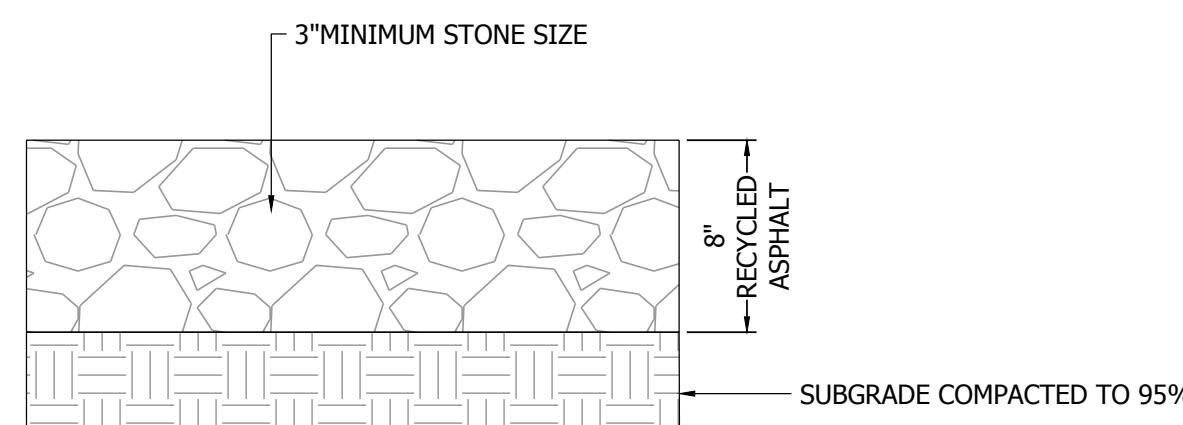
D BIKE RACK DETAIL Scale: N.T.S.



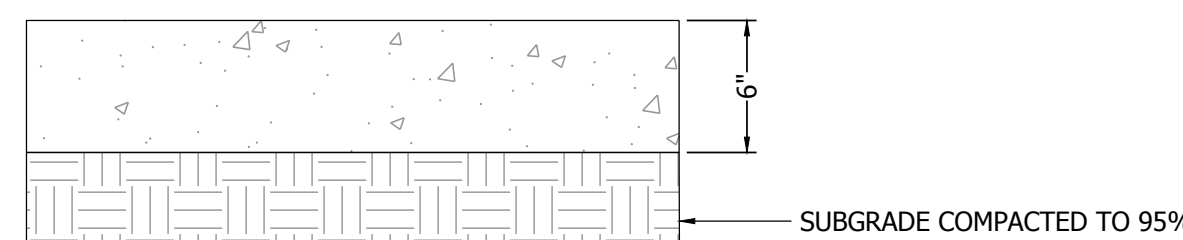
WHERE NOTED ON PLANS, A CURB OR WHEEL STOP SHALL BE PROVIDED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAY OR ENCROACHMENT OF VEHICLES INTO LANDSCAPE AREA. PARKING STALLS SHALL BE LOCATED SO THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.

WHEEL STOP SECTION SCALE: N.T.S.

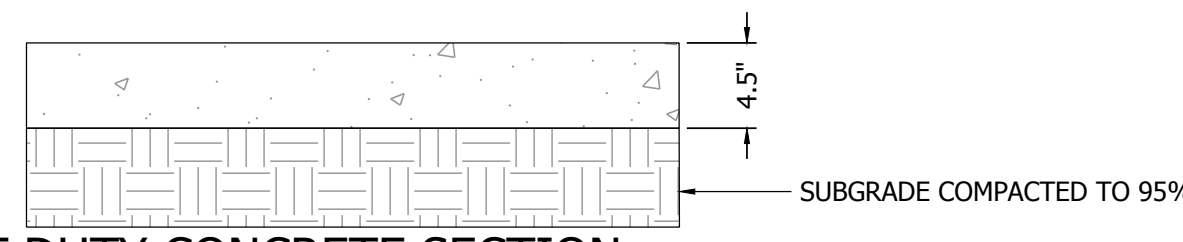
F CONCRETE WHEEL STOP DETAIL Scale: N.T.S.



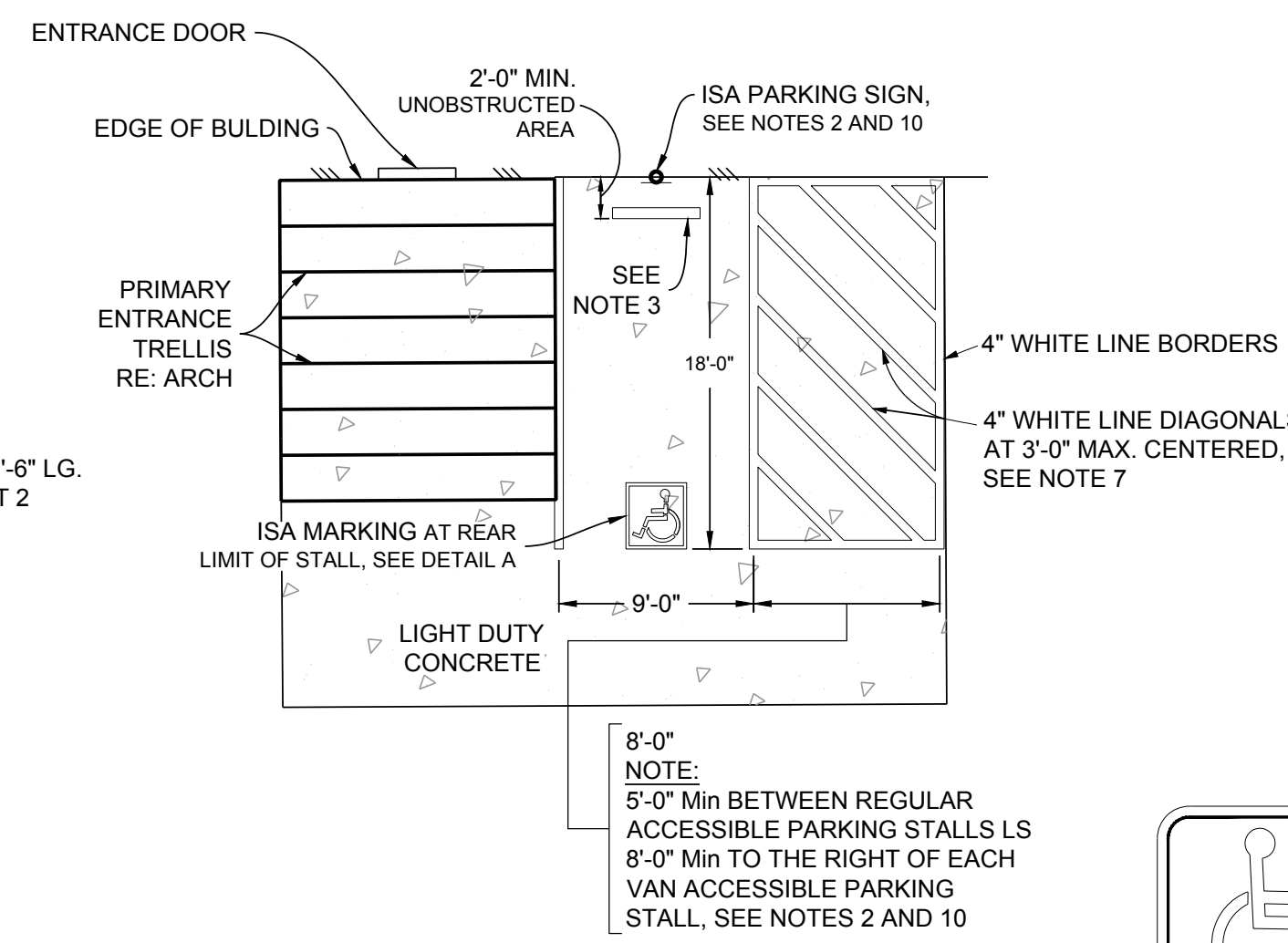
I RECYCLED ASPHALT SECTION Scale: N.T.S.



J HEAVY DUTY CONCRETE SECTION Scale: N.T.S.



K LIGHT DUTY CONCRETE SECTION Scale: N.T.S.



DOUBLE PARKING STALL

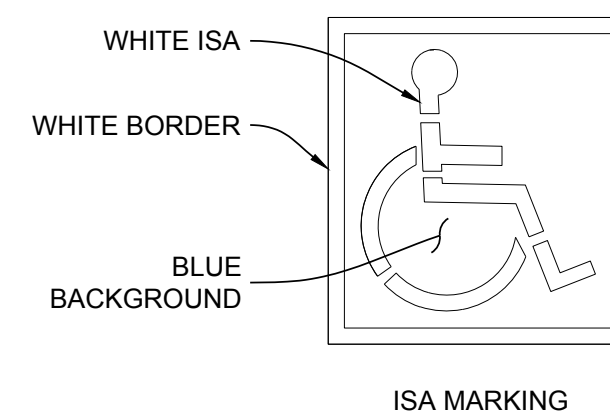
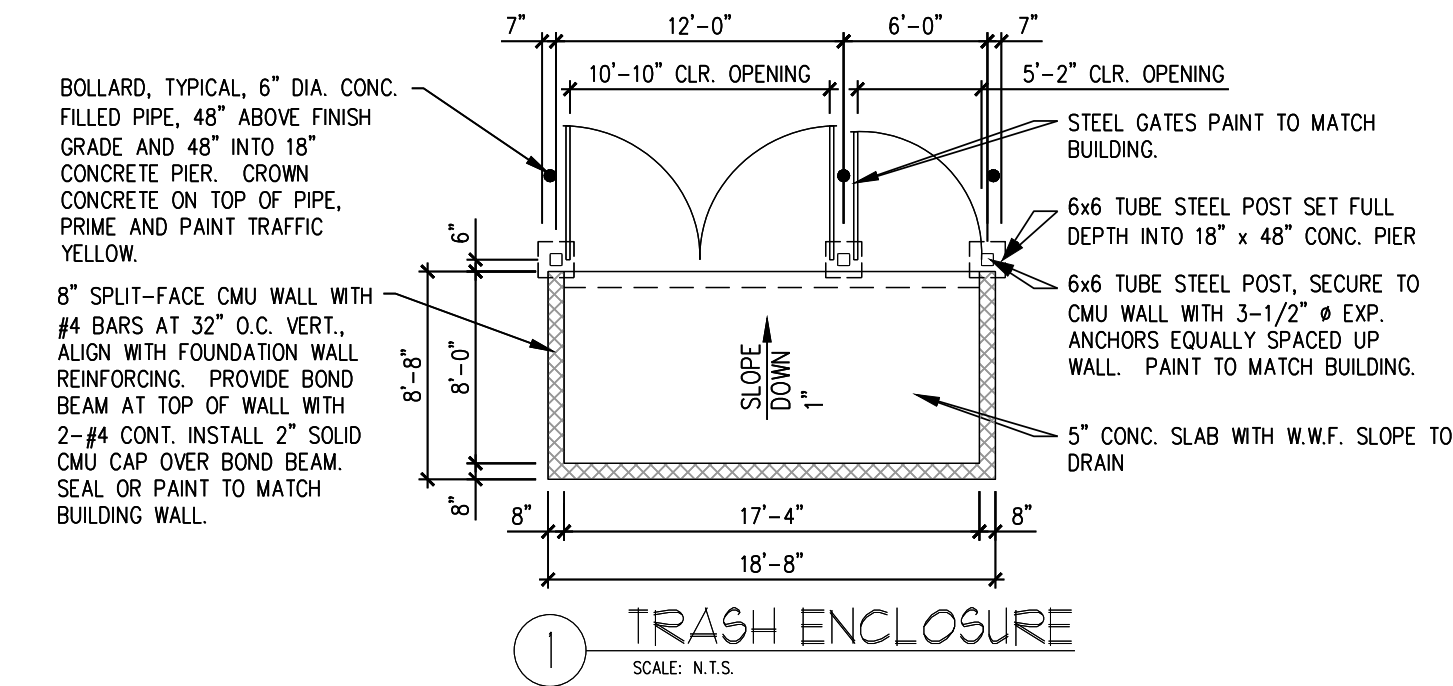


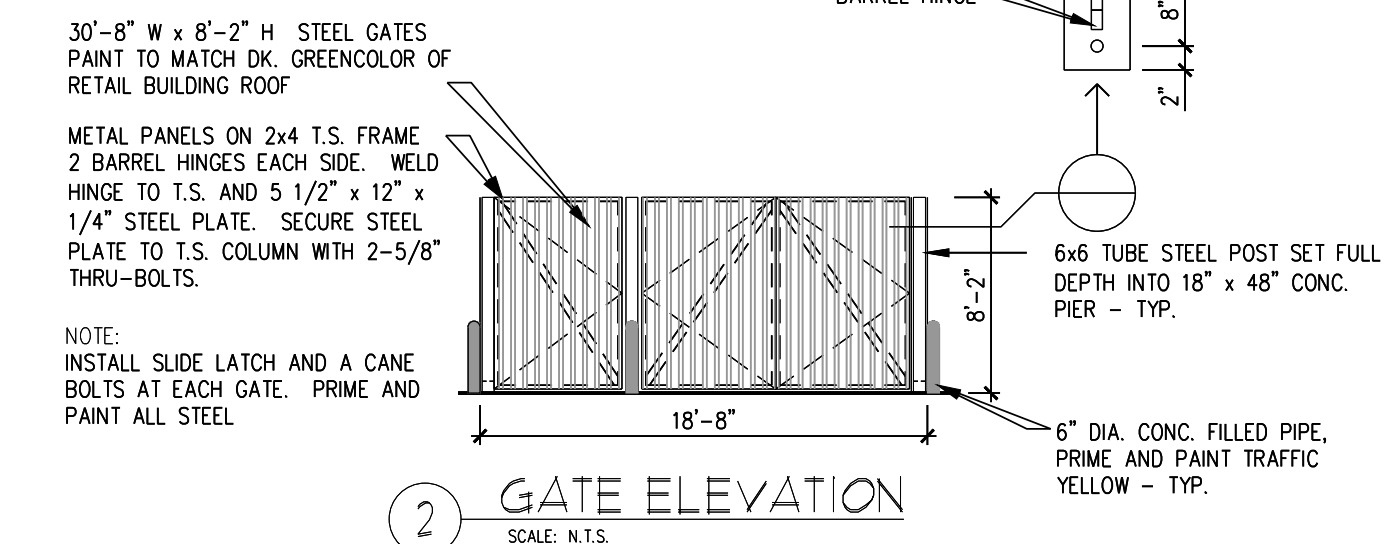
TABLE A

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2% OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000

H A.D.A. PARKING DETAILS Scale: N.T.S.



1 TRASH ENCLOSURE SCALE: N.T.S.



2 GATE ELEVATION SCALE: N.T.S.

E TRASH ENCLOSURE DETAIL Scale: N.T.S.

- NOTES:**
- ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
 - ONE IN EVERY SIX ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R99B PLAQUE OR THE R99C SIGN.
 - IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
 - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
 - TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
 - WHERE PLAQUE R99B, SIGN R99C OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
 - BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE WHITE MARKINGS TO NOT BE VISIBLE.
 - WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
 - WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
 - ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99 WITH PLAQUE R99B.

LEGEND:
 ISA = International Symbol of Accessibility

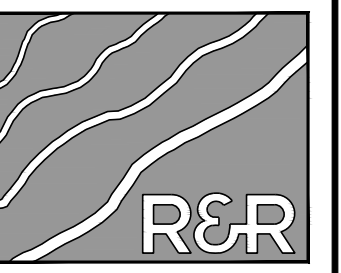


CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	11/22/21
2	3RD DEVELOPMENT PLAN SUBMISSION	06/20/22



R&R ENGINEERS-SURVEYORS, INC.

1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

ALL DEMOLITION

SITE ADDRESS: 7200 E. 88TH AVENUE
 COMMERCE CITY, CO 80640
 PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
 6300 W. 49TH DRIVE
 WHEAT RIDGE, CO 80033

DEVELOPMENT PLAN

JOB NO.	AD21005
ORG. SUBM. DATE	5/7/2021
DWN:	ESJ
CHKD:	RSJ
NAME	

DETAILS

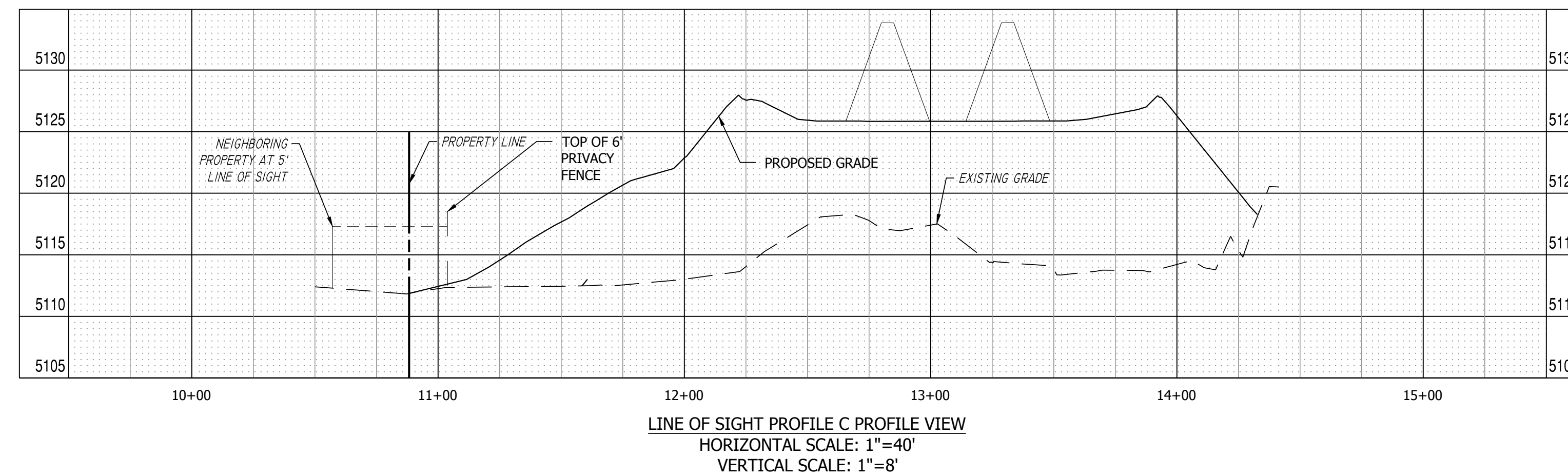
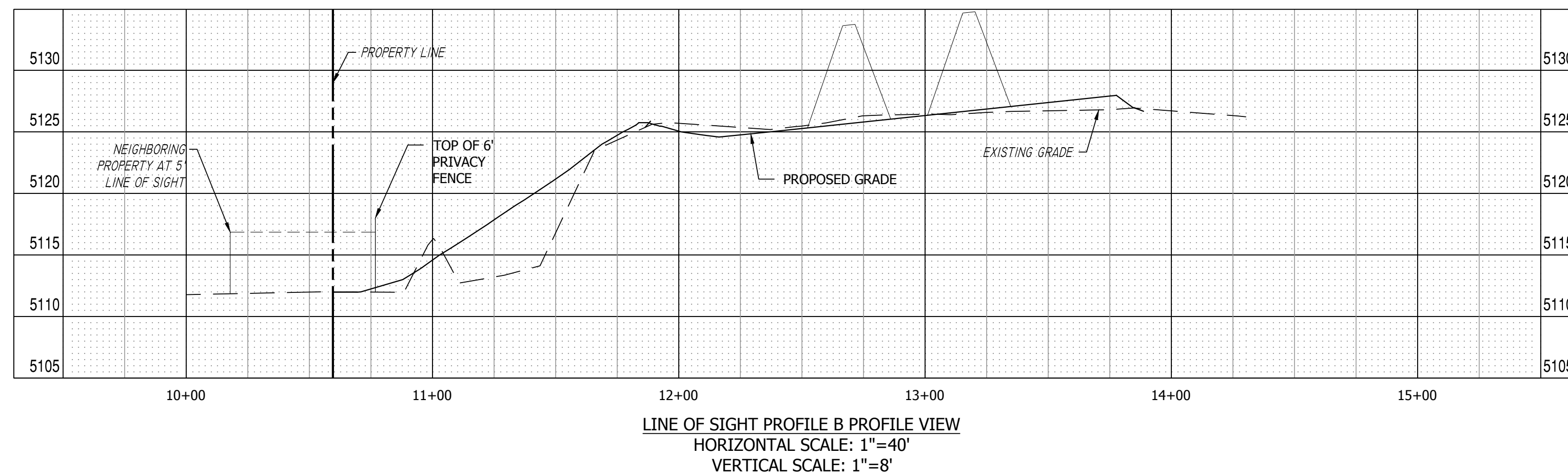
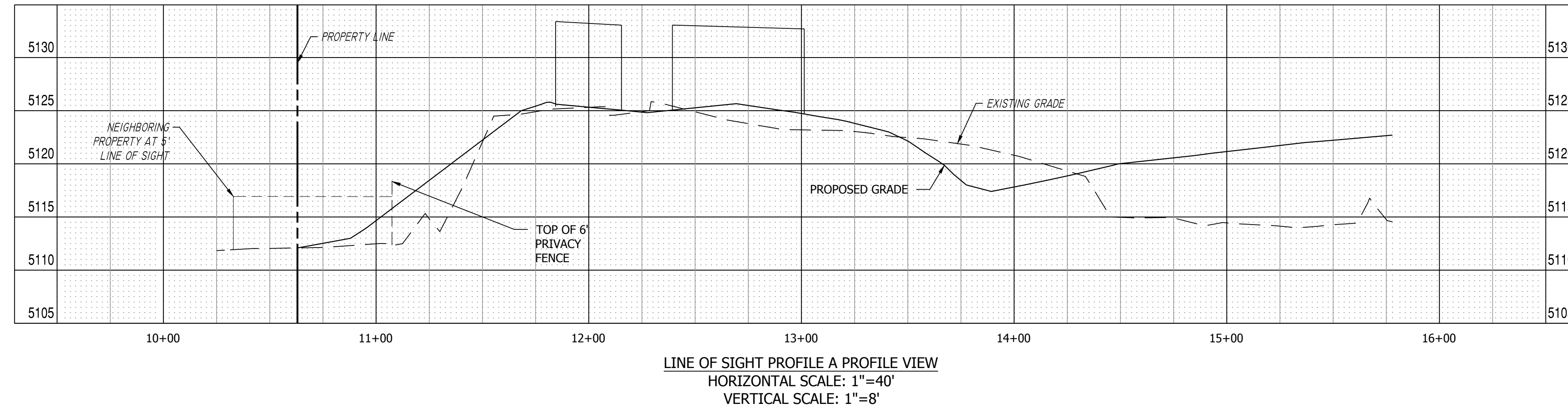
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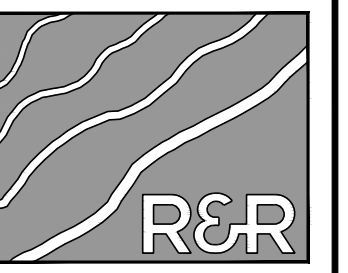
DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

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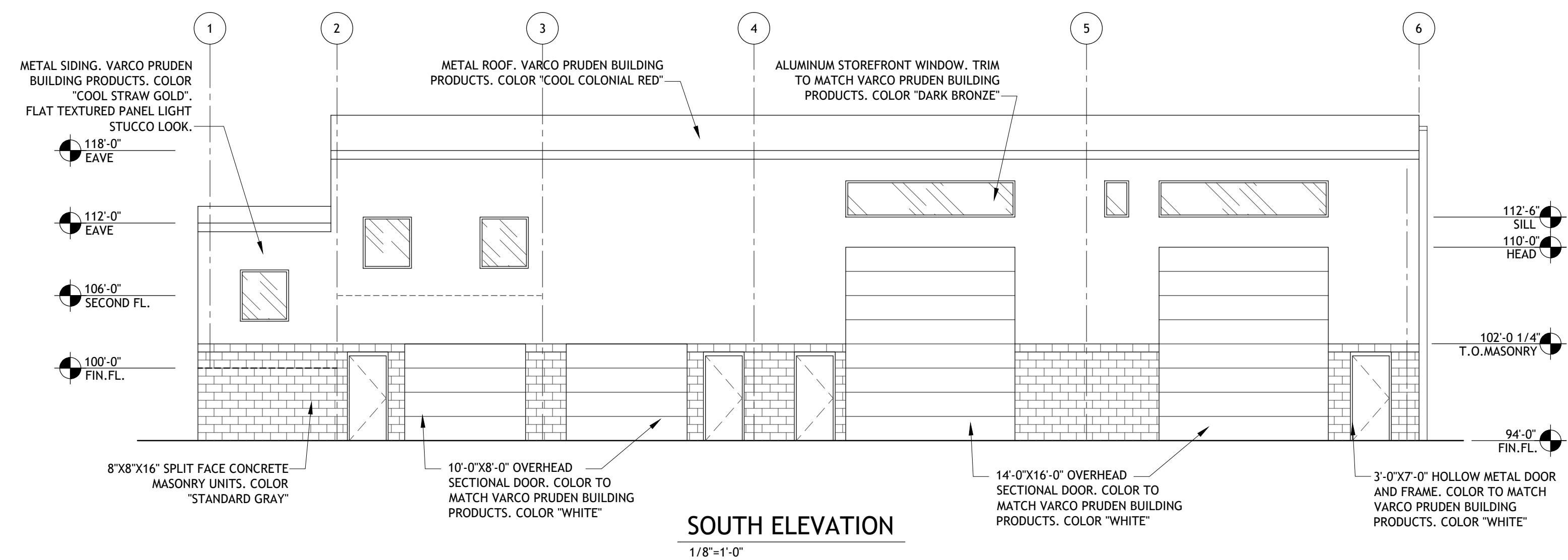
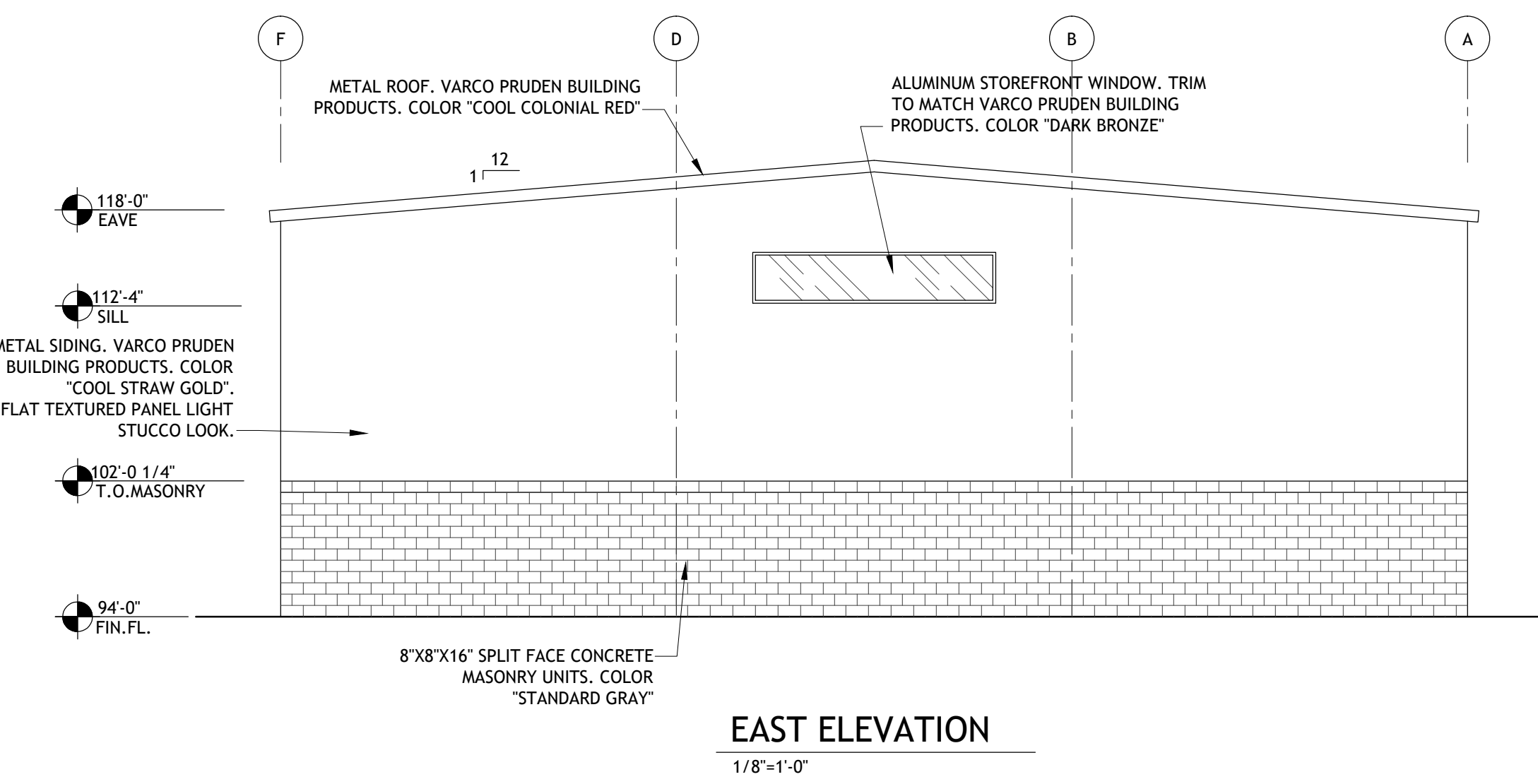
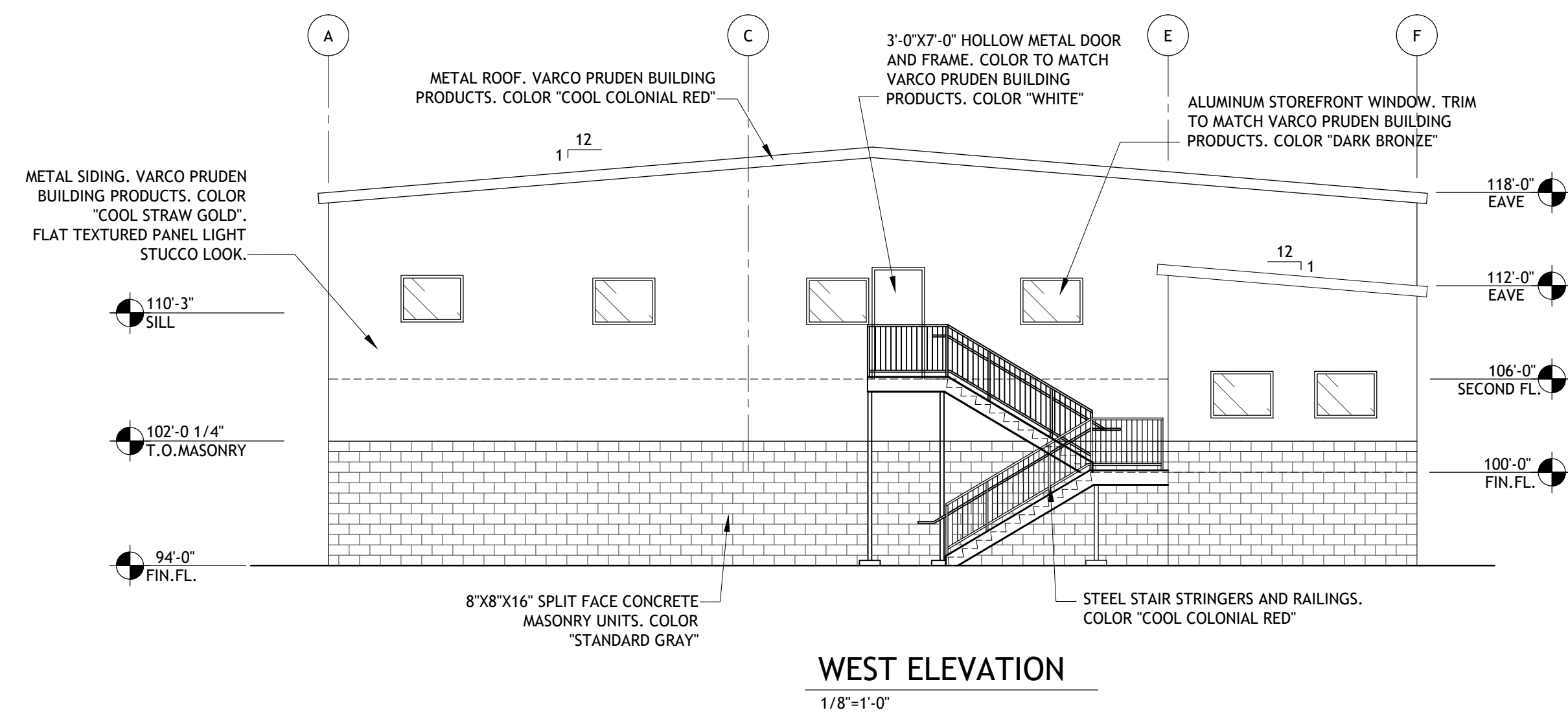
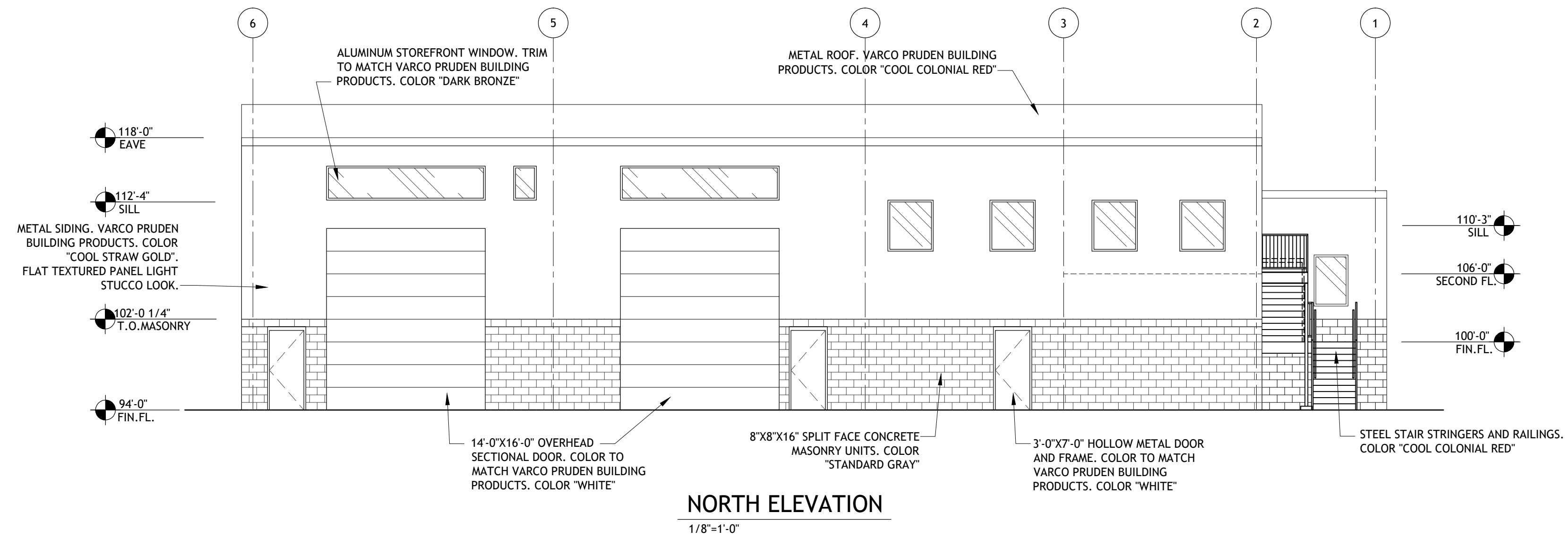
LINE OF SIGHT PROFILES

NO. **C4.2**

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

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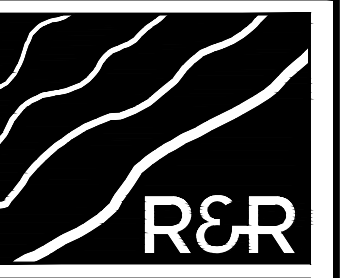


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DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS
_____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO.	REVISION	BY	DATE



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DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENINEERS.COM

7200 E. 88TH AVENUE

7200 E. 88TH AVENUE
COMMERCE CITY, CO 80640
ALL DEMOLITION AND EXCAVATING CO.
6300 W. 49TH DRIVE
WHEAT RIDGE, CO 80033

DEVELOPMENT PLAN

JOB NO: AD21005
ORG. SUBM. DATE: 1/31/2021
DWN: ESJ CLKD: RSD
NAME: _____

BUILDING ELEVATIONS

NO.

A-1

CITY REQUIREMENTS NOTES

A. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER, PERENNIALS AND GROUND COVER 2 1/4 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.

B. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITH TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.

C. WEED BARRIER: POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.

D. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.

E. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.

F. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.

G. MAINTENANCE: THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

H. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.

I. SIGHT-LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT-DISTANCE-TRIANGLES. INFORMATION ON THE SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.

J. NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED SHALL BE SEEDED WITH NATIVE GRASSES.

PLANT LIST

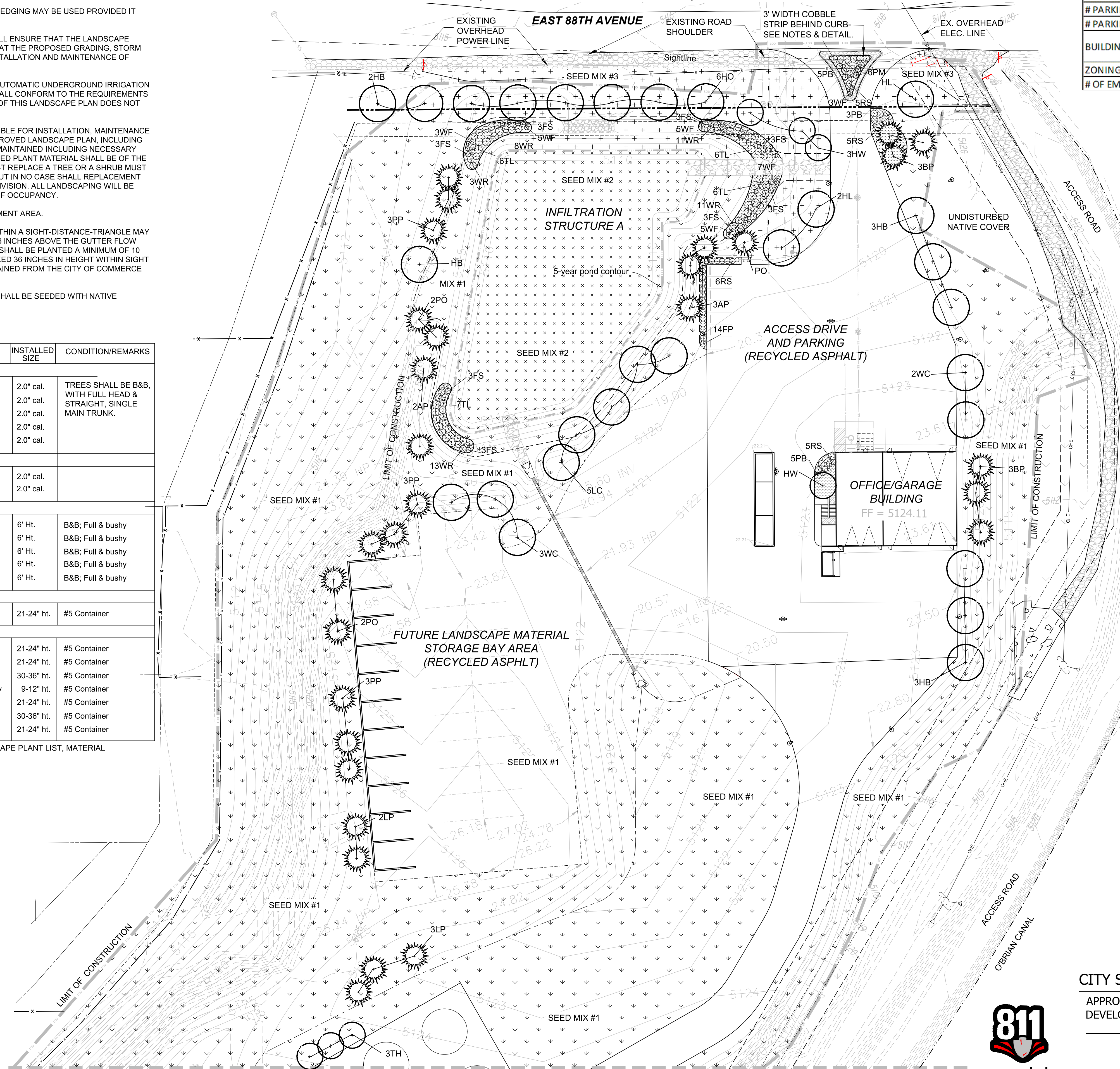
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	CONDITION/REMARKS
DECIDUOUS TREES						
+	HB	9	Celtis occidentalis 'Chicagoland'	Hackberry	2.0" cal.	TREES SHALL BE B&B. WITH FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK.
	HL	3	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.0" cal.	
	HO	6	Quercus 'Heritage'	Heritage Oak	2.0" cal.	
	LC	5	Populus acuminata	Lanceleaf Cottonwood	2.0" cal.	
	WC	5	Catalpa speciosa	Western Catalpa	2.0" cal.	
ORNAMENTAL TREES						
	TH	3	Crataegus-crus-galli inermis	Thornless Hawthorn	2.0" cal.	
	HW	6	Acer tartaricum 'Hot Wings'	Hot Wings Maple	2.0" cal.	
EVERGREEN TREES						
	AP	10	Pinus nigra	Austrian Pine	6' Ht.	B&B; Full & bushy
	BP	10	Pinus aristata	Bristlecone Pine	6' Ht.	B&B; Full & bushy
	LP	8	Pinus flexilis	Limber Pine	6' Ht.	B&B; Full & bushy
	PP	9	Pinus edulis	Pinyon Pine	6' Ht.	B&B; Full & bushy
	PO	11	Pinus ponderosa	Ponderosa Pine	6' Ht.	B&B; Full & bushy
DECIDUOUS SHRUBS						
	PM	6	Arcostaphylos x coloradoensis 'Panchito'	Panchito Manzanita	21-24" ht.	#5 Container
DECIDUOUS SHRUBS						
	FP	14	Fallugia paradoxa	Apache Plume	21-24" ht.	#5 Container
	FS	21	Atriplex canescens	Four-wing Saltbush	21-24" ht.	#5 Container
	TL	25	Rhus trilobata	Threelobed Sumac	30-36" ht.	#5 Container
	PB	14	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	#5 Container
	RS	21	Persovakia atriplicifolia	Russian Sage	21-24" ht.	#5 Container
	WF	30	Krascheninnikovia lantana	Winterfat	30-36" ht.	#5 Container
	WR	46	Rosa woodsii	Wood's Rose	21-24" ht.	#5 Container

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE PLANT LIST, MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

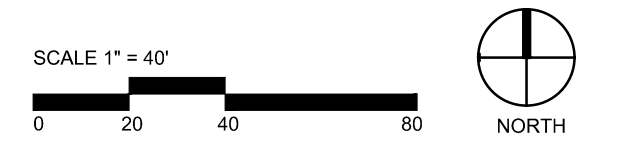
SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
 PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
 PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004



PROJECT STATISTICS	
GROSS SITE AREA	18.277 AC
BUILDING SQUARE FOOTAGE	6,876 SF
NET SQUARE FOOTAGE OF LANDSCAPE AREA WITHIN LIMITS OF CONSTRUCTION	271,379 SF
OVERALL SITE LANDSCAPE/OPEN SPACE AREA	577,170 SF
LOT COVERAGE %/FAR	0.009%/0.012
# PARKING SPACES REQUIRED	5
# PARKING SPACES PROVIDED	9, 1 ADA
BUILDING CONSTRUCTION AND OCCUPANCY	V-B, B-Office S-1 Service/Repair
ZONING	AG
# OF EMPLOYEES	5

LANDSCAPE SUMMARY	
LANDSCAPE TREATMENT AREA	
GROSS SITE AREA: 18.28 AC.	Percentage of Total
a.) Total Landscape Area	577,170 SF
b.) Area of Irrigated Dryland Seed	20,084 SF
c.) Area of Non-irrigated Dryland Seed	277,271 SF
d.) Area of Planting Bed	6,854 SF
e.) Living Plant Material	326,319 SF
f.) # Trees Required (1/600 sf)*	85
g.) # Shrubs Required (1/300 sf)*	114
h.) # Shrubs Provided	114
i.) # of Mulch Types	2
*Disturbed area: 271,379 SF	
RIGHT-OF-WAY LANDSCAPE AREA*	
a.) ROW frontage	393 LF
b.) # Trees Required	10
c.) # Trees Provided	10
*88th Ave. not improved/widened	
PARKING LOT LANDSCAPE AREA	
a.) # Trees Required	1
b.) # Trees Provided	3
c.) # Shrubs Required	22
d.) # Shrubs Provided	22
e.) # of Islands Required	0
f.) # of Islands Provided	0

LEGEND	
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	PERMANENT DRILL SEED MIX #1
	RETENTION POND SEED MIX #2
	LOW GROW SEED MIX #3
	4" DEPTH MULCH
	3" COBBLE STRIP AT CURB
	LANDSCAPE EDGER
	UNDISTURBED VEGETATED COVER



Jump Design Company
 PLANNING & LANDSCAPE ARCHITECTURE

 1733 S. Clarkson Street
 Denver, Colorado 80210
 info@jumpdesignco.com
 303.282.0463

CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS DAY OF _____, 20____.
 DEPARTMENT OF COMMUNITY DEVELOPMENT



NO.	REVISION	DATE
1	2ND DEVELOPMENT PLAN SUBMISSION	11/22/21
2	3RD DEVELOPMENT PLAN SUBMISSION	6/20/22

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730
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 COMMERCE CITY, CO 80640
 PREPARED FOR: ALL DEMOLITION AND EXCAVATING CO.
 6300 W. 49TH DRIVE
 WHEAT RIDGE, CO 80033

DEVELOPMENT PLAN
 JOB NO. AD21005
 ORG. SUBM. DATE 5/7/2021
 DWN: ESJ/CHK: RSD
 NAME _____
 LANDSCAPE PLAN
 NO. **L1.0**

PLANT LIST

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	CONDITION/REMARKS
DECIDUOUS TREES						
+	HB	9	Celtis occidentalis 'Chicagoland'	Hackberry	2.0" cal.	TREES SHALL BE B&B, WITH FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK.
	HL	3	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.0" cal.	
	HO	6	Quercus 'Heritage'	Heritage Oak	2.0" cal.	
	LC	5	Populus acuminata	Lanceleaf Cottonwood	2.0" cal.	
	WC	5	Catalpa speciosa	Western Catalpa	2.0" cal.	
ORNAMENTAL TREES						
+	TH	3	Crataegus-gallii inermis	Thornless Hawthorn	2.0" cal.	
	HW	6	Acer tartaricum 'Hot Wings'	Hot Wings Maple	2.0" cal.	
EVERGREEN TREES						
⊙	AP	10	Pinus nigra	Austrian Pine	6' Ht.	B&B; Full & bushy
	BP	10	Pinus aristata	Bristlecone Pine	6' Ht.	B&B; Full & bushy
	LP	8	Pinus flexilis	Limber Pine	6' Ht.	B&B; Full & bushy
	PP	9	Pinus edulis	Pinyon Pine	6' Ht.	B&B; Full & bushy
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DECIDUOUS SHRUBS						
	PM	6	Arcostaphylos x coloradoensis 'Panchito'	Panchito Manzanita	21-24" ht.	#5 Container
DECIDUOUS SHRUBS						
⊙	FP	14	Fallugia paradoxa	Apache Plume	21-24" ht.	#5 Container
	FS	21	Atriplex canescens	Four-wing Saltbush	21-24" ht.	#5 Container
	TL	25	Rhus trilobata	Threeleaf Sumac	30-36" ht.	#5 Container
	PB	14	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	#5 Container
	RS	21	Persovakia atriplicifolia	Russian Sage	21-24" ht.	#5 Container
	WF	30	Krascheninnikovia lanтана	Winterfat	30-36" ht.	#5 Container
	WR	46	Rosa woodsii	Wood's Rose	21-24" ht.	#5 Container

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DEVELOPMENT PLAN FOR ALL DEMOLITION

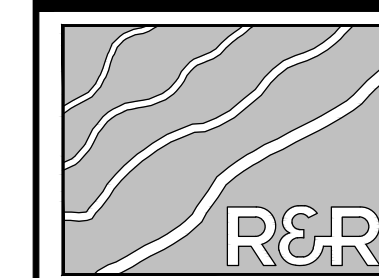
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 PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS
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Know what's below.
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NO.	REVISION	DATE	BY
1	CITY COMMENTS	11/12/21	
2	3RD DEVELOPMENT PLAN SUBMISSION	6/20/22	



ENGINEERS-SURVEYORS

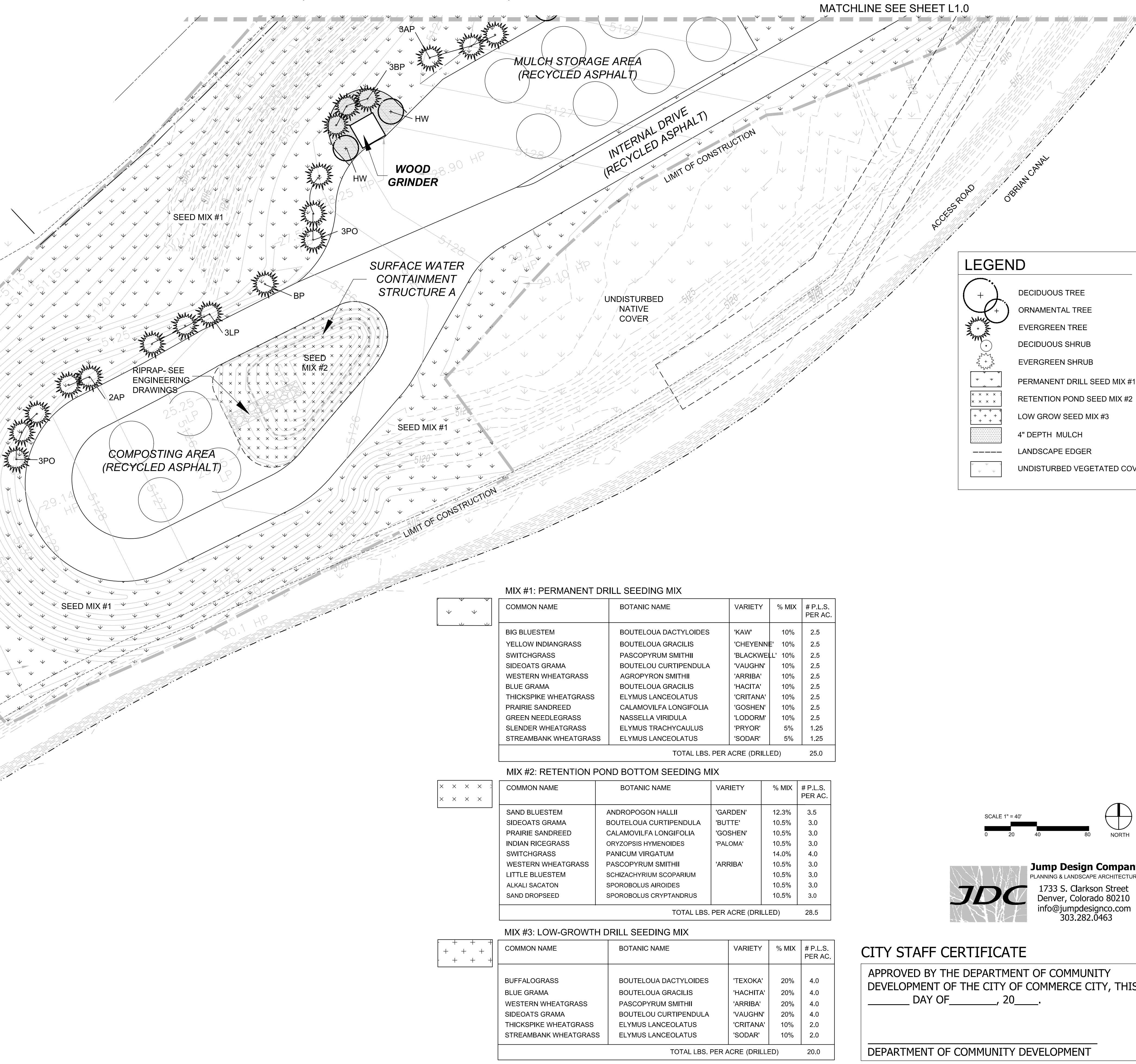
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DEVELOPMENT PLAN
JOB NO. AD21005
ORG. SUBM. DATE 5/7/2021
DWN: NAME
CHKD:
LANDSCAPE PLAN
NO. L2.0



LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- PERMANENT DRILL SEED MIX #1
- RETENTION POND SEED MIX #2
- LOW GROW SEED MIX #3
- 4" DEPTH MULCH
- LANDSCAPE EDGER
- UNDISTURBED VEGETATED COVER

MIX #1: PERMANENT DRILL SEEDING MIX

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
BIG BLUESTEM	BOUTELOUA DACTYLOIDES	'KAW'	10%	2.5
YELLOW INDIANGRASS	BOUTELOUA GRACILIS	'CHEYENNE'	10%	2.5
SWITCHGRASS	PASCOPYRUM SMITHII	'BLACKWELL'	10%	2.5
SIDEOATS GRAMA	BOUTELOU CURTIPENDULA	'VAUGHN'	10%	2.5
WESTERN WHEATGRASS	AGROPYRON SMITHII	'ARRIBA'	10%	2.5
BLUE GRAMA	BOUTELOUA GRACILIS	'HACITA'	10%	2.5
THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	'CRITANA'	10%	2.5
PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	'GOSHEN'	10%	2.5
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	'L'DORM'	10%	2.5
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	'PRYOR'	5%	1.25
STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	'SODAR'	5%	1.25
TOTAL LBS. PER ACRE (DRILLED)				25.0

MIX #2: RETENTION POND BOTTOM SEEDING MIX

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
SAND BLUESTEM	ANDROPOGON HALLII	'GARDEN'	12.3%	3.5
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	'BUTTE'	10.5%	3.0
PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	'GOSHEN'	10.5%	3.0
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	'PALOMA'	10.5%	3.0
SWITCHGRASS	PANICUM VIRGATUM		14.0%	4.0
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	'ARRIBA'	10.5%	3.0
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM		10.5%	3.0
ALKALI SACATON	SPOROBOLUS AIROIDES		10.5%	3.0
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS		10.5%	3.0
TOTAL LBS. PER ACRE (DRILLED)				28.5

MIX #3: LOW-GROWTH DRILL SEEDING MIX

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
BUFFALOGRASS	BOUTELOUA DACTYLOIDES	'TEXOKA'	20%	4.0
BLUE GRAMA	BOUTELOUA GRACILIS	'HACITA'	20%	4.0
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	'ARRIBA'	20%	4.0
SIDEOATS GRAMA	BOUTELOU CURTIPENDULA	'VAUGHN'	20%	4.0
THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	'CRITANA'	10%	2.0
STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	'SODAR'	10%	2.0
TOTAL LBS. PER ACRE (DRILLED)				20.0

CITY STAFF CERTIFICATE
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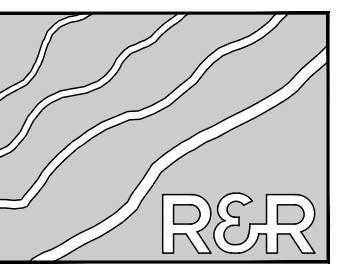
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2	3RD DEVELOPMENT PLAN SUBMISSION	ESJ	3/18/22

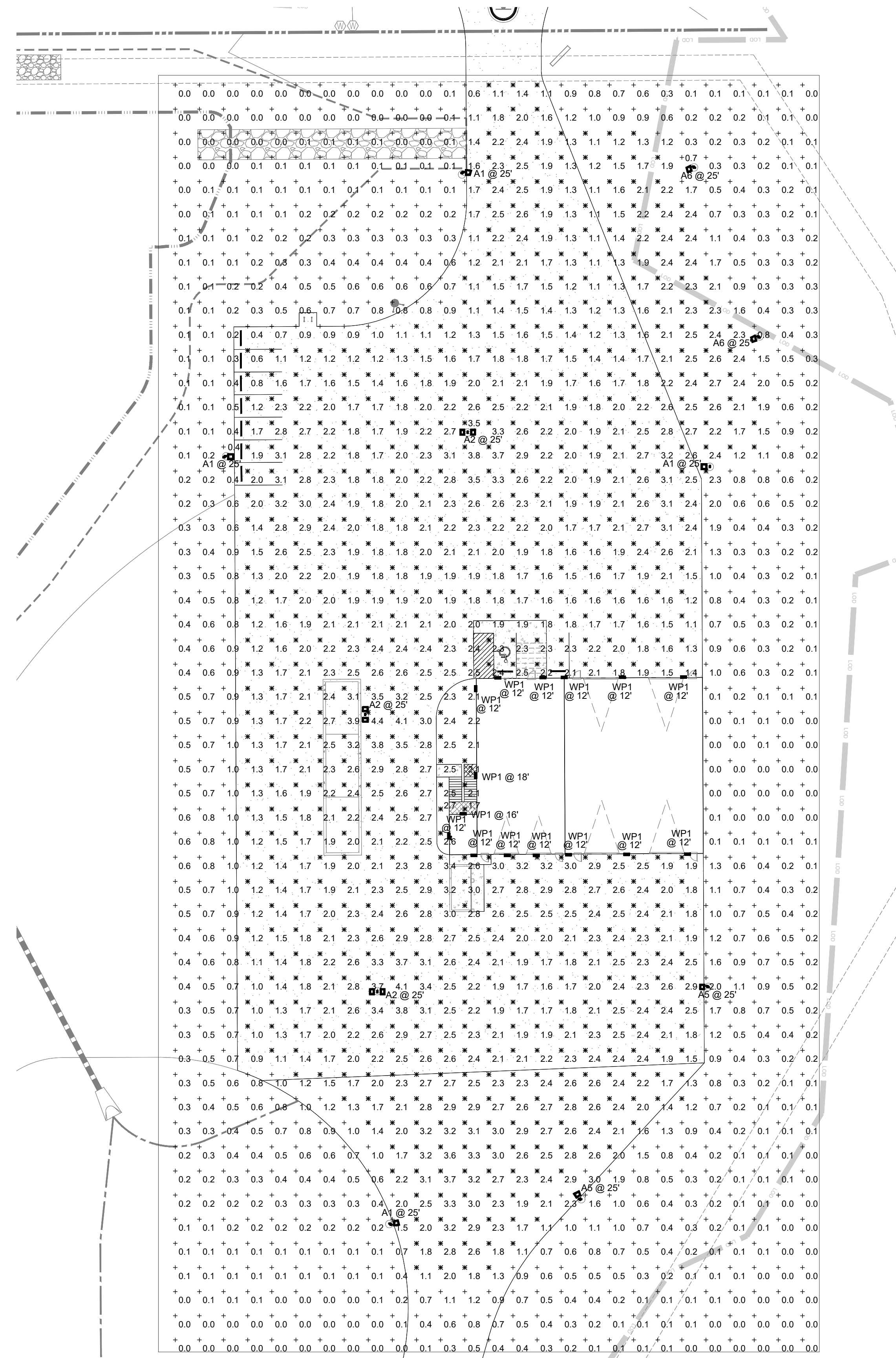


ENGINEERS SURVEYORS

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	X	2.2 fc	4.4 fc	1.1 fc	4.0:1	2.0:1
Site	+	1.3 fc	4.4 fc	0.0 fc	N/A	N/A

1 **PHOTOMETRIC PLAN**
SCALE: 1" = 30'-0"

CITY STAFF CERTIFICATE

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DEPARTMENT OF COMMUNITY DEVELOPMENT



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DEVELOPMENT PLAN	
JOB NO.	AD21005
ORG. SUBM. DATE	5/7/2021
DWN:	ESJ
CHKD:	RSD
NAME	
PHOTOMETRIC	
NO.	E-1

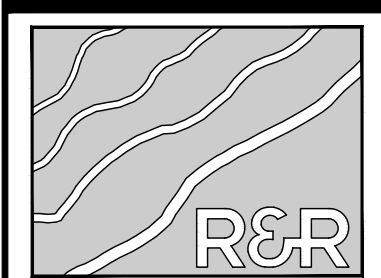
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DEV. PLAN NO.	DATE
AD21005	5/7/2021

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

CUT SHEETS

NO. E-2

D-Series Size 1 LED Area Luminaire

Category Number: **A1 & A2 A5 & A6**

Specifications

EPA: 1.01 ft²
 Length: 33"
 Width: 13"
 Height H1: 7-1/2"
 Height H2: 3-1/2"
 Weight (max): 27 lbs

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, great pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBX

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 3000 K	T1S Type I short (Automotive)	MVOLT ¹	Shipped included SPA Square pole mounting RPA Round pole mounting ² WBA Wall bracket ¹ SPUMBA Square pole universal mounting adaptor ¹¹ RPMBA Round pole universal mounting adaptor ¹¹ Shipped separately RMAE DDBXD U Mount arm mounting bracket adaptor (specify finish) ¹²
		40K 4000 K	T5S Type V short ³	7XVOLT (277/480V) ^{4,5}	
DSX1 LED	Rotated optics P10 P12 P11 P13	50K 5000 K	T2S Type II short	120" ⁶	
		50K 5000 K	T3M Type III medium	208" ⁶	
DSX1 LED	Control options	Other options	Other options	Finish required	Shipped installed DDBXD Dark bronze DLBD Black DNAXD Natural aluminum DHWAD White DDBXD Textured dark bronze DLBD Textured black DNAXD Textured natural aluminum DHWAD Textured white
			Other options	Finish required	

LITHONIA LIGHTING COMMERCIAL OUTDOOR
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 © 2011-2020 Acuity Brands Lighting, Inc. All rights reserved. DSX1 LED Rev. 11/16/20 Page 1 of 8

D-Series Size 1 LED Wall Luminaire

Category Number: **WP1**

Specifications Luminaire

Width: 13-3/4"
 Depth: 10"
 Height: 6-3/8"

Back Box (BBW, ELCW)

Width: 13-3/4"
 Depth: 4"
 Height: 6-3/8"

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Date Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (line engine)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ¹	Shipped included (Blank) Surface mounting basket	Shipped installed PE Photoelectric cell, button type ⁸ DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15 mg lux ¹² PIRH 180° motion/ambient light sensor, 15-30 mg lux ¹² PIRHFCV Motion/ambient sensor, 8-17' mounting height, ambient sensor enabled at 16" ¹² PIRHFCV Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ¹² ELCW Emergency battery backup (includes external component enclosure, CA Title 20 Noncompliant ¹²)
DSXW1 LED	20C 20 LEDs (line engine) ³	700 700 mA	40K 4000 K	T3M Type III Medium	240" ⁶	BBW Surface-mounted back box (for conduit entry) ⁹	
							50K 5000 K
DSXW1 LED	1000 1000 mA (1 A) ⁴	AMPC Amber phosphor converted	AMPC Amber phosphor converted	T4M Type IV Medium Forward Throw	347" ¹⁴	ELCW	
							50K 5000 K

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Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distrib. Pattern	Polar Plot
[Symbol]	WP1	15	Lithonia Lighting	DSXW1 LED 10C 350 30K T4M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE T4M OPTIC, 3000K, @ 350lm	LED	1	DSXW1_LED_1 0C_350_30K_T 4M_MVOLT.ras	1357	1	0.9	13.3	100%	TYPE IV, MEDIUM, BUG RATING: B1-U0-G1	
[Symbol]	A2	3	Lithonia Lighting	DSX1 LED P6 30K T5W MVOLT	DSX1 LED P6 30K T5W MVOLT	LED	1	DSX1_LED_P6 30K_T5W_MVOLT.ras	18227	1	0.9	326	100%	TYPE VS, BUG RATING: B5-U0-G3	
[Symbol]	A1	4	Lithonia Lighting	DSX1 LED P3 30K BLC MVOLT	DSX1 LED P3 30K BLC MVOLT	LED	1	DSX1_LED_P3 30K_BLC_MVOLT.ras	9570	1	0.9	102	100%	TYPE II, SHORT, BUG RATING: B1-U0-G2	
[Symbol]	A5	2	Lithonia Lighting	DSX1 LED P5 30K TFM MVOLT	DSX1 LED P5 30K TFM MVOLT	LED	1	DSX1_LED_P5 30K_TFM_MVOLT.ras	14694	1	0.9	138	100%	TYPE IV, SHORT, BUG RATING: B2-U0-G3	
[Symbol]	A6	2	Lithonia Lighting	DSX1 LED P2 30K T2S MVOLT	DSX1 LED P2 30K T2S MVOLT	LED	1	DSX1_LED_P2 30K_T2S_MVOLT.ras	8282	1	0.9	70	100%	TYPE II, SHORT, BUG RATING: B2-U0-G2	



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APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT