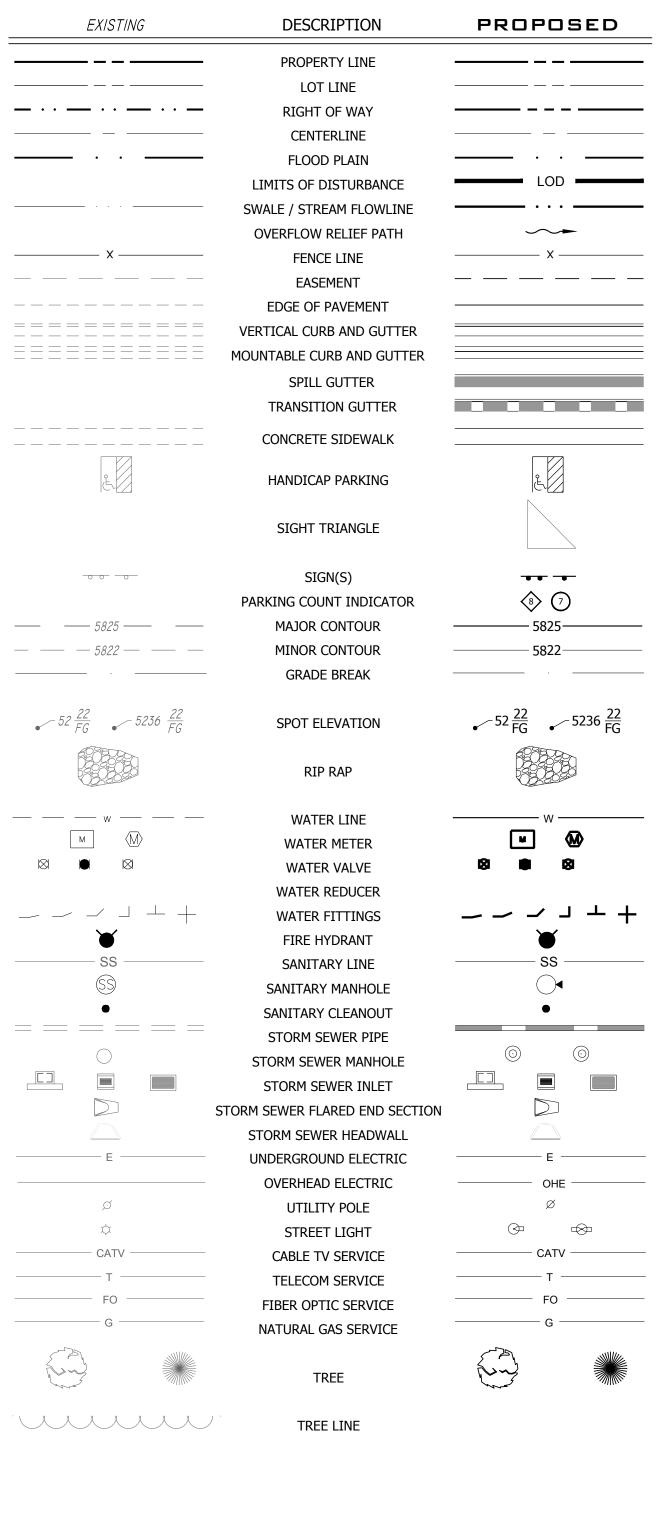
DEVELOPMENT PLAN FOR ALL DEMOLITION

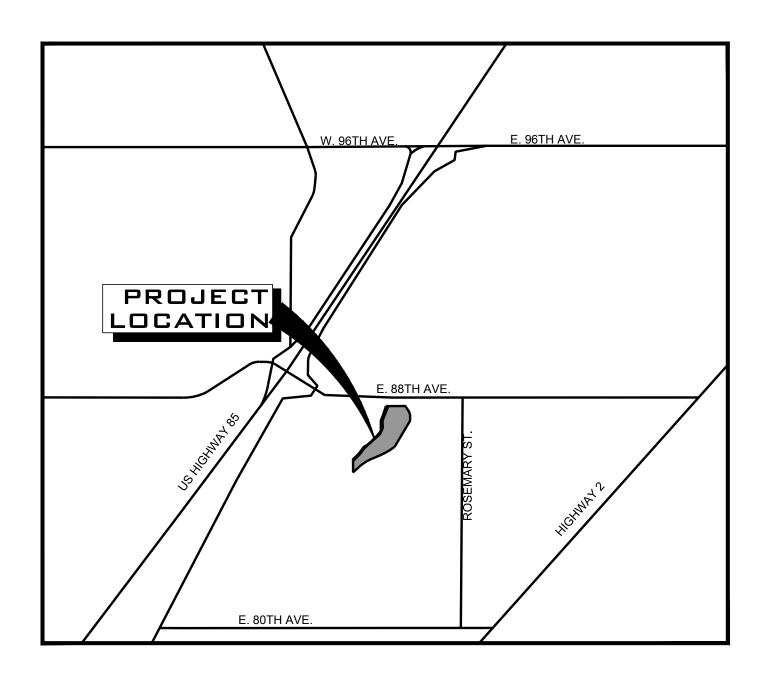
TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004

MASTER LEGEND





VICINITY MAP SCALE 1" = 2,000'

SHEET INDEX

SHEET#	SHEET TIT
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
C4.0	DETAILS
C4.1	DETAILS
C4.2	LINE OF SIGHT PROFILES
A-1	BUILDING ELEVATIONS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
E-1	PHOTOMETRIC PLAN
E-2	CUT SHEETS

CONTACT LIST						
OWNER	CIVIL ENGINEER	SURVEYOR	ARCHITECT			
ALL DEMOLITION AND EXCAVATING CO.	R&R ENGINEERS & SURVEYORS, LLC	FALCON SURVEYING, INC	RUDD & ASSOCIATES, ARCHITECTS			
6300 W. 49TH DRIVE WHEAT RIDGE, CO 80033 (303) 944-9686 CONTACT: TANYA BAKUM	1635 WEST 13TH AVENUE, STE 310 DENVER, CO 80204 (303) 753-6730 CONTACT: ROBERT DEVENNEY, P.E.	9940 WEST 25TH AVENUE LAKEWOOD, CO 80215 (303) 202-1560 CONTACT: JEFFREY MACKENNA	1840 EAST THURSTON AVENUE SPOKANE, WA 99203 (509) 242-3122 CONTACT: MIKE RUDD			
LANDSCAPE ARCHITECT	MEP	WATER AND SANITATION	FIRE			
JUMP DESIGN COMPANY		SOUTH ADAMS COUNTY WATER AND SANITATION DISTRIC	SOUTH ADAMS COUNTY FIRE DEPARTMENT			
1733 SOUTH CLARKSON STREET DENVER, CO 80210 (303) 282-0463 CONTACT TOM JUMP		6595 EAST 70TH AVENUE COMMERCE CITY, CO 80037 (303) 288-2646	6050 SYRACUSE STREET COMMERCE CITY, CO 80022 (303) 288 0835			

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT SATURN FIVE DEMOLITION LLC BEING THE OWNER OF THAT PART OF THE SE 1/4 OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

PLOTS 1 THROUGH 4, FOURTH ADDITION TO HENEBRYDALE, TOGETHER WITH A 40 FOOT WIDE STREET (NOW VACATED BY VACATION OF RIGHT-OF-WAY RECORDED SEPTEMBER 28, 1965, IN BOOK 1250 AT PAGE 246), AS SHOWN ON THE RECORDED PLAT OF SAID FOURTH ADDITION TO HENEBRYDALE, AS RECORDED IN PLAT BOOK 1 AT PAGE 58, ADAMS COUNTY RECORDS, BEING A PART OF THE EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

THAT PART OF THE EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, AS DESCRIBED IN ORDER AND JUDGMENT, CIVIL ACTION NO. 00 CV 1526, DIV. C, RECORDED NOVEMBER 3, 2000, IN BOOK 6313 AT PAGE 215, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST ORDER RECORDED IN BOOK 5941 AT PAGE 250, ADAMS COUNTY RECORDS, AND THE POINT OF BEGINNING.

THENCE S 00°57'24" W ALONG SAID CENTERLINE, A DISTANCE OF 238.73 FEET TO THE CENTERLINE OF SAID ABANDONED BURLINGTON PLATS, PREPARED BY R.W. BAYER & ASSOCIATES, INC., FILE NO. 29-27-104L AND FILE NO. 29-27-105L; THENCE S 31°04'58" W ALONG SAID CENTERLINE, A DISTANCE OF 63.39 FEET; THENCE S 41°44'38" W ALONG SAID CENTERLINE, A DISTANCE OF 102.31 FEET; THENCE S 45°28'33" W, A DISTANCE OF 181.18 FEET; THENCE S 48°56'56" W ALONG SAID CENTERLINE, A DISTANCE OF 113.98 FEET THENCE S 60°24'26" W, A DISTANCE OF 96.90 FEET TO THE CENTERLINE OF THE ABANDONED BURLINGTON DITCH, AS SHOWN ON THE 29-27-106L, DATED JULY 11, 2003 AND AS SHOWN ON THE BOUNDARY SURVEY PREPARED BY LIND ENGINEERING, FILE NO. 29-27-31L, DATED SEPTEMBER 3, 1964; THENCE S 37°09'30" W ALONG SAID CENTERLINE, A DISTANCE OF 209.80 FEET;

NORTHEAST ONE-QUARTER OF SAID SECTION 29; THENCE S 00°21'05" W ALONG SAID WEST LINE, A DISTANCE OF 43.88 FEET TO THE WESTERLY LINE OF PLOTS 1 THROUGH 4, SAID FOURTH ADDITION TO HENEBRYDALE, AS SHOWN ON THE BOUNDARY SURVEY PREPARED BY LIND ENGINEERING, FILE NO. 29-27-33L, DATED JULY 19, 1965; THENCE ALONG SAID WESTERLY LINE THE FOLLOWING SEVEN (7)

DISTANCE OF 499.00 FEET; 4. THENCE N 24°41'30" E, A DISTANCE OF 156.96 FEET; 5. THENCE N 02°48'30" W, A DISTANCE OF 155.29 FEET; 6. THENCE N 12°28'00" E, A DISTANCE OF 31.00 FEET; 7. THENCE N 22°16'14" E, A DISTANCE OF 347.96 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EAST 88TH AVENUE, BEING 30.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES, FROM THE NORTH LINE OF SAID EAST ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 29; THENCE S 90°00'00" W, ALONG SAID SOUTH RIGHT-OF-WAY

THAT PART OF THE NORTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LYING NORTH OF THE RIGHT OF WAY OF DENVER AND SALT LAKE RAILROAD COMPANY, EXCEPT THOSE PORTIONS THEREOF DESCRIBED IN THE FOLLOWING BOOKS AND PAGES: BOOK 397 AT PAGES 393, BOOK 946 AT PAGE 287; BOOK 1748 AT PAGE 69; BOOK 1743 AT PAGE 339; BOOK 2170 AT PAGE 355; MARCH 11, 2002 AT RECEPTION NO. C0937518; AND APRIL 21, 2004, AT RECEPTION NO. 20040421000256630, JULY 7, 2012 AT RECEPTION NO. 2012000048518 AND FEBRUARY 25, 2014 AT RECEPTION NO. 2014000011458, AND EXCEPT THE NORTH 20 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

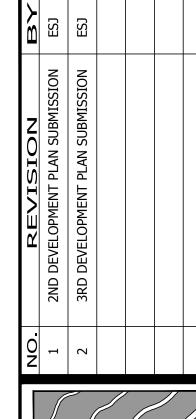
CONTAINING: 796,137 SQ. FT., OR 18.277 ACRES, MORE OF LESS.

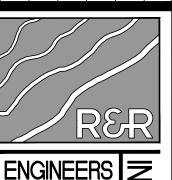
BASIS OF BEARING:

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARING S00°19'46"W A DISTANCE OF 2648.74' AND MONUMENTED AS SHOWN HEREON. TITLE COMMITMENT LEGAL DESCRIPTION BASIS OF BEARING N90°00'00"E.

BENCHMARK:

ELEVATIONS ARE BASED ON NGS POINT "T 405," A 1/2" STAINLESS STEEL ROD IN LOGO BOX AT SOUTHEAST CORNER OF SOUTH KIPLING PARKWAY AND KENTUCKY DRIVE, ELEVATION 5606.1





ENGINEERS SURVEYORS

YORS, -SURVE **ENGINEERS**

WWW.RRENGINEERS.COM

R&R

DEVELOPMENT PL AD21005 RG. SUBM. DATE 5/7/2021 ESJ CHKD: RSI

COVER SHEET

C0.0

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS DAY OF_____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

CONCRETE RECYCLED ASPHALT GRAVEL

DEVELOPMENT PLAN FOR ALL DEMOLITION **GENERAL NOTES:** LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES TO BE REPLATTED AS: ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES. TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING. PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PROJECT STATISTICS PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004 **GROSS SITE AREA** 18.277 AC BUILDING. LDING SOUARE FOOTAGE 6,876 SF NET SQUARE FOOTAGE OF LANDSCAPE 271,379 SF AREA WITHIN LIMITS OF CONSTRUCTION FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS OVERALL SITE LANDSCAPE/OPEN SPACE 577,170 SF DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS. FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT LOT COVERAGE %/FAR 0.009%/0.012 PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS. DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER # PARKING SPACES REQUIRED SIGHT DISTANCE SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE. # PARKING SPACES PROVIDED 9, 1 ADA AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH TRIANGLES **WRONG WAY** V-B, B-Office S-2 ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS BUILDING CONSTRUCTION AND OCCUPANCY SIGN (R5-1a) DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT. Service/Repair CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE AG FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING SIGHT DISTANCE - KEEP RIGHT PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY TRIANGLES SIGN (R4-7) PRIOR TO THE ISSUANCE OF BUILDING PERMITS. UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED STOP SIGN SURFACE WATER UNDERGROUND PER THE LAND DEVELOPMENT CODE. SAMPLING LOCATION RIGHT OF WAY FOR A SANITARY SEWER MAIN AND APPURTENANCES **BUILDING DEPARTMENT DATA:** SITE PLAN NOTES: IN BOOK 2178 PAGE 157 ENGINEERS SURVEYORS CONSTRUCTION CODES: 2009 IBC, 2009 IMC, 2009 IPC, 2009 IFC, 2009 IECC, 2011 NEC 1. ALL EXISTING SITE FEATURES AND SURFACES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION ARE TO IRONDALE GARDENS **TABLE 503:** 9,000 SF BASIC ALLOWABLE AREA FOR S-1 OCCUPANCY DRAINAGE REMAIN UNDER EXISTING CONDITIONS, UNLESS SUBDIVISION SECTION 506: $A_a = 33,750 \text{ SF} = 9,000 + [9,000 \times 0.75] + [9,000 \times 3]$ OTHERWISE NOTED. SEE EXISTING CONDITIONS & DEMO **TOTAL ALLOWABLE AREA:** 33,750 SF S-1 OCCUPANCY PLAN. SHEET C1.1. FOR COMPLETE INFORMATION. 2. MAXIMUM HEIGHT OF OUTDOOR STORAGE IS 8-FEET OR WATER METERS TABLE 508.4: SEPARATION OF B AND S-1 SPACE IS RATED 1 HOUR THE HEIGHT OF THE SCREEN FENCE / WALL WHICH EVER IS BICYCLE -TABLE 601: STRUCTURAL FRAME ELEMENTS FOR V-B IS NOT RATED ORS SPACES (2) 3. THE SITE WILL OPERATE DURING DAYLIGHT HOURS ONLY, RE: DETAIL D / C4.1 SECTION 903.2.11.1(2): PROVIDE 20 SF OF OPENING IN EACH 50 LF OF EXTERIOR WALL 7:30 AM TO 4:30 PM. IN LIEU OF SPRINKLER SYSTEM. 4. AT THIS TIME, AN OPERATIONAL DATE HAS NOT BEEN SET -SURVE FOR THE FUTURE LANDSCAPE MATERIAL STORAGE AREA. TOTAL SF OF OPENING REQUIRED: 136.8 SF 5. EXISTING OVERHEAD ELECTRIC LINES PROVIDING SERVICE SITE LIGHTING (TOTAL BUILDING LF = 342 LF/50 = 6.84 X 20 SF = 136.8 SF) TO THE SITE ARE REQUIRED TO BE BURIED UNDERGROUND. EXISTING OVERHEAD DISTRIBUTION LINES TOTAL SF OF OPENING PROVIDED: 391 SF STOP (TYP.) - FIRE ARE TO REMAIN. HOWEVER, IF EXISTING OVERHEAD FLARED END RE: DETAIL HYDRANT ELECTRIC ALONG 88TH AVENUE IS RELOCATED IN **SECTION** TABLE 1004.1.2 OCCUPANT LOAD G / C4.1 AND (2) 6" COORDINATION WITH CONSTRUCTION OF THIS PROJECT ENGINEERS ACCESS DRIVE **BOLLARDS** THE LINE SHALL BE BURIED UNDERGROUND. CONTRACTOR 6,300 SF/500 = 13 SERVICE / REPAIR AND PARKING SHALL COORDINATE WITH CITY AND UTILITY PROVIDER. = 27 OFFICE AREA 2,626 SF/100 (RECYLCLED ASPHALT) STAIRCASE LINE OF SIGHT INTERIM GROUND COVER FOR THE FUTURE LANDSCAPE = 40 OCC. AND LANDINGS - CONCRETE ADA PARKING MATERIAL STORAGE AREA SHALL BE SEEDED WITH LOW PROFILE A PROFILE RE: DETAIL H / C4.1 GROWTH SEED MIX. TABLE 1005.1 NOTE: EACH BAY WILL HAVE ONE TRACTOR AND TRAILER FOR WEIGH STATION SERVICE AND EACH BAY MAY HAVE A MAX. OF (2) SERVICE PLATFORM (70'X15') ENTRANCE TECH'S. "PARKING GARAGE" OCCUPANCY LINE OF SIGHT to TRELLIS, RE TABLE 1015.1 MIN. ONE EXIT AT B PROFILE & PROFILE R&R MIN. ONE EXIT AT S-1 VIEW LIMITS OF FLARED END PLUMBING FIXTURES FOR B - OFFICE **RECYCLED TABLE 2902.1** SECTION **ASPHALT** 40 OCC. / 2 = 20 MEN AND WOMEN CENTERLINE ABANDONED BURLINGTON DITCH — WWW.RRENGINEERS.COM WATER CLOSET = 1 REQUIRED (1 PER 25 OCC. MEN AND WOMEN), 3 PER ALBERT G. ELHART. JUNE 10. 2003 🖌 OFFIÇE / GARAGE× PROVIDED **URINAL** = 1 PROVIDED LAVATORY = 1 REQUIRED (1 PER 40 OCC. MEN AND WOMEN), 3 - LINE OF SIGHT RE: DETAIL I / C4.1 **PROVIDED** PROFILE C PROFILE HEAVY DUTY CONCRETE DRINKING FOUNTAIN = 1 REQUIRED (1 PER 100 OCC.), 2 PROVIDED **VIEW** Landscape material RE: DETAIL I / C4.1 = 1 REQUIRED (1 SERVICE SINK), 1 PROVIDED STORAGE BAY AREA - LIMITS OF 30 BAYS - 20Wx30'Dx8'H RECYCLED 29,975 SF ASPHALT SEE DETAIL A / C4.0 GRASS LINED COMPACTED EARTH PROP. 6' PRIVACY FENCE - WOOD CHIPPER STRUCTURE APPROX. LOCATION OF EXISTING WELL (CW1) TO REMAIN AND BE ADJUSTED TO FINISHED GRADE. TO 8 OVERHEAD ELECTRIC BE REUSED AS SURFACE WATER A MULCH STORAGE AREA SAMPLING LOCATION. 21,250 SF (COMPACTED EARTH) LIMITS OF 18" IMPERMEABLE SOIL LINER COMPOSTING AREA -9,150 SF (COMPACTED EARTH) 10.0' SIDE YARD SETBACK R75.0'-20.0' LANDSCAPE SETBACK ADJACENT TO I-2 AND TURNAROUND - SURFACE WATER (COMPACTED EARTH) CONTAINMENT STRUCTURE A SCALE: 1" = 60' EVELOPMENT PL GAS, WATER OR SIMILAR PIPE LINES AND APPURTENANCES AND FOR ELECTRIC, TELEPHONE AND SIMILAR LINES AND APPURTENANCES WITHIN SAID AD21005 **CITY STAFF CERTIFICATE** VACATED RIGHT OF WAY. 40' ROADWAY PER FOURTH ADDITION TO G. SUBM. DATE 5/7/2021 HENEBRYDALE IN BOOK I PAGE 58. VACATED SEPTEMBER 28, 1965 IN BOOK ESJ CHKD: RS 1250 PAGE 246. APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS NORTHWESTERLY RIGHT OF WAY LINE O'BRIAN . DAY OF SITE PLAN CANAL OVER PROPERTY LINE. C1.0 DEPARTMENT OF COMMUNITY DEVELOPMENT

DEVELOPMENT PLAN FOR ALL DEMOLITION TO BE REPLATTED AS: SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004 DUE TO THE PRESCIENCE OF EXISTING FILL, SUBSURFACE EVALUATION DURING CONSTRUCTION AND A THOROUGH PROOFROLL OF THE ROADWAY - 88 THEAVENUE SUBGRADE SOILS WILL BE REQUIRED. TEST PITS SHALL BE OBSERVED DURING CONSTRUCTION AND WHERE ANY UNSUITABLE MATERIALS ARE DISCOVERED, REMOVAL AND FUTURE 66" STORM -RECOMPACTION ARE REQUIRED. SEWER MAIN (PART OF - FUTURE 66" STORM ALL STRUCTURE FOUNDATIONS SHALL BE 88TH STREET SEWER MAIN (PART OF OVEREXCAVATED A MINIMUM OF 5 FEET **IMPROVEMENT** 88TH STREET AND MATERIAL EVALUATED DUE TO THE PROJECT BY OTHERS) SEE BLOW-UP 2 ON THIS SHEET **IMPROVEMENT** PRESCIENCE OF EXISTING FILL. SURFACE WATER CONTAINMENT PROJECT BY OTHERS) BUILDING FF = 5124.11 STRUCTURE A WILL ACCOMMODATE THE 25 YEAR 24 HOUR STORM WITH 2 FEET OF ELEVATED STAIRCASE ENGINEERS SURVEYORS — CONSTRUCTION EASEMENT AND RIGHT OF WAY FOR A SANITARY SEWER MAIN AND APPURTENANCES IN BOOK 2178 PAGE 157 IRONDALE GARDENS SUBDIVISION 24.1/1 --SURVEYORS __ 24.11 24.00 TS 23.50 BS 23.58 BS ENGINEERS BLOW-UP 2 SCALE: 1" = 20' FUTURE 66" STORM SEWER MAIN (PART OF APPROX. LOCATION OF EXISTING WELL (CW1) TO -88TH STREET REMAIN AND BE ADJUSTED TO FINISHED GRADE. TO IMPROVEMENT R&R BE REUSED AS SURFACE WATER SAMPLING LOCATION. PROJECT BY OTHERS) - 163 LF 24" CLASS IV PROP. 6' PRIVACY FENCE WWW.RRENGINEERS.COM STORAGE BAY AREA 22 BAYS 20Wx30'Dx8'H 29,975 SF (COMPACTED EARTH) CENTERLINE ABANDONED BURLINGTON DITCH — PER ALBERT G. ELHART, JUNE 10, 2003 - SEE BLOW-UP 1 ON THIS SHEET O'BRIAN CANAL 29.2 HP -10.0' SIDE YARD SETBACK 20.0' LANDSCAPE SETBACK ADJACENT TO 1-2 - PROP. DRAINAGE SCALE: 1" = 60' CITY STAFF CERTIFICATE G. SUBM. DATE 5/7/2021 ESJ CHKD: RS APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS **GRADING PLAN** HENEBRYDALE IN BOOK I PAGE 58. VACATED SEPTEMBER 28, 1965 IN BOOK NORTHWESTERLY RIGHT OF WAY LINE O'BRIAN _ CANAL OVER PROPERTY LINE. C2.0 DEPARTMENT OF COMMUNITY DEVELOPMENT

DEVELOPMENT PLAN FOR ALL DEMOLITION TO BE REPLATTED AS: SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS EX. UTILITY POLE -PROPOSED OVERHEAD UTILITY TO BE PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004 REROUTED UNDERGROUND - EX. FIRE HYDRANT - EX. PSCo HIGH PRESSURE NATURAL PROP. 3/4" IRRIGATION SERVICE TAP RIGHT OF WAY FOR A SANITARY GAS TRANSMISSION PIPELINE EX. SACWSD WATER MAIN N=1191064.88-E=3167331.39 CONTRACTOR SHALL COORDINATE SEWER MAIN AND APPURTENANCES WITH PSCo ENCROACHMENT TEAM FOR PROP. 3/4" SERVICE TAP W/ CORP STOP N=1191064.70-√N=1191059.95 E=3167313.50 E=3167331.56 EX. SSWR MH -3/4" IRRIGATION SERVICE 6" DIP HYDRANT LINE **IPEX PURPLE Q-LINE** SERVICE TUBING — EX. PSCo HIGH PRESSURE NATURAL GAS TRANSMISSION PIPELINE . 3/4" IRRIGATION METER - UTILITY ČROSSÍNGS EX. OVERHEAD U MAINTAIN 18" VERT ENGINEERS SURVEYORS SEPARATION PROP. 3/4" WATER METER ---- PROP. SIGN -FUTURE 66" STORM SEWER MAIN (PART OF 88TH STREET IMPROVEMENT PROJECT BY OTHERS) ORS SANITARY SERVICE Q @ 2.0% MIN. - 40' RIGHT OF WAY EASEMENT FOR THE PROP. SANITARY CLEANOUT PROP. HYDRANT CONTINUED USE OF EXISTING SEWER, GAS INFILTRATION BASIN B (100 FT. SPACING MAX) WATER OR SIMILAR PIPE LINES AND N=1190871.46 APPURTENANCES AND FOR ELECTRIC E=3167338.06 10.0' WATER TELEPHONE AND SIMILAR LINES AND ENGINEER APPURTENANCES WITHIN SAID VACATED RIGH OF WAY. 40' ROADWAY PER FOURTH ADDITION TO HENEBRYDALE IN BOOK I PAGE 58. VACATED SEPTEMBER 28, 1965 IN BOOK 1250 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AN ← 6" BOLLARDS THE CONSTRUCTION PLANS, SPECIFICATIONS, AND ELECTRONIC BEEN APPROVED BY THE DISTRICT, AND ALL REQUIRED BEEN CONVEYED TO THE DISTRICT. THE CONTRACTOR SHALL START OF ANY CONSTRUCTION. BE PLACED WHERE GROUNDWATER IS VISIBLE UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY WWW.RRENGINEERS.COM 2. ALL MATERIALS AND CONSTRUCTION RELATED TO WATER AND WASTEWATER UNSTABLE AREAS DUE TO GROUNDWATER SHALL BE STABILIZED AS DIRECTE FACILITIES SHALL BE IN ACCORDANCE WITH THE DISTRICT'S RULES AND REGULATIONS AND DESIGN AND CONSTRUCTION STANDARDS. THE DISTRICT'S STANDARD DETAILS ARE INCLUDED IN SECTION 6 OF THE DESIGN AND 11. THE DISTRICT AND ITS ENGINEER(S) ARE NOT GUARANTORS OF THE PROP. SANITARY CLEANOUT CONTRACTOR'S OBLIGATIONS AND PERFORMANCE OF THE CONTRACT. THE CONSTRUCTION STANDARDS AS A MEANS OF PROVIDING SPECIFIC, (100 FT. SPACING MAX) CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE DISTRICT SUPPLEMENTAL INFORMATION PERTAINING TO THE CONSTRUCTION OF 365 LF -N=1190811.70 FACILITIES TO BE OWNED BY THE DISTRICT, AND SHALL IN ALL ASPECTS BE AND ITS ENGINEER(S) FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN 3/4" DOMESTIC E=3167387.26 COMPLIED WITH BY THE CONTRACTOR REGARDLESS OF WHETHER OR NOT CONNECTION WITH THE WORK PERFORMED ON THIS PROJECT, EXCEPTING FOR SERVICE. PROP. SANITARY CLEANOUT SUCH APPLICABLE DETAILS HAVE BEEN INCLUDED ON THE PLANS. LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DISTRICT OR ITS IPEX BLUE Q-LINE (100 FT. SPACING MAX) SERVICE TUBING N=1190726.86 3. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES THE 1. SIZE, INVERTS, AND LOCATIONS OF WATER E=3167387.76 DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS, ONE SET OF APPROVED 12. CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR IN THE MANNER AND SANITARY MAINS AND STRUCTURES SHALL CONSTRUCTION PLANS AND SPECIFICATIONS, AND ALL APPROVED EASEMENT ESTABLISHED IN THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. IT BE FIELD VERIFIED PRIOR TO FINAL DESIGN. PROP. SANITARY AGREEMENTS. APPROVED WATER PLANS SHALL BEAR THE SIGNATURE OF THE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE SERVICE BLDG. CONNECTION DISTRICT REGARDING CURRENT REGULATIONS AND REQUIRED AGREEMENTS APPROPRIATE FIRE MARSHAL. 2. CONTRACTOR SHALL OBTAIN RIGHT OF WAY -INV = 5119.61RELATED TO THE PROVISION OF CONSTRUCTION WATER. PERMIT FROM CITY OF COMMERCE CITY -N=1190722.24 4. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH PUBLIC WORKS FOR UTILITY CONSTRUCTION IN E=3167387.79 ANY AFFECTED UTILITY COMPANY AND SHALL NOTIFY THE UTILITY NOTIFICATION 13. LIMITS OF CONSTRUCTION EASEMENTS AND RIGHTS-OF-WAY SHALL BE E 88TH AVENUE. CENTER OF COLORADO AT 1-800-922-1987 OR 811 TWO DAYS PRIOR TO DELINEATED WITH TEMPORARY STAKING BY THE CONTRACTOR. SAFETY FENCING SHALL BE UTILIZED WHERE WORK IS IN CLOSE PROXIMITY TO CONSTRUCTION. 3. CONTRACTOR SHALL OBTAIN PSCo RESIDENCES, TRAILS, OR OTHER PUBLIC AREAS. 4. EXISTING OVERHEAD LINES ALONG 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT PROPERTY TO BE INSTALLED UNDERGROUND. REGARDING ALL REQUIRED TESTS AND INSPECTIONS, AND SHALL BE 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AS RESPONSIBLE FOR THE COORDINATION AND SCHEDULING THEREOF. REQUIRED FOR CONSTRUCTION ACTIVITIES. TRAFFIC CONTROL PLANS SHALL BE 4.EXISTING OVERHEAD LINES ALONG PROPER SUBMITTED TO AND APPROVED BY CDOT, ADAMS COUNTY, AND/OR COMMERCE FRONTAGE ARE REQUIRED TO BE INSTALLED 6. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AT LEAST 48 HOURS PRIOR CITY. UNDERGROUND. TO THE START OF CONSTRUCTION AND FOR ANY EMERGENCIES AT (303) OFFICE / GARAGE 288-2646. THE APPROPRIATE FIRE DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 15. WHERE EXCAVATION IS REQUIRED UNDER EXISTING ASPHALT OR CONCRETE BUILDING HOURS IN ADVANCE OF ANY STREET CLOSURES AND AT TIMES WHEN FIRE PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO FFE=5124.11 HYDRANTS ARE TO BE TEMPORARILY OUT FROM SERVICE. THE CONTRACTOR AFFECT A SMOOTH, STRAIGHT-CUT EDGE. SHALL ALSO BE RESPONSIBLE FOR PROVIDING AT LEAST 48 HOURS ADVANCED 163 LF CLASS IV NOTICE OF ANY NEED TO SHUT DOWN ANY PORTION OF THE EXISTING WATER 16. RECORD DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED 24" RCP @ SYSTEM AND FOR OBSERVATIONS AND/OR INSPECTIONS REQUIRED BY THE CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE DISTRICT PRIOR TO DISTRICT. THE INITIATION OF THE REQUIRED WARRANTY PERIOD OF TWO YEARS AS-DEFINED IN SACWSD'S "GRANT OF ACCEPTANCE OF UTILITIES AGREEMENT". THE 7. THE CONTRACTOR SHALL NOTIFY THE DISTRICT OF ANY PROBLEM IMPACTING RECORD DRAWINGS WILL CONSIST OF A MARKED-UP SET OF "ISSUED FOR WATER AND WASTEWATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A CONSTRUCTION" DRAWINGS VERIFYING THE FOLLOWING: VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE • ALL LENGTHS, SIZES, AND MATERIALS OF INSTALLED PIPE, FITTINGS, DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ALL MANHOLES, AND ANY OTHER IMPROVEMENT HORIZONTAL LOCATIONS EITHER BY STATION AND OFFSET, OR BY FIELD CHANGES TO THE APPROVED DOCUMENTS AND THE CONVEYING OF THIS • INFORMATION TO THE DESIGN ENGINEER FOR THE PURPOSES OF PREPARING NORTHING AND EASTING COORDINATES OF ALL MANHOLES, BENDS, CLEANOUTS, VALVES, TAPS, WYES, STUBS, PLUGS, TEES, ETC. RECORD DOCUMENTS AS REQUIRED BY THE DISTRICT. PROBATIONARY ACCEPTANCE OF THE WORK SHALL BE CONTINGENT UPON THE DISTRICT'S INVERT ELEVATIONS OF ALL SANITARY MANHOLES, INLETS, OUTLETS, STUB RECEIPT OF THE RECORD DOCUMENTS, WHICH SHALL INCLUDE BOTH ENDS, TOP OF PIPE, FINISHED RIM ELEVATION, AND BOTTOM OF PIPE "AS-CONSTRUCTED" PLANS AND ELECTRONIC DRAWING FILES. ELEVATIONS OF EACH UTILITY CROSSING, ETC. • THE CONSTRUCTED SLOPE OF SANITARY SEWER PIPES BETWEEN 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE MANHOLES AND STRUCTURES. LOCATION OF (POTHOLING), AND PROTECTING ALL EXISTING UTILITIES, • TOP OF PIPE ELEVATIONS AT REGULAR INTERVALS AND/OR FITTINGS FOR SCALE: 1" = 30' INCLUDING THOSE NOT SHOWN, OR INCORRECTLY SHOWN ON THE PLANS. ANY WATER LINES. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF • ANY OTHER VARIATIONS FROM THE CONSTRUCTION DOCUMENTS MUST BE EVELOPMENT PL THE DISTRICT AND THE OWNER OF THE IMPACTED UTILITY. VERTICAL CLEARLY NOTED AND DETAILED ON THE PLANS. CITY STAFF CERTIFICATE AD21005 CLEARANCES AND UTILITY PROTECTION BETWEEN CROSSING DISTRICT THE AS-BUILT DRAWINGS ARE TO BE PROVIDED AND STAMPED/SIGNED AND G. SUBM. DATE 5/7/2021 DATED BY A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR. FACILITIES SHALL BE MAINTAINED IN STRICT CONFORMANCE WITH THE ESJ CHKD: RSi DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS AND THE DISTRICT'S ELECTRONIC AUTOCAD DRAWING FILES AS OUTLINED IN THE DISTRICTS APPROVED BY THE DEPARTMENT OF COMMUNITY STANDARD DETAILS. STANDARDS AND SPECIFICATIONS ARE TO BE SUBMITTED, ALONG WITH A PDF, AND A HARDCOPY SET. DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS 9. EXISTING POTABLE AND IRRIGATION WATER VALVES WITHIN THE DISTRICT DAY OF UTILITY PLAN SHALL BE OPERATED BY DISTRICT PERSONNEL UNLESS OTHERWISE ALLOWED SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT PLANS TO BE BY THE DISTRICT. PREPARED AND APPROVED FOR FINAL CONSTRUCTION DETAIL C3.0 DEPARTMENT OF COMMUNITY DEVELOPMENT

DEVELOPMENT PLAN FOR ALL DEMOLITION TO BE REPLATTED AS: SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004 ELEVATION = 5135.00 8' HEIGHT MULCH EX. ELEVATION @ SOUTHEASTERN PL STORAGE. EX. ELEVATION OF = 5115.66 AREA TOP OF ACCESS ROAD IRONDALE GARDENS = 5119.56 SUBDIVISION O'BRIAN CANAL ZONING: AGRICULTURAL ZONING: AGRICULTURAL **SECTION A-A VIEW** LAND USE: MED-RESIDENTIAL APPROX. LAND USE: IRRIGATION ENGINEERS SURVEYORS C EX. ELEVATION @ NORTHWESTERN PL = 5112.62 PROPERTIES BEYOND ZONING: INDUSTRIAL <u>S</u> 12" THICK LAND USE: GENERAL INDUSTRIAL 20' WIDE CMU WALL CMU WALL 20' WIDE (TYP.) -SURVEYORS, 30' DEEP (TYP.) C1 - WESTERN PL-SOUTHEASTERN PL - SECTION VIEW 8' HEIGHT (TYP.) ENGINEERS TOP OF MULCH PILE ELEVATION = 5135.00 MULCH STORAGE/ AREA INTERNAL **PLAN VIEW SECTION B-B VIEW** O'BRIAN CANAL **ZONING: AGRICULTURA** LAND USE: IRRIGATION 1. FLOOR OF STORAGE BAYS SHALL BE RECYCLED ASPHALT MATERIAL. WWW.RRENGINEERS.COM 2. STORAGE BAY WALLS SHALL BE CONSTRUCTED OF CMU BLOCK MATERIAL IRONDALE GARDENS ZONING: INDUSTRIAL EX. ELEVATION ZONING: AGRICULTURAL LAND USE: GENERAL INDUSTRIAL @ SOUTHEASTERN PL LAND USE: MED-RESIDENTIAL TOP OF ACCESS ROAD = 5120.75 LANDSCAPE MATERIAL STORAGE BAY EX. ELEVATION @ NORTHWESTERN PL Scale: N.T.S. = 5111.77 C1 - NORTHWESTERN PL-SOUTHEASTERN PL - SECTION VIEW TOP OF COMPOSTING PILE ELEVATION = 5134.50**MULCH STORAGE AREA** PRO. ELEVATION @ TOP OF BERM Scale: N.T.S. = 5131.23 EX. ELEVATION OF COMPOSTING ADJACENT PROPERTY AREA HATCH LEGEND STORAGE AREA APPROX. TURNAROUND/ SURFACE WATER = 5126.12 0.4' CONTAINMENT STRUCTURE A O'BRIAN CANAL PROPOSED DESCRIPTION **ZONING: AGRICULTURAL** SATELLITE SHELTERS PROPERTIES BEYOND ZONING: COMMERCIAL **ZONING: INDUSTRIAL** LAND USE: INDUSTRIAL LAND USE: GENERAL INDUSTRIAL DISTRIBUTION MULCH/COMPOSTING EX. ELEVATION OF STOCKPILES TOP OF ACCESS ROAD FX. FI FVATION @ SOUTHEASTERN PL COMPACTED EX. ELEVATION B1 - WESTERN PL-SOUTHEASTERN PL - SECTION VIEW EARTH @ WESTERN PL = 5113.45 1. COMPOST STORAGE AREA IS NOT LOCATED WITHIN THE TOP OF COMPOSTING PILE LANDSCAPE MATERIAL DIRECT VIEW OF THE E 88TH AVENUE RIGHT-OF-WAY. ELEVATION = 5134.50BAY CONTENTS HOWEVER, IT IS LOCATED APPROXIMATELY 1,250-FEET ALONG AN INDIRECT PATH FROM THE RIGHT-OF-WAY. CONCRETE PRO. ELEVATION PRO. ELEVATION COMPOSTING ∠ @ TOP OF BERM @ TOP OF BERM = 5128.80 8' MAX = 5128.80 TYPICAL SURFACE WATER CONTAINMENT STRUCTURE IMPERMEABLE HEIGHT LINER DETAIL COMPACTED SOIL DRIVE LINER 1. SOIL LINER LAYER SHALL BE COMPACTED TO AT LEAST 95% APPROX. STANDARD PROCTOR. O'BRIAN CANAL RECYCLED ASPHALT 2. HYDRAULIC CONDUCTIVITY SHALL NOT EXCEED 1 X 10^-6 CM/SEC APPROX. ŻONING: AGRICULTURAL PROPERTIES BEYOND AND SHALL BE LABORATORY VERIFIED FOLLOWING ASTM 5084. LAND USE: IRRIGATION ZONING: INDUSTRIAL APPROX. EX. ELEVATION LAND USE: GENERAL INDUSTRIAL DEVELOPMENT PL @ SOUTHEASTERN PL EX. ELEVATION COMPACTED SOIL LINER SECTION @ NORTHWESTERN PL CITY STAFF CERTIFICATE TOP OF ACCESS ROAD = 5112.07 RG. SUBM. DATE 5/7/2021 Scale: N.T.S. ~ PRO. DRAINAGE SWALE IRONDALE GARDENS APPROVED BY THE DEPARTMENT OF COMMUNITY SUBDIVISION DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ZONING: AGRICULTURAL LAND USE: MED-RESIDENTIAL DAY OF **DETAILS** B2 - NORTHWESTERN PL-SOUTHEASTERN PL - SECTION VIEW **COMPOSTING AREA** Scale: N.T.S. C4.0 DEPARTMENT OF COMMUNITY DEVELOPMENT

AD21005

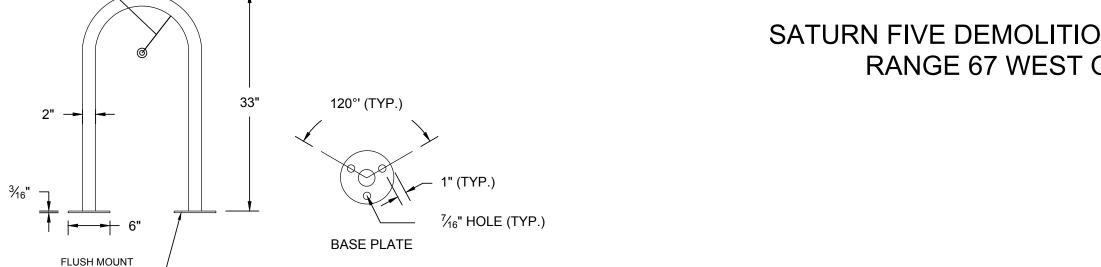
ESJ CHKD:

DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004



DIMENSIONS:

BASE PLATE

RADIUS

- 1. HEIGHT 33" FROM THE GROUND.
- CONTINUOUS BEND INSIDE RADIUS = 7". MATERIALS AND CONSTRUCTION:

- 1. MINIMUM OR 1 1/4" SCHEDULE 40 STEEL PIPE (1 5/8" OUTSIDE DIAMETER)
- 2. MAXIMUM 1 ½" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER). 3. SOLID ONE-PIECE CONSTRUCTION; CONTINUOUS BEND; LEGS 14" - 18'
- 4. GALVANIZED WITH BLACK POWDER COAT FINISH.
- 5. FLUSH MOUNTED WITH WELDED BASE PLATES
- (6" DIAMETER, $\frac{3}{16}$ " THICK BASE PLATE). HIDDEN OR VANDAL-RESISTENT FASTENERS (SCREWS OR EXPANSION BOLTS).



BIKE RACK DETAIL Scale: N.T.S. PRIMARY **ENTRANCE** TRELLIS RE: ARCH (2) #4 BARS THRU WHEEL-STOP & PAVEMENT MINIMUM 18". SET IN EPOXY ADHESIVE EMBED BELOW PARKING SURFACE. USE #5 REINF. DOWEL - 1'-6" LG. USE EPOXY BONDING AGENT. EMBEDDED IN PAVEMENT 2 PER WHEEL STOP TO EDGE OF ASPHALT - 2 - #4 BARS x 5'-6" LG. 3/4" Ø HOLES (TYP.) ASPHALT WHEEL STOPS 2 - #4 BARS X 5'-9" LG.

SUBGRADE COMPACTED TO 95%

SUBGRADE COMPACTED TO 95%

- SUBGRADE COMPACTED TO 95%

Scale: N.T.S.

Scale: N.T.S.

Scale: N.T.S.

WHEEL STOP SECTION

SCALE: N.T.S.

Scale: N.T.S.

WHERE NOTED ON PLANS, A CURB OR WHEEL STOP SHALL BE PROVIDED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAY OR ENCROACHMENT OF VEHICLES INTO LANDSCAPE AREA. PARKING STALLS SHALL BE LOCATED SO THAT PERSONS WITH DISABILITIES ARE NOT NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.

- 3"MINIMUM STONE SIZE

CONCRETE WHEEL STOP DETAIL

RECYCLED ASPHALT SECTION

HEAVY DUTY CONCRETE SECTION

LIGHT DUTY CONCRETE SECTION

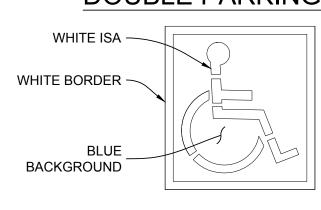
ENTRANCE DOOR -2'-0" MIN. - ISA PARKING SIGN, UNOBSTRUCTED > SEE NOTES 2 AND 10 **EDGE OF BULDING** SEE NOTE 3 4" WHITE LINE BORDERS 4" WHITE LINE DIAGONALS AT 3'-0" MAX. CENTERED. SEE NOTE 7 ISA MARKING AT REAR LIMIT OF STALL, SEE DETAIL A LIGHT DUTY CONCRETE 8'-0" 5'-0" Min BETWEEN REGULAR ACCESSIBLE PARKING STALLS LS

DOUBLE PARKING STALL

8'-0" Min TO THE RIGHT OF EACH

VAN ACCESSIBLE PARKING

STALL, SEE NOTES 2 AND 10



SIGN R99 ACCESSIBLE SIGN R7-8b

See Notes 2 and 6

TABLE A

ISA MARKING

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2% OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000

TRASH ENCLOSURE DETAIL

BOLLARD, TYPICAL, 6" DIA. CONC. FILLED PIPE, 48" ABOVE FINISH

30'-8" W x 8'-2" H STEEL GATES

METAL PANELS ON 2x4 T.S. FRAME 2 BARREL HINGES EACH SIDE. WELD

HINGE TO T.S. AND 5 1/2" x 12" x

PLATE TO T.S. COLUMN WITH 2-5/8"

INSTALL SLIDE LATCH AND A CANE

BOLTS AT EACH GATE. PRIME AND

18'-8"

1/4" STEEL PLATE. SECURE STEEL

RETAIL BUILDING ROOF

THRU-BOLTS.

PAINT TO MATCH DK. GREENCOLOR OF

GRADE AND 48" INTO 18" CONCRETE PIER. CROWN

CONCRETE ON TOP OF PIPE,

PRIME AND PAINT TRAFFIC

- ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
- ONE IN EVERY SIX ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R99B PLAQUE OR THE
- IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
- ABOVE THE SURROUNDING SURFACE. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE WHITE

BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0"

WHERE PLAQUE R99B, SIGN R99C OR SIGN R7-8B ARE INSTALLED, THE

- MARKINGS TO NOT BE VISIBLE. 8. WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
- WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE. 10. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99 WITH PLAQUE

ISA = International Symbol of Accessibility

Scale: N.T.S.

✓ STEEL GATES PAINT TO MATCH

6x6 TUBE STEEL POST SET FULL

CMU WALL WITH 3-1/2" Ø EXP.

ANCHORS EQUALLY SPACED UP

WALL. PAINT TO MATCH BUILDING.

- 5" CONC. SLAB WITH W.W.F. SLOPE TO

6x6 TUBE STEEL POST SET FULL

DEPTH INTO 18" x 48" CONC.

6" DIA. CONC. FILLED PIPE,

PRIME AND PAINT TRAFFIC

Scale: N.T.S.

YELLOW - TYP.

DEPTH INTO 18" x 48" CONC. PIER

DEPARTMENT OF COMMUNITY DEVELOPMENT

A.D.A. PARKING DETAILS

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS DAY OF

YORS, -SURVE ENGINEERS R&R WWW.RRENGINEERS.COM

ENGINEERS SURVEYORS

C4.

DEVELOPMENT PL.

AD21005 RG. SUBM. DATE 5/7/2021

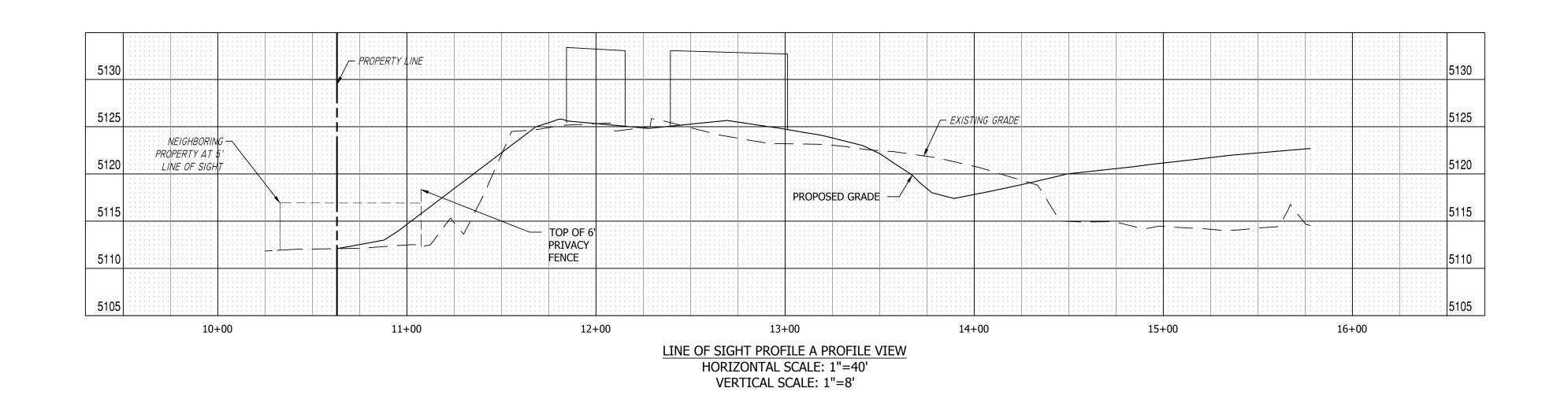
DETAILS

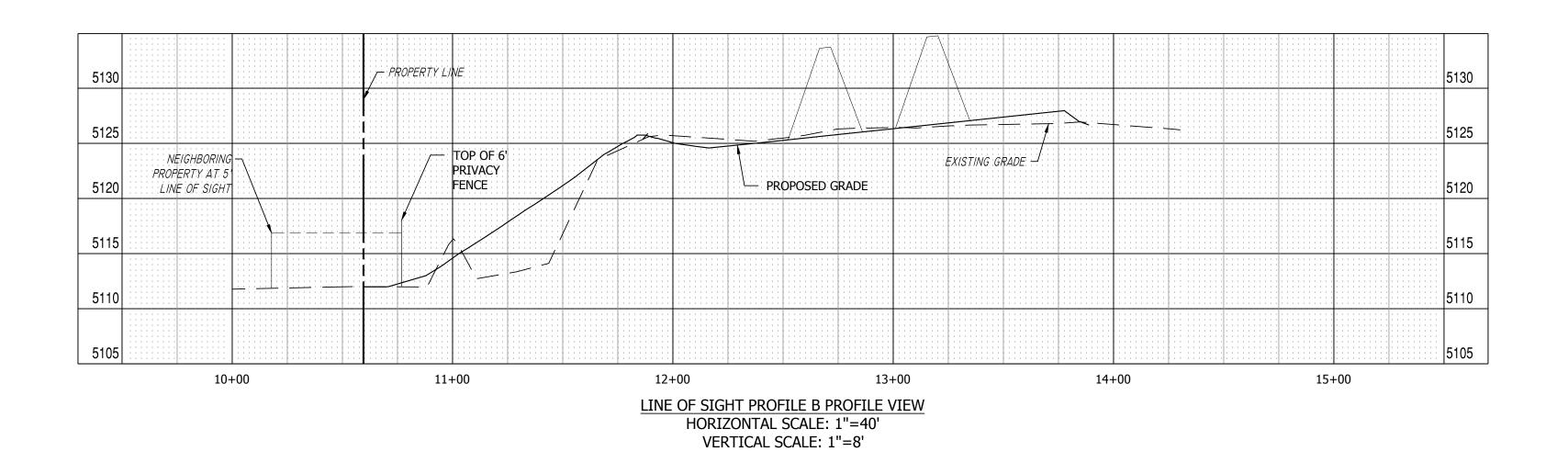
ESJ CHKD: RSI

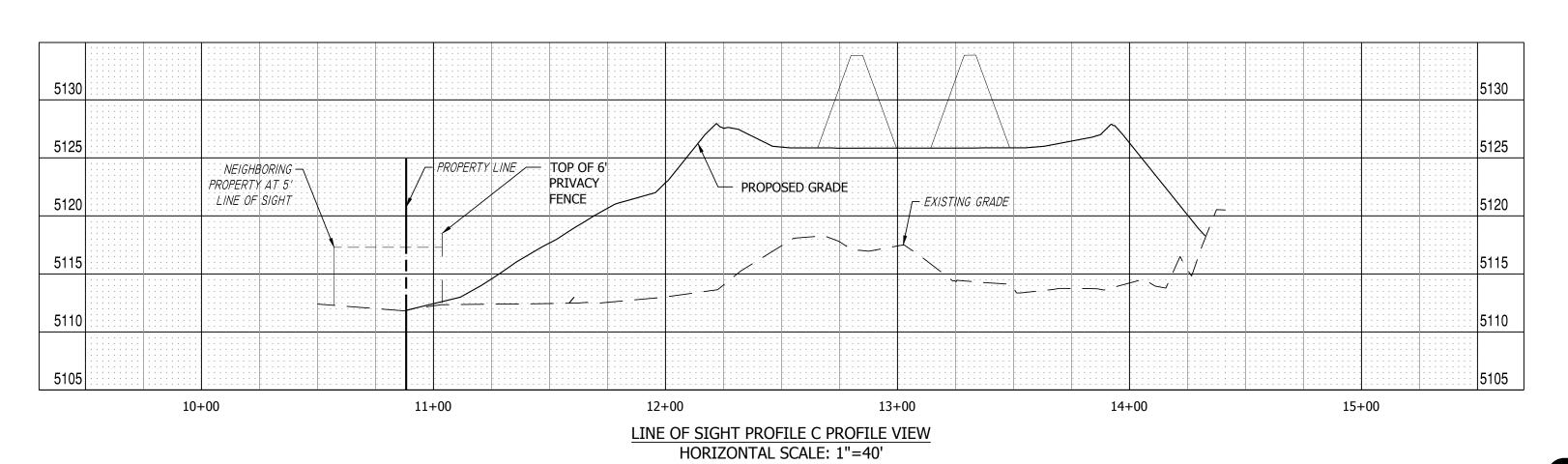
DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004







VERTICAL SCALE: 1"=8'

Know what's below.

Call before you dig.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF_____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

	NOISINA		ΔO
	2ND DEVELOPMENT PLAN SUBMISSION	ES	11/22
2	3RD DEVELOPMENT PLAN SUBMISSION	ESJ	06/20

RER
ENGINEERS SURVEYORS
c i

R&R ENGINEERS-SURVEYORS, IN 1635 WEST 13TH AVENUE, SUITE 310 DENVER, COLORADO 80204 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NUE NUE O 80640 AVATING CO.

7200 E. 88TH AVENUE
COMMERCE CITY, CO 8064
ALL DEMOLITION AND EXCAVATI

DEVELOPMENT PLA

JOB NO. AD21005

ORG. SUBM. DATE 5/7/2021

DWN: ESJ CHKD: RSD

LINE OF SIGHT PROFILES

C4.2

DEVELOPMENT PLAN FOR ALL DEMOLITION TO BE REPLATTED AS: SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004 ALUMINUM STOREFRONT WINDOW. TRIM METAL ROOF. VARCO PRUDEN BUILDING TO MATCH VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL COLONIAL RED"-PRODUCTS. COLOR "DARK BRONZE" 110'-3" SILL METAL SIDING. VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL STRAW GOLD". 106'-0" SECOND FL. FLAT TEXTURED PANEL LIGHT STUCCO LOOK. 102'-0 1/4" T.O.MASONRY YORS, - STEEL STAIR STRINGERS AND RAILINGS. 8"X8"X16" SPLIT FACE CONCRETE-- 14'-0"X16'-0" OVERHEAD — SECTIONAL DOOR. COLOR TO - 3'-0"X7'-0" HOLLOW METAL DOOR COLOR "COOL COLONIAL RED" MASONRY UNITS. COLOR AND FRAME. COLOR TO MATCH "STANDARD GRAY" MATCH VARCO PRUDEN BUILDING VARCO PRUDEN BUILDING PRODUCTS. COLOR "WHITE" PRODUCTS. COLOR "WHITE" NORTH ELEVATION ENGINEERS 3'-0"X7'-0" HOLLOW METAL DOOR AND FRAME. COLOR TO MATCH ALUMINUM STOREFRONT WINDOW. TRIM METAL ROOF. VARCO PRUDEN BUILDING VARCO PRUDEN BUILDING METAL ROOF. VARCO PRUDEN BUILDING TO MATCH VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL COLONIAL RED"-PRODUCTS. COLOR "WHITE" PRODUCTS. COLOR "COOL COLONIAL RED"-ALUMINUM STOREFRONT WINDOW. TRIM PRODUCTS. COLOR "DARK BRONZE" R&R TO MATCH VARCO PRUDEN BUILDING PRODUCTS. COLOR "DARK BRONZE" METAL SIDING. VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL STRAW GOLD". WWW.RRENGINEERS.COM FLAT TEXTURED PANEL LIGHT STUCCO LOOK.-112'-0" EAVE 110'-3" SILL METAL SIDING. VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL STRAW GOLD". 106'-0" SECOND FL. FLAT TEXTURED PANEL LIGHT STUCCO LOOK.-102'-0 1/4" T.O.MASONRY 102'-0 1/4" T.O.MASONRY 100'-0" FIN.FL. - STEEL STAIR STRINGERS AND RAILINGS. COLOR "COOL COLONIAL RED" 8"X8"X16" SPLIT FACE CONCRETE— MASONRY UNITS. COLOR "STANDARD GRAY" 8"X8"X16" SPLIT FACE CONCRETE— MASONRY UNITS. COLOR "STANDARD GRAY" WEST ELEVATION EAST ELEVATION 1/8"=1'-0" 1/8"=1'-0" METAL SIDING. VARCO PRUDEN METAL ROOF. VARCO PRUDEN BUILDING ALUMINUM STOREFRONT WINDOW. TRIM BUILDING PRODUCTS. COLOR "COOL STRAW GOLD". TO MATCH VARCO PRUDEN BUILDING PRODUCTS. COLOR "COOL COLONIAL RED"— PRODUCTS. COLOR "DARK BRONZE"-FLAT TEXTURED PANEL LIGHT **88TH** STUCCO LOOK.-112'-6" SILL 112'-0" EAVE 200 106'-0" SECOND FL. 102'-0 1/4" T.O.MASONRY 100'-0" FIN.FL. DEVELOPMENT PLA OB NO. AD21005 CITY STAFF CERTIFICATE ORG. SUBM. DATE 1/31/2021 — 10'-0"X8'-0" OVERHEAD — SECTIONAL DOOR. COLOR TO ESJ CHKD: APPROVED BY THE DEPARTMENT OF COMMUNITY 8"X8"X16" SPLIT FACE CONCRETE-3'-0"X7'-0" HOLLOW METAL DOOR AND FRAME. COLOR TO MATCH VARCO PRUDEN BUILDING - 14'-0"X16'-0" OVERHEAD -MASONRY UNITS. COLOR SECTIONAL DOOR. COLOR TO DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS MATCH VARCO PRUDEN BUILDING "STANDARD GRAY" MATCH VARCO PRUDEN BUILDING BUILDING PRODUCTS. COLOR "WHITE" _ DAY OF______, 20_____. SOUTH ELEVATION PRODUCTS. COLOR "WHITE" PRODUCTS. COLOR "WHITE" **ELEVATIONS** 1/8"=1'-0"

DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY REQUIREMENTS NOTES

A. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/4 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1.000SF OF LANDSCAPE AREA.

B. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.

C. WEED BARRIER: POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.

D. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.

E. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.

F. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUSTBE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.

AND REF THE LAN WATERII SAME TY REPLAC EXCEED INSTALL	ENANCE: THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS LACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR IND DSCAPING WITHIN THE RIGHT-OF-WAY. LANDSCAPING SHALING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SET A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXTHER THIS APPROVED LANDSCAPE PLAN SHALL BE ON FIRD AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF THE ISSU	NDICATED ON THE APPROVED L LL BE CONTINUOUSLY MAINTAIN NT OF DEAD OR DISEASED PLAN SITE PLAN (A TREE MUST REPLA T PLANTING SEASON, BUT IN NO ILE IN THE PLANNING DIVISION. OF ANY CERTIFICATE OF OCCUR	ANDSCAPE PLAN, INCLUDING IED INCLUDING NECESSARY IT MATERIAL SHALL BE OF THE ACE A TREE OR A SHRUB MUST CASE SHALL REPLACEMENT ALL LANDSCAPING WILL BE PANCY.	3WF	PCKSS.
I. SIGHT- CONTAIN LINE EXC FEET FR - DISTAN	LE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN AN LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CIT PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MET TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUAD LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATUCE-TRIANGLES. INFORMATION ON THE SIGHT- DISTANCE-TRIANGLES.	TY ENGINEER TO BE WITHIN A SI MATURITY, EXCEEDS 36 INCHES ATE MATURITY. TREES SHALL BI TURES SHALL NOT EXCEED 36 IN	IGHT-DISTANCE-TRIANGLE MAY S ABOVE THE GUTTER FLOW E PLANTED A MINIMUM OF 10 ICHES IN HEIGHT WITHIN SIGHT	3FS	ROND I
<u>J. NATIV</u> GRASSE	: <u>GRASS NOTE</u> : ALL AREAS OF THE LOT NOT PAVED OR FOR 3.	RMALLY LANDSCAPED SHALL BE	SEEDED WITH NATIVE	2PO V X X X X X X X X X X X X X X X X X X	
PLA	IT LIST			* AND DARKING	
SYMBOL	KEY QTY. BOTANICAL NAME CO	OMMON NAME INSTA	ALLED CONDITION/REMARKS	AND PARKING (RECYCLED ASPHALT)	
+	HL 3 G. triacanthos inermis 'Shademaster' Sh HO 6 Quercus 'Heritage' He LC 5 Populus acuminata La	ackberry 2.0" hademaster Honeylocust 2.0" leritage Oak 2.0" anceleaf Cottonwood 2.0" Vestern Catalpa 2.0"	cal. WITH FULL HEAD & STRAIGHT, SINGLE CAL. MAIN TRUNK.	2WC 2221 SRS. SEED MIX #1	HO
+)		hornless Hawthorn 2.0" 2.0"	cal.	SEED MIX #1 SEED MIX #1	
many the same of t	BP 10 Pinus aristata Br LP 8 Pinus flexilis Lir PP 9 Pinus edulis Pi	ustrian Pine 6' Horistlecone P	t. B&B Full & bushy t. B&B Full & bushy t. B&B Full & bushy	3WC 3.82	## /
	DECIDUOUS SHRUBS PM 6 Arcostaphylos x coloradoensis 'Panchito' Pa	anchito Manzanita 21-2	24" ht. #5 Container	20.57	
	FS 21 Atriplex canescens For TL 25 Rhus trilobata The PB 14 Prunus besseyi 'Pawnee Buttes' Pawnee Buttes' Pawnee Buttes' RS 21 Persovakia atriplicifolia Ruw WF 30 Krascheninnikovia lantana W	our-wing Saltbush 21-2 hreeleaf Sumac 2awnee Buttes Sandcherry 2ussian Sage Vinterfat 21-2 30-3	24" ht. #5 Container 24" ht. #5 Container 36" ht. #5 Container 2" ht. #5 Container 24" ht. #5 Container 36" ht. #5 Container 24" ht. #5 Container 24" ht. #5 Container	FUTURE LANDSCAPE MATERIAL STORAGE BAY AREA (RECYCLED ASPHLT)	
	THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAF		NT LIST, MATERIAL	SEED MIX #1 SEED MIX #1 SEED MIX #1	
			× Limit of Constitution of the state of the	SEED MIX #1	CITY APPE DEVE
				MATCHLINE SEE SHEET L2.0 Know what's below	

DEVELOPMENT PLAN FOR

ALL DEMOLITION

TO BE REPLATTED AS:

RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS

PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004

EAST 88TH AVENUE

+ + + + + SEED MIX #3 -

MATCHLINE SEE SHEET L2.0

EXISTING

OVERHEAD

POWER LINE

3' WIDTH COBBLE

STRIP BEHIND CURB-

SEE NOTES & DETAIL.

LOD LOD LOD

3PB

EX. OVERHEAD

ELEC. LINE

SEED MIX #3

EXISTING ROAD_

SHOULDER

PROJECT STATISTICS	5		
GROSS SITE AREA	18.277 AC		
BUILDING SQUARE FOOTAGE	6,876 SF		
NET SQUARE FOOTAGE OF LANDSCAPE AREA WITHIN LIMITS OF CONSTRUCTION	271,379 SF		
OVERALL SITE LANDSCAPE/OPEN SPACE AREA	577,170 SF		
LOT COVERAGE %/FAR	0.009%/0.012		
# PARKING SPACES REQUIRED	5		
# PARKING SPACES PROVIDED	9, 1 ADA		
BUILDING CONSTRUCTION AND OCCUPANCY	V-B, B-Office S- Service/Repair		
ZONING	AG		
# OF EMPLOYEES	5		

SUITI 80204 730

ENGINEERS-SURVEYORS

LANDSCAPE SUMMARY

LANDSCAPE TREATMENT AREA GROSS SITE AREA: 18.28 AC.		Percentage of Total	
a.) Total Landscape Area	577,170 SF*		
b.) Area of Irrigated Dryland Seed	20,084 SF		I / / mem
b.) Area of Non-irrigated Dryland Seed	277,271 SF		KUK
c.) Area of Planting Bed	6,854 SF		
d.) Living Plant Material	326,319 SF		ENGINEERS \(\overline{\ov
e.) # Trees Required (1/600 sf)*			ENGINEERS \geq SURVEYORS \subset
f.) # Trees Provided	85		_
g.) # Shrubs Required (1/300 sf)*			් ප්
h.) # Shrubs Provided	114		10 PC
i.) # of Mulch Types	2		31
	1		I

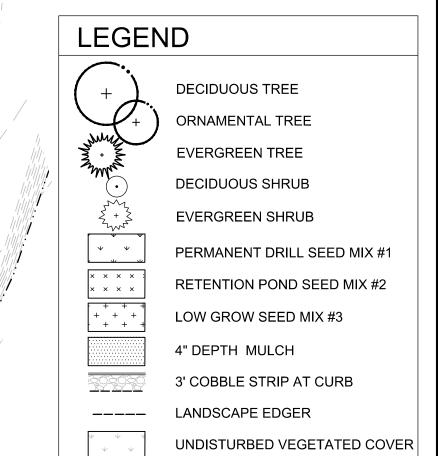
*Disturbed area: 271,379 SF

RIGHT-OF-WAY LANDSCAPE AREA*		Percentage of Total
a.) ROW frontage	393 LF	
b.) # Trees Required	10	
c.) # Trees Provided	10	

*88th Ave. not improved/widened

PARKING LOT LANDSCAPE AREA		Percentage of Total
a.) # Trees Required	1	
b.) # Trees Provided	3	
c.) # Shrubs Required	22	
d.) # Shrubs Provided	22	
e.) # of Islands Required	0	
f.) # of Islands Provided		

R&R WWW.RRENGINEERS.COM







Jump Design Company 1733 S. Clarkson Street Denver, Colorado 80210 info@jumpdesignco.com 303.282.0463

STAFF CERTIFICATE

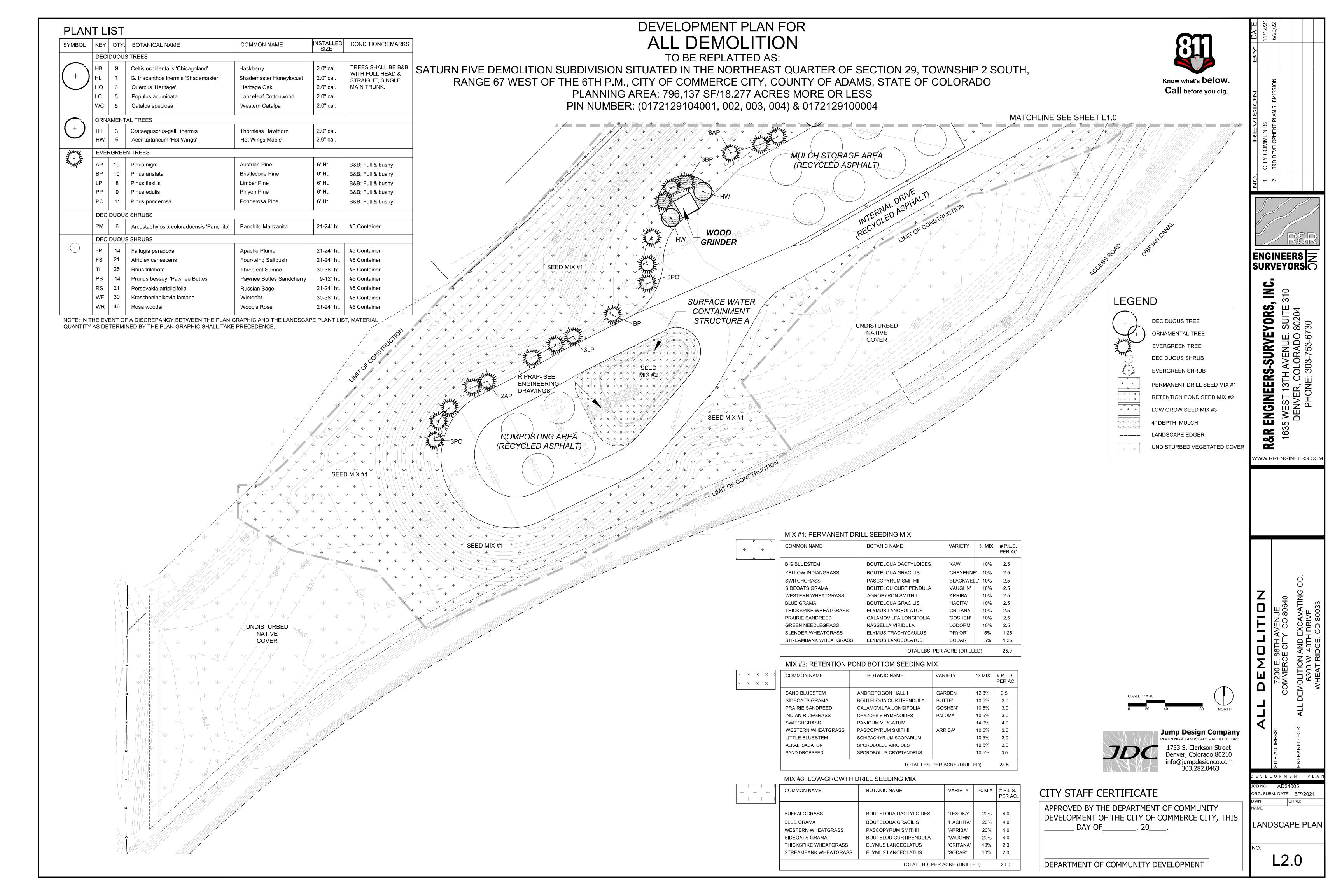
Call before you dig.

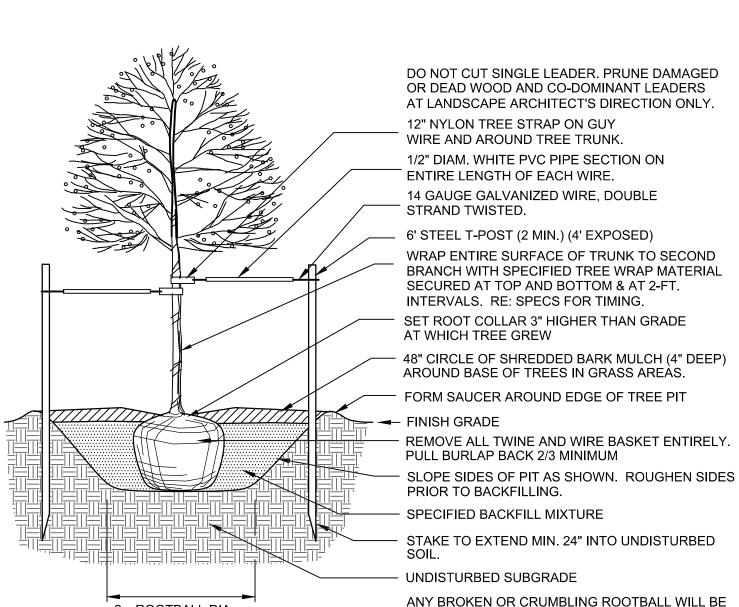
ROVED BY THE DEPARTMENT OF COMMUNITY ELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF_____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

EVELOPMENT PLA OB NO. AD21005 ORG. SUBM. DATE 5/7/2021 ESJ CHKD: RSI

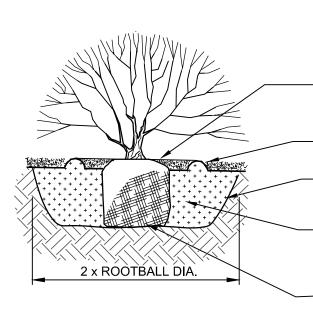
LANDSCAPE PLAN





Deciduous Tree Planting Detail

NOT TO SCALE



2 x ROOTBALL DIA.

Shrub Planting Detail

NOT TO SCALE

SET SHRUB CENTER AS SHOWN ON PLANS WITH CLEAR SPACE BETWEEN EDGER AND/OR ADJACENT CURBS & WALKS. CLEAR SPACE SHALL BE 1/2 OF THE PLANT'S MATURE DIAMETER MIN.

EXCUSE FOR DAMAGED ROOTBALLS.

REJECTED. REMOVING THE WIRE WILL NOT BE AN

 SET PLANT PLUMB & TOP OF ROOT BALL 1-2" HIGHER THAN ADJACENT GRADE. SET ON UNDISTURBED SOIL.

4" HIGH WATER SAUCER/ MULCH RING 3FT. IN DIAMETER. PLACE ON GEOTEXTILE WEED BARRIER.

BACKFILL WITH BLEND OF 1-3 EXISTING NATIVE SOIL, 1-3 TOPSOIL & 1-3 NATIVE 1-3 ORGANIC MATERIAL.

WATER THOROUGHLY & TAMP WHEN BACKFILLING.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

SPLIT BOTTOM OF ROOT BALL. REMOVE CONTAINER (INCLUDING FIBER CONTAINERS), BASKETS, WIRE, ETC. FROM THE ROOTBALL. BREAK-UP

ENCIRCLING ROOTS WITH SHARP KNIFE OR SPADE.

DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

MIX #1: PERMANENT DRILL SEEDING MIX

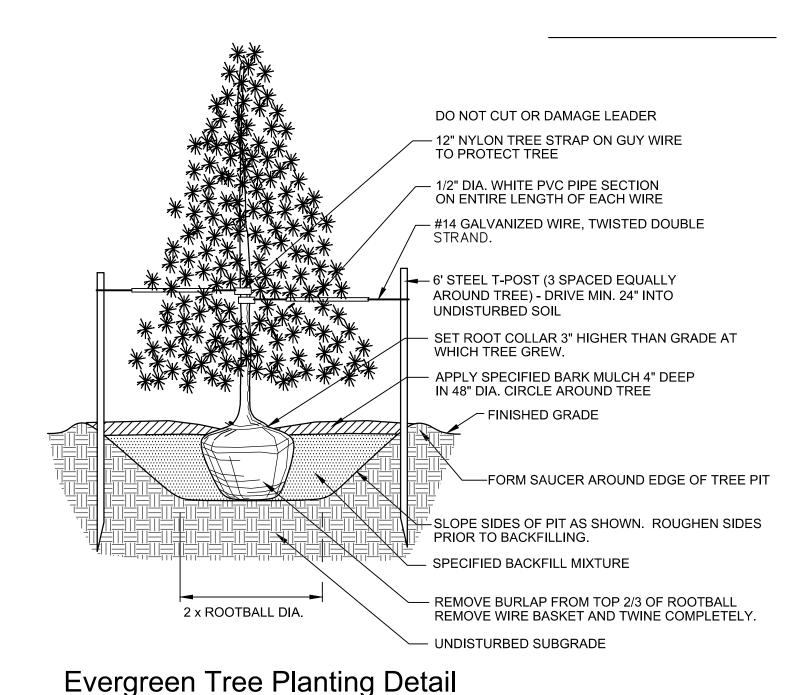
Ψ Ψ	COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC
	BIG BLUESTEM	BOUTELOUA DACTYLOIDES	'KAW'	10%	2.5
	YELLOW INDIANGRASS	BOUTELOUA GRACILIS	'CHEYENNI	E' 10%	2.5
	SWITCHGRASS	PASCOPYRUM SMITHII	BLACKWEI	L' 10%	2.5
	SIDEOATS GRAMA	BOUTELOU CURTIPENDULA	'VAUGHN'	10%	2.5
	WESTERN WHEATGRASS	AGROPYRON SMITHII	'ARRIBA'	10%	2.5
	BLUE GRAMA	BOUTELOUA GRACILIS	'HACITA'	10%	2.5
	THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	'CRITANA'	10%	2.5
	PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	'GOSHEN'	10%	2.5
	GREEN NEEDLEGRASS	NASSELLA VIRIDULA	'LODORM'	10%	2.5
	SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	'PRYOR'	5%	1.25
	STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	'SODAR'	5%	1.25
		TOTAL LBS. PER	ACRE (DRILL	.ED)	25.0

MIX #2: RETENTION POND BOTTOM SEEDING MIX

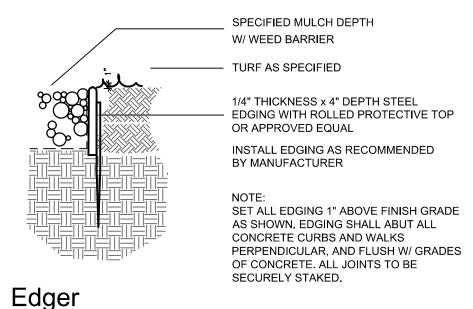
	MIX #2: RETENTION F	POND BOTTOM SEEDING M	IIX			
× × × × :	COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.	
	SAND BLUESTEM	ANDROPOGON HALLII	'GARDEN'	12.3%	3.5	
	SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	'BUTTE'	10.5%	3.0	
	PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	'GOSHEN'	10.5%	3.0	
	INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	'PALOMA'	10.5%	3.0	
	SWITCHGRASS	PANICUM VIRGATUM		14.0%	4.0	
	WESTERN WHEATGRASS	PASCOPYRUM SMITHII	'ARRIBA'	10.5%	3.0	
	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM		10.5%	3.0	
	ALKALI SACATON	SPOROBOLUS AIROIDES		10.5%	3.0	
	SAND DROPSEED	SPOROBOLUS CRYPTANDRUS		10.5%	3.0	
	TOTAL LBS. PER ACRE (DRILLED)					

MIX #3: LOW-GROWTH DRILL SEEDING MIX

	WITH #0. LOVE GROWTH BRILL GLEBING WITH				
+ + + + + + + + + + + + + + + + + + + +	COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
	BUFFALOGRASS	BOUTELOUA DACTYLOIDES	'TEXOKA'	20%	4.0
	BLUE GRAMA	BOUTELOUA GRACILIS	'HACHITA'	20%	4.0
	WESTERN WHEATGRASS	PASCOPYRUM SMITHII	'ARRIBA'	20%	4.0
	SIDEOATS GRAMA	BOUTELOU CURTIPENDULA	'VAUGHN'	20%	4.0
	THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	'CRITANA'	10%	2.0
	STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	'SODAR'	10%	2.0
	TOTAL LBS. PER ACRE (DRILLED)				20.0



NOT TO SCALE

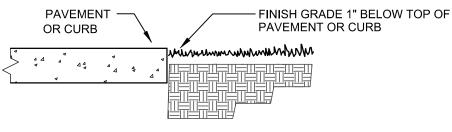


FINISH GRADE 1" BELOW TOP OF PAVEMENT OF CURB.

OR CURB

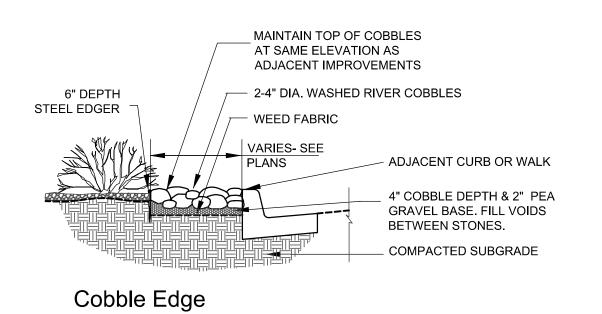
SPECIFIED MULCH, TAPER MULCH DEPTH AT EDGE OF PAVEMENT.

MULCH ADJACENT TO PAVEMENT & CURB



GRASS ADJACENT TO PAVEMENT OR CURB

Typical Landscape Edges



NOT TO SCALE

PLAN NOTES

1. ALL WORK SHALL CONFORM TO THE CITY OF COMMERCE CITY STANDARDS AND REGULATIONS.

2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

3. VERIFY THE LOCATION OF ALL PERTINENT EXISTING & CONSTRUCTED SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

4. REFER TO THE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

5. REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.

6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

7. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

8. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

9. THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.

10. FINE GRADE ALL AREAS TO BE PLANTED. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

11. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH.

12. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

13. PLANT SPECIES AND LOCATIONS SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY AND THE LANDSCAPE ARCHITECT.

14. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPATANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.

15. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.

16. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

17. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

18. ALL SHRUB BEDS ARE TO BE CONTAINED WITH MINIMUM 4" HEIGHT STEEL EDGER AND EDGING CAP. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS.

19. TREE LOCATION SHALL BE NO CLOSER THAN 3' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.

EDGER

PLANTING NOTES

20. ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFTR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES TO ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

COBBLES, MULCH & WEED BARRIER

21. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL UNDER ALL ROCK BEDS. DO NOT INSTALL WEED BARRIER BELOW SHREDDED RED CEDAR WOOD MULCH.

22. PLANTING BEDS SHALL BE MULCHED WITH 1 TO 1.5" DIAMETER CRUSHED GRANITE OVER WEED BARRIER FABRIC. ALL PLANTS SHALL HAVE A 3-4" DEPTH RING OF SHREDDED CEDAR MULCH ABOVE EACH PLANTING PIT AT 1.5 TIMES THE CONTAINER DIAMETER. CEDAR MULCH SHALL BE NATURAL COLOR & CRUSHER GRANITE SHALL BE LOCAL COLORADO RED OR GRAY. ALL MULCHES SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

23. COBBLES SHALL BE 2-4" DIA. WASHED RIVER COBBLES. COLOR SHALL BE TAN TO BROWN TO DARK RED.

SEEDING NOTES

1. SEE PLAN VIEW FOR:

-AREA OF SEEDING AND MULCHING.
- TYPE OF SEED MIX (PERMANENT, TEMPORARY, OR LOW-GROWTH).

2. ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS SEEDS AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAP WEED AND LEAFY SPURGE.

3. THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE. SEED TICKETS SHALL BE PROVIDED TO THE CITY UPON REQUEST.

4. DRILL SEEDING MIX SHALL CONFORM TO THE APPROPRIATE MIX AS SHOWN ON THE PLANS.

5. IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO CONTRACTOR AND FORWARDED TO THE CITY INSPECTOR.

6. THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION)= POUNDS OF PURE LIVE SEED (PLS).

7. ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL OR APPROVED SOIL AMENDMENTS SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH). HAUL ROADS AND OTHER COMPACTED AREAS SHALL BE LOOSENED TO A DEPTH OF 8 INCHES PRIOR TO SPREADING TOPSOIL.

8. SOIL IS TO BE THOROUGHLY LOOSENED (TILLED) TO A DEPTH OF AT LEAST 8 INCHES PRIOR TO SEEDING. THE TOP 8 INCHES OF THE SEED BED SHALL BE FREE OF ROCKS GREATER THAN 4 INCHES AND SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER ANY COMPACTED AREAS THAT HAVEN'T BEEN THOROUGHLY LOOSENED SHALL BE REJECTED

9. SEED IS TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH OF 1/4 INCH. ROW SPACING SHALL BE NO MORE THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF LONG-STEMMED STRAW. AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE 10 INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 2 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 4000 LB. OF STRAW PER

10. IF THE PERMITIEE DEMONSTRATES TO THE CITY THAT IT IS NOT POSSIBLE TO DRILL SEED, SEED IS TO BE UNIFORMLY BROADCAST AT "TWO TIMES THE DRILLED RATE, THEN LIGHTLY HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 114 INCH, THEN ROLLED TO COMPACT, THEN MULCHED AS SPECIFIED ABOVE.

11. SEEDING AND MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF INITIAL EXPOSURE OR 7 DAYS AFTER GRADING IS SUBSTANTIALLY COMPLETE IN A GIVEN AREA (AS DEFINED BY THE CITY. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR SEEDING AND MULCHING.

12. MULCH SHALL BE APPLIED WITHIN 24-HOURS OF SEEDING.

13. TACKIFIER SHOULD BE UTILIZED TO HELP WITH STRAW DISPLACEMENT

SEEDING AND MULCHING MAINTENANCE NOTES:

1. SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY FOR A PERIOD OF "TWO YEARS FOLLOWING INITIAL SEEDING. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST GROWING SEASON FOR ANY AREAS FAILING TO MEET THE REQUIRED COVERAGE.

2. REQUIRED COVERAGE FOR STANDARD, OPEN SPACE AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:

a. THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES. THE 3 PLANTS PER SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES FOUND IN THE CITY APPROVED MIX.

b. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY "TWO-FEET OR EQUIVALENT).

c. FREE OF ERODED AREAS.

d. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.

3. REQUIRED COVERAGE FOR TURF GRASS AREAS SHALL BE DEFINED AS FOLLOWS:

a. AT LEAST 80% VEGETATIVE COVER OF GRASS SPECIES PLANTED.

b. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY "TWO-FEET OR EQUIVALENT).c. FREE OF ERODED AREAS.

d. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.

4. RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY THE CITY.

CITY STAFF CERTIFICATE



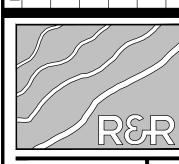
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS
_____ DAY OF______, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NO. REVISION BY D.

1 CITY COMMENTS

2 3RD DEVELOPMENT PLAN SUBMISSION 6/2



ENGINEERS SURVEYORS

EERS-SURVEYORS, IN 13TH AVENUE, SUITE 310 ER, COLORADO 80204

&R ENGINI 1635 WEST DENVE

WWW.RRENGINEERS.COM

E. 88TH AVENUE

CE CITY, CO 80640

N AND EXCAVATING CO.

DDRESS: 7200 E

COMMER

RED FOR: ALL DEMOLITIC

6300

DEVELOPMENT PLAN

JOB NO. AD21005

ORG. SUBM. DATE 5/7/2021

DWN: CHKD:

LANDSCAPE

DETAILS

L3.0

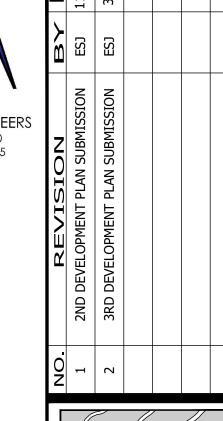
DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796.137 SE/18.277 ACRES MORE OR LESS

PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004





ENGINEERS SURVEYORS

EYORS, INC. AND SERVING SUITE 310 SUITE 310 ST30 ST30

R&R ENGINEERS—SURVEY(1635 WEST 13TH AVENUE, SIDENVER, COLORADO 80

WWW.RRENGINEERS.COM

VENUE , CO 80640 EXCAVATING CO. DRIVE

COMMERCE CITY, CO 806/ LL DEMOLITION AND EXCAVAT 6300 W. 49TH DRIVE

SITE ADDRESS:

CC
PREPARED FOR:

ALL DEM

DEVELOPMENT PLA

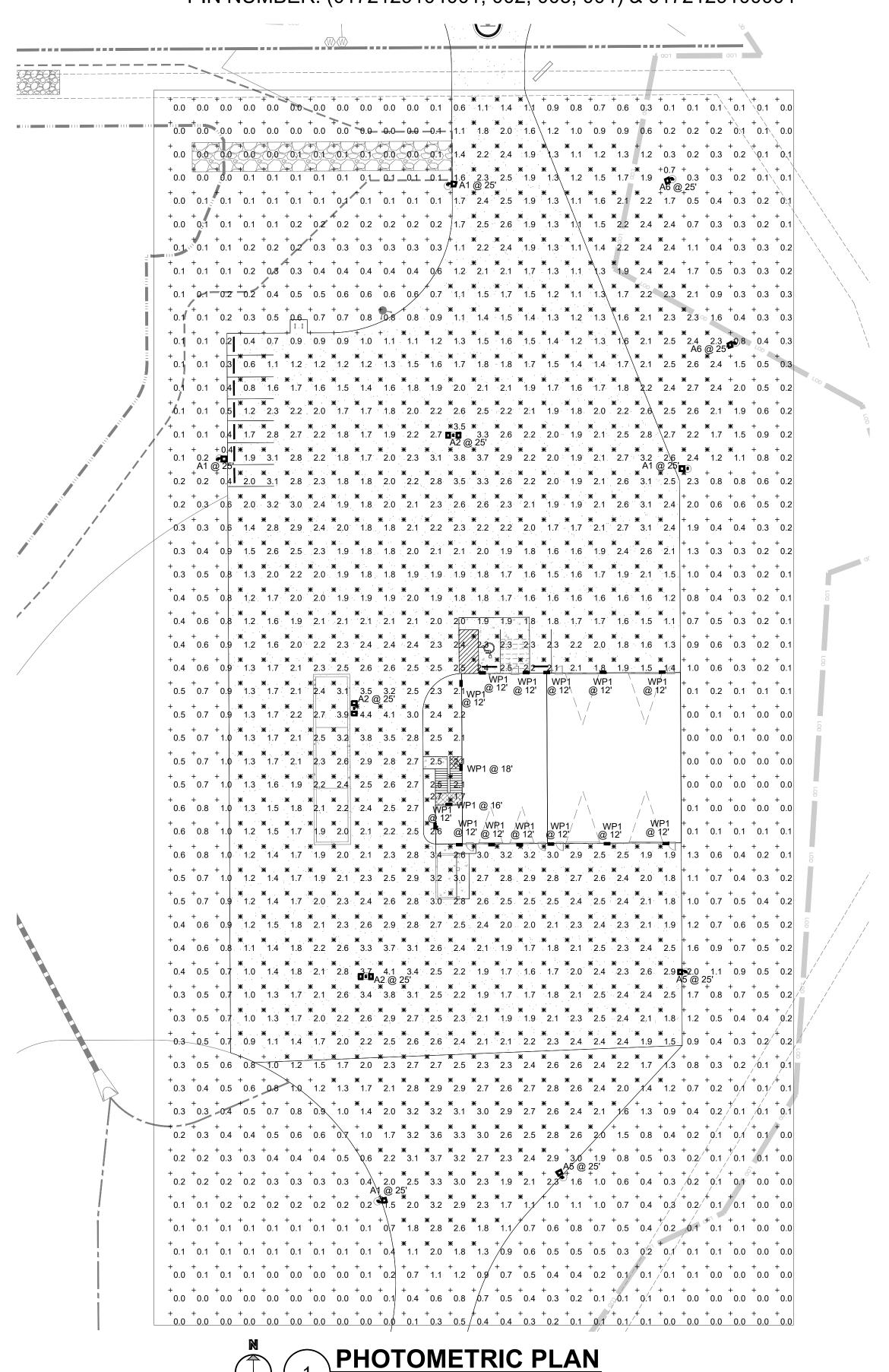
JOB NO. AD21005

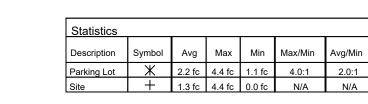
ORG. SUBM. DATE 5/7/2021

DWN: ESJ CHKD: RSD

PHOTOMETRIC

NO.





CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF_____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

Know what's **below**.

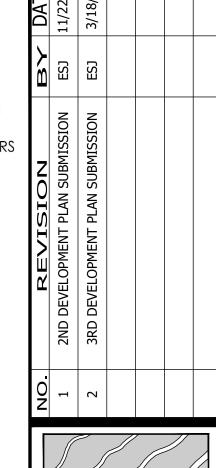
Call before you dig.

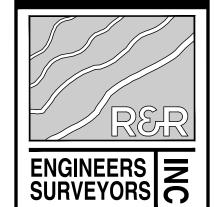
DEVELOPMENT PLAN FOR ALL DEMOLITION

TO BE REPLATTED AS:

SATURN FIVE DEMOLITION SUBDIVISION SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO PLANNING AREA: 796,137 SF/18.277 ACRES MORE OR LESS PIN NUMBER: (0172129104001, 002, 003, 004) & 0172129100004







YORS, INC. 3, SUITE 310 5 80204

R&R ENGINEERS—SURVEYORS 1635 WEST 13TH AVENUE, SUIT DENVER, COLORADO 8020

WWW.RRENGINEERS.COM

AVENUE Y, CO 80640 EXCAVATING CO.

7200 E. 88TH AVENU COMMERCE CITY, CO 8

SITE ADDRESS:

Sample and a second a second and a second

DEVELOPMENT PLA

JOB NO. AD21005

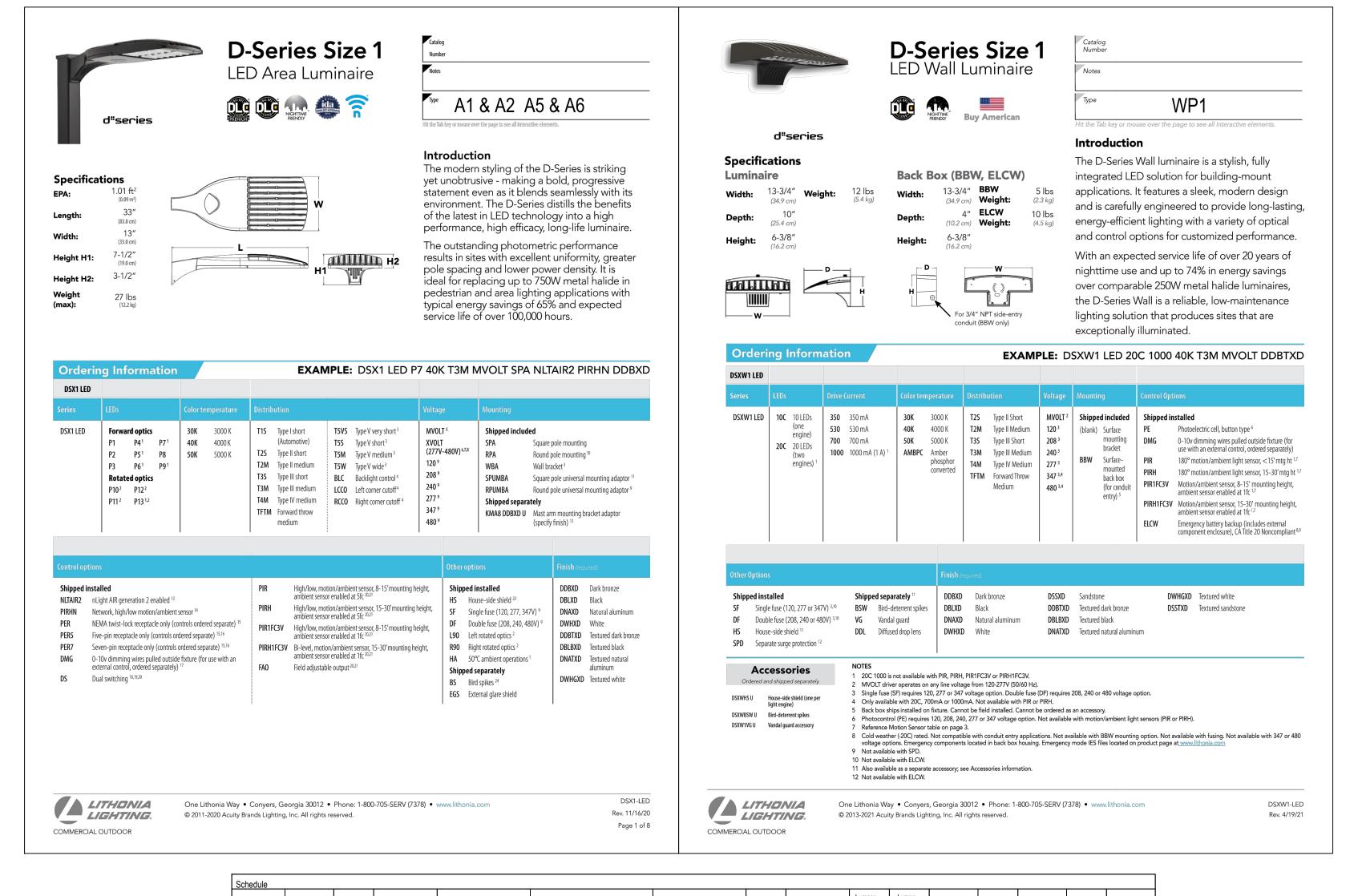
ORG. SUBM. DATE 5/7/2021

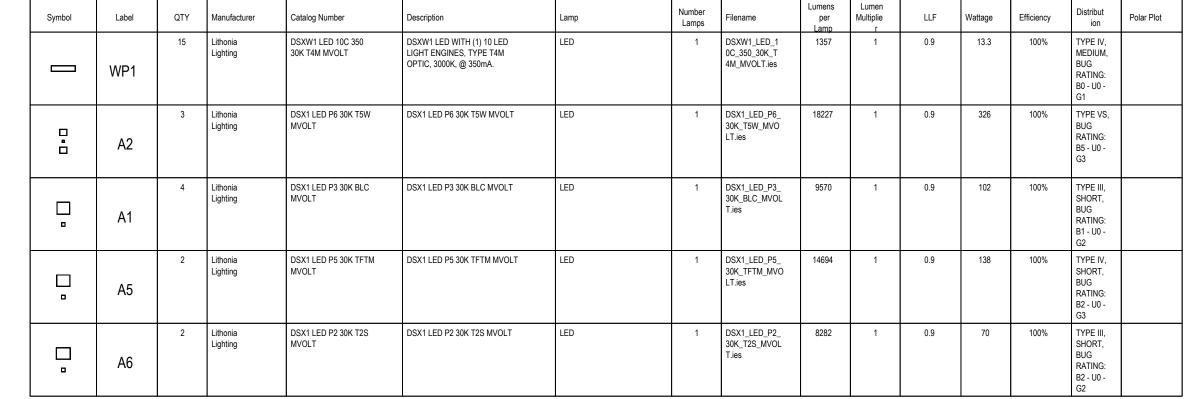
DWN: ESJ CHKD: RSI

NAME

CUT SHEETS

E-2







CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF_____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT