



# **THIRD CREEK WEST**

Design Standards &  
Guidelines

## Amendment Tracking Chart

No.	Date	Purpose

City Staff Certificate:

Approved by the Department of Community Development of the City of Commerce

City, this 10 day of February, 2022.

*James Tolbert*

James Tolbert (Feb 10, 2022 15:13 MST)

Department of Community Development

February 2022

Prepared by Norris Design



# TABLE OF CONTENTS

<b>1   Project Vision</b>	<b>06</b>
1.1   Design Intent	07
1.2   Project Intent	09
1.3   Applicability	10
1.4   Relationship to Other Regulations	11
1.5   Design Review Committee	13
1.6   Character Framework Plan	19
<b>2   Site Design</b>	<b>20</b>
2.1   Circulation & Streetscapes	21
2.2   Site Furnishings & Urban Design Features	30
2.3   Lighting	33
2.4   Monumentation, Entries, Signage, & Murals	35
2.5   Buffering, Screening & Fencing	40
2.6   Landscape Character	48
2.7   Parks & Open Space Character	55
<b>3   Architecture</b>	<b>58</b>
3.1   Architecture General	59
3.2   Single-Family Residential	64
<b>4   Appendix</b>	<b>71</b>
4.1   Design Review Committee Evaluation Form	72



# **1 | PROJECT VISION**

## 1.1 | Design Intent

### “The Modern Legacy of Commerce City” Nostalgic | Eclectic | Contemporary

Founded with an entrepreneurial spirit and a sense of community, Commerce City is home to generations of dreamers and place-makers. The City has a rich history of melding unique cultures and eclectic neighborhoods, each placing their stamp on history and claiming a piece of the City as their own. From Derby to Irondale and Rose Hill to Reunion, the City is made up of a collection of unique and vibrant communities, each one adding another interpretation of “place” that can only come with years of establishment and which ultimately translates to a character that is uniquely Commerce City.

Third Creek West intends to honor this rich heritage and melting pot of neighborhoods into a character that is **Nostalgic** and respectful of the history that has made this city, **Eclectic** and rich in variety, and **Contemporary**, providing its own modern-day stamp on the City. This “**Modern Legacy of Commerce City**” allows for creative interpretation of both traditional and modern elements, molding ideas from decades of design and history into a modern-day community that is both forward-looking and celebrates the history that got us here.

Third Creek West is envisioned as a prosperous, connected, neighborhood that builds on the uniqueness and sense of community already present within Commerce City. It is a place where people can live close to work and play, and where diverse employment opportunities exist across multiple industries. A place where a range of uses, including a variety of residential, commercial, and office uses, help create and foster these opportunities.



*The purpose of this document is to promote consistent, high-quality design throughout Third Creek West and ensure compatibility between land uses as they develop over time. Design within the community is envisioned to happen gradually and is permitted the flexibility to be eclectic*

At Third Creek West, establishing a character representative of the **modern legacy of Commerce City** includes the primary principles as follows. These principles will be described in greater detail within the multiple sections of this document, which will delineate how they are to be achieved in each land use or building development that is designed and implemented.

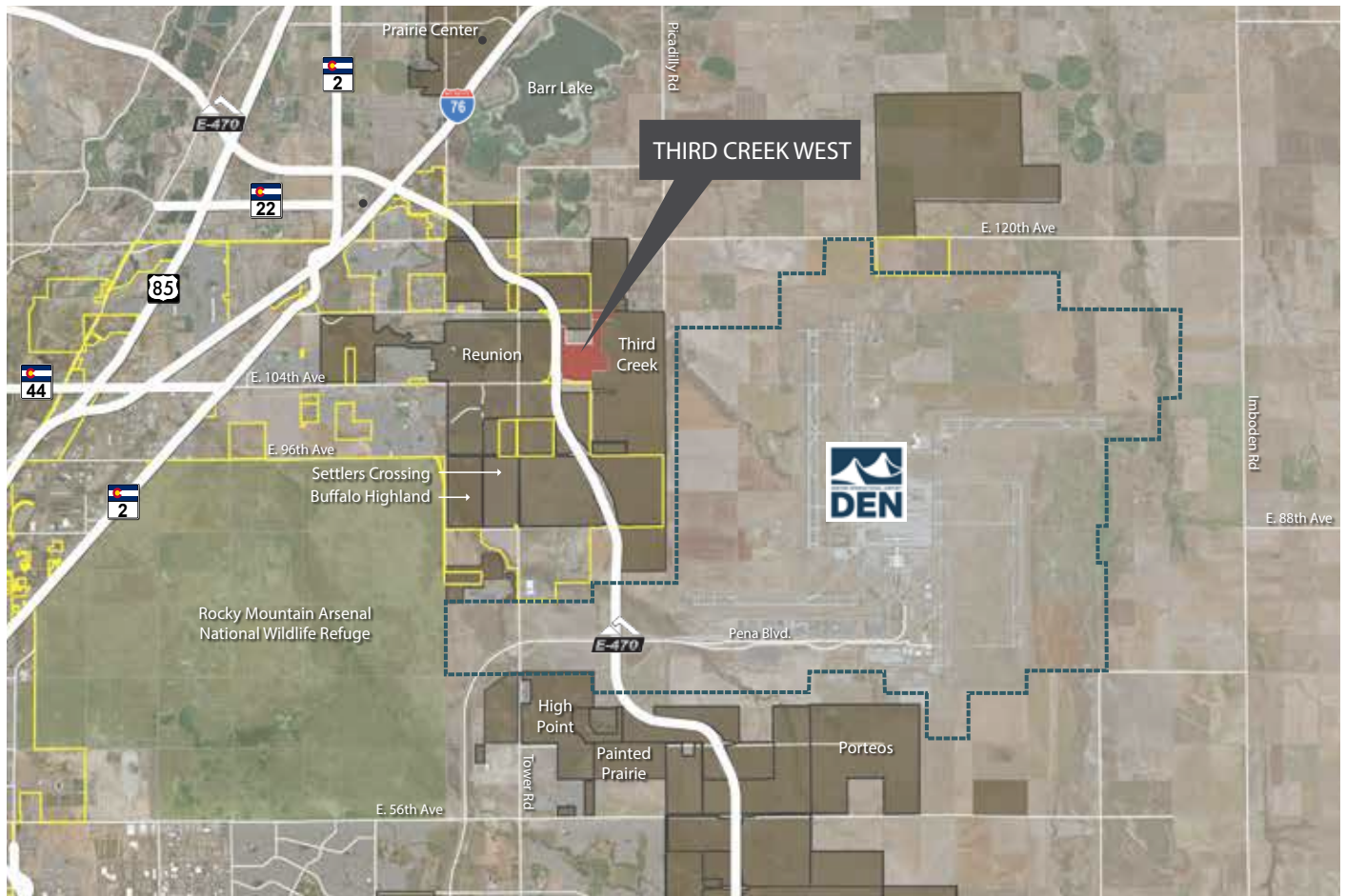
1. Strike a **balance between traditional and contemporary** forms and materials, paying homage to Commerce City history.
2. Achieve **compatibility** within the overall character of Third Creek West.
3. Accomplish **permeability** and **connectivity** of the neighborhood through incorporating trail corridors, mid-block crossings, detached sidewalks on streets and other similar elements.
4. Building **orientation to front doors onto streets**.
5. **Motor courts** and **alleys** used as alternative garage access solutions which are permitted with specific enhancement standards.
6. Include **tree-lined streets** – deciduous trees provide **shade** for pedestrians and enhanced landscape for **visual appeal**.
7. Establish **iconic patterns** in the landscape design based on linear forms; **reminiscent** of agricultural patterns, railroads, and runways.
8. Reference the **customized landscape palette** for Third Creek West which narrows the list to specific trees, specific ground plane, and a focus of interest near intersections and other key focal areas.
9. Strategically locate **featured plants** that are identified to be **more prominently used** at Third Creek West.
10. Achieve a combined **water efficiency** and an **enhanced aesthetic** when using the customized landscape palette.
11. Incorporate **streetscape lighting** that is planned into the landscape pattern to be consistent, but fixtures and poles play a utilitarian role in achieving safety and security.
12. Use **integrated / compatible architectural design** styles and characteristics to accommodate different building types and land uses.



## 1.2 | Project Intent

The overall community of Third Creek West is approximately 234.3 acres and is envisioned to create a thriving community with a dynamic mix of uses located in northeastern Commerce City. Third Creek West is a community where people and industry are in balance, and is intended to act as a catalyst for both commercial and residential development between E-470 and the western boundary of Denver International Airport (DEN) in Commerce City.

### Exhibit 1.1 | Context Map



#### LEGEND

- Planned Developments in proximity to DEN
- Commerce City Boundary
- DEN Boundary

## 1.3 | Applicability

The Third Creek West Design Standards and Guidelines are intended to create a framework for character and best practices for design within Third Creek West and shall be applied to each project within the community.

Each Standard uses the term **“shall”**, which denotes regulations or directives that are mandatory and compulsory. The City of Commerce City Land Development Code provisions shall apply unless specified otherwise in the Third Creek West Design Standards and Guidelines .

Creating a cohesive, connected community requires a thoughtful, yet flexible approach to the Design Standards and Guidelines. Each Guideline uses the term **“should”**, **“may”** or **“encourage”** to denote that they are considered pertinent to achieving the aesthetic elements and emotive connection among residents and visitors. Achieving these Guidelines may help in identifying alternative approaches to meeting Standards.

The standards and guidelines listed herein include content relevant to elements important to establishing overall community character as well as currently proposed land use types (i.e. single-family detached residential). If in the future, other land use types are proposed within Third Creek West, additional design standards and guidelines will be required to be incorporated into this document and shall be processed as an amendment pursuant to the requirements noted in [Section 1.5.5](#) of this document.



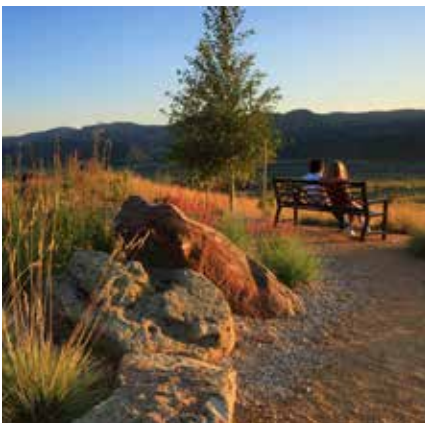
## 1.4 | Relationship to Other Regulations

Topics covered within this document shall be in addition to the regulations specified in the Third Creek West PUD Zone Document (recorded February 12, 2020). In instances where these Design Standards and Guidelines and the Third Creek West PUD Zone Document fall silent, the Commerce City Land Development Code (effective date April 11, 2011) shall prevail. All items not specifically addressed within this document shall meet the requirements of the Commerce City Land Development Code (effective date April 11, 2011).

***In order to support a cohesive design, the following Standards and Guidelines have been established***

These Standards and Guidelines, in connection with the Third Creek West PUD Zone Document and the Commerce City Land Development Code, Article VII Development Design Standards (effective date April 11, 2011), provide future development with a clear intent for the community while also providing flexibility to respond to market changes over time.

The Commerce City Land Development Code (“LDC”) may be modified by these Design Standards and Guidelines only to the extent permitted by the Land Development Code and the Third Creek West PUD Zone Document; and to the extent regulations are specifically addressed in these Standards and Guidelines in a manner that directly conflict with the LDC. Nothing



in these Standards and Guidelines shall be construed to override the PUD, any development review ordinance, or any code adopted by reference or to grant any vested property rights.

In instances where the City amends the Land Development Code beyond the April 11, 2011 version, only those areas/items amended that do not substantially change the intended purpose of this document will take effect. These shall be determined on a case-by-case basis between the City and the developer/future assigns as needed. In cases where land development code amendments are determined to be substantial, the Design Standards and Guidelines will prevail.

Upon establishment of the Metropolitan District and respective Home Owner's Associations, additional Standards and Guidelines such as private agreements or covenants may be established to maintain and enforce the design intent outlined in this document. As such, a Design Review Committee will be established to review all proposed development applications, prior to the formal application to the City, for code compliance. This review committee will ensure that future buildings and site plans proposed within Third Creek West meet or exceed the high level of design envisioned for the community and are compliant with any additional Standards and Guidelines not currently outlined within this document.



## 1.5 | Design Review Committee

### 1.5.1 | Design Review Process

It **shall** be the primary responsibility of the Third Creek West Design Review Committee (DRC) established pursuant to the Covenants, Conditions and Restrictions (CC&Rs) to review, comment and approve plans to ensure compliance with the Standards and Guidelines contained herein. Developers and builders must first submit all plans and reports required by the DRC as outlined in the CC&Rs and these Design Standards and Guidelines and receive an approval letter prior to getting approval of any development applications with the City of Commerce City.

All proposed development, including architecture and siting requirements, must be preliminarily approved by the DRC prior to submittal to Commerce City for approval. This shall confirm general compliance and intent with the Design Standards and Guidelines prior to investing additional funds on design and engineering. Confirmation of compliance with Design Standards and Guidelines shall be provided prior to final approval in accordance the Checklist provided in the Appendix for DRC review and approval.

The Design Review Committee **shall** be established by the Metro District and will be comprised of the following members:

- 2 seats by master developer
- 1 alternate seat for residential or commercial developer, pending application type
- 1 seat by third-party architect
- 1 seat by third-party landscape architect

The Master Developer may act as the deciding body in lieu of the Design Review Committee until such time as the Design Review Committee is established or 35% of the community's certificate of occupancies are awarded, whichever comes first.

### 1.5.2 | Review Timeline

Projects submitted for review will be processed in the order in which they are received. Review time of applications by the DRC shall be approximately 3 weeks. All submittal

materials shall be submitted in PDF format, to scale. The subsequent application review by the City will be subject to requirements of the City’s review process and established review timelines.

### 1.5.3 | Approval Process

The steps the Applicant needs to take to obtain the Design Review Committee’s (DRC) approval for design are outlined below. Each Applicant is required to submit an application to the DRC to assess the plans against current statutory requirements and the Standards and Guidelines outlined within this document. It is the Applicant’s responsibility to ensure compliance with the City of Commerce City Building Code or any relevant city, county, state or federal standards. It is the responsibility of the Applicant to ensure each structure complies with all the statutory requirements of construction.

#### Step One: Pre-Concept Review (Optional)

The Applicant submits Pre-Concept Review documentation to the DRC. The Pre-Concept Review package should include:

- Schematic site plan
- Building elevations or architectural character images
- Other relevant project information that may help the DRC provide initial feedback

#### Step Two: Concept Review

The Applicant submits a Concept Review Package to the DRC. The Concept Review application information can be located in Section 4.1 of this document. If the Design Review Committee finds that the application complies with the Standards and Guidelines listed in this document, the plans will be approved by the DRC. An approved set of plans and a confirmation letter will be returned to the Applicant, with one set retained by the Third Creek West DRC as a record. If the application requires modification to comply with the Design Standards and Guidelines, the Applicant will be notified and given the opportunity to review the plans and resubmit to the DRC for additional review and approval.

Each application for review by the Third Creek West Design Review Committee shall be evaluated by the following components:

- A. Intent-** Intent statements set the goals of the community. The overall intent of Third Creek West is discussed in these Standards and Guidelines .

A specific intent statement is required with each application submitted for review and approval by the DRC. These Standards and Guidelines provide direction as to how the goals, as defined in the intent statement, may be achieved.

*Achieve compatibility  
within the overall  
character of  
Third Creek West*

- B. Standards-** Standards are requirements to provide specific direction based on the stated intent. Standards must be met within each development submitted for review and approval by the DRC.
- C. Guidelines-** Guidelines provide considerations that promote the goals defined in the intent statements. Meeting the specific Guideline may help in identifying alternative approaches to meeting Standards.

### Step Three: City Application Review

Once the Applicant has been notified of approval via a confirmation letter issued by the DRC, the Applicant may finalize the approval process with the City of Commerce City. If further review from the City of Commerce City requires significant changes outside of the DRC approved plans, additional review may be required for DRC approval.

## 1.5.4 | Documentation

Improvements to property within Third Creek West will be subject to review and approval by the Third Creek West Design Review Committee (DRC) for conformance with these Design Standards and Guidelines. Improvements made to individual private residences may be exempt from DRC review as long as general compliance with these Design Standards and Guidelines and future applicable HOA/Metro District requirements are met. The review process will consist of the following, as applicable:

1. **Concept Review Package**
  - Completed application form (Design Review Committee Evaluation Form, Section 4.1 of this document).
  - Site Plan, Preliminary Floor Plans, Building Elevations, Material Selections, Colors, Lighting, Signage and Landscape Concepts which show overall design intent.

- If the plans are incomplete or substantial design changes are required resulting from the Concept Review, the DRC may require an additional submittal review before proceeding with review or approval.

## 2. Architectural Drawings and Specifications Review Package

- All four exterior elevations for each model proposed including walk-out configurations, if applicable, including heights, materials, deck and balcony locations with railing details, chimneys, skylights, or other exterior structural elements.
- Floor Plans indicating the square footage of the building including balconies, decks, patios, atriums, garages and all other structural elements.
- Roof Plans which indicate materials, pitches, skylights, and any and all roof mounted-equipment.
- Exterior materials, finishes and color schedule including the palette of all brick and masonry material, trim, and exterior paint selections.
- Complete exterior color schemes (combinations of brick, stone, or other masonry material, trim and exterior selections).
- Palette of roof materials and colors, including samples of all materials and colors.
- Any other such material or information as may be requested by the DRC.

## 3. Landscape Plan Review Package

- The Applicant shall submit landscape plans including a planting plan and a fencing plan design, complete with all planned landscape improvements.

### 1.5.5 | Amendments to the Design Standards & Guidelines

The Third Creek West Design Review Committee (DRC) may request approval of an amendment to these Standards and Guidelines. Final approval of any modification to these Standards and Guidelines shall be given only by the Community Development Director of Commerce City.



Amendments proposed to this document shall be tracked over time. Items changed or added shall be noted on Sheet 2 of this document within the Amendment Tracking Table. Content internal to the document shall be identified with a revision cloud and delta note. Reference Delta Note 1 in Exhibit 1.2.

In instances where full sections are added to the document (i.e. to include additional standards and guidelines for land use types not currently included) it is not necessary to include the full section in a revision cloud, but only show the revision cloud around the Section Title. Reference Delta Note 2 in Exhibit 1.2.

## Exhibit 1.2 | Amendment Example

### 2.2.2.3 | Character – Commercial/Retail/Office Furnishings and Features

Site furnishings and features in commercial, retail and office areas tend to accommodate higher levels of pedestrian traffic. Furnishings and features in these areas may include bollards with (or without chains) and information kiosks. Beyond the typical furnishings of benches, trash receptacles, and others. **These furnishings shall be featured in Local Commercial and Alternate Collector Streetscapes as shown in Section 2.1.2.6 and Section 2.1.2.7 of this document, respectively.**

Materials of site furnishings and features in commercial, retail, and office areas should be metal, wood or a mix thereof, to provide a contemporary and eclectic look. Planters and decorative paving can also be used to help define spaces such as passive seating areas and more activated gathering spaces. Site furnishings in these areas should encourage social engagement and activity, while allowing for passive areas.

Seating shall be placed near building entrances, plazas and gathering spaces.

A minimum of one (1) bench shall be used for every 200 feet of commercial building frontage. Benches shall be grouped where appropriate.

Planter seating for restaurants, coffee houses, or similar uses is encouraged.

Within plazas and gathering spaces, more unique site furnishings are encouraged to provide added visual interest and promote the use of these spaces.

Unique site furnishings are encouraged in plaza spaces.



Materials: metal, wood or mix thereof.



Images included in this document are representative of character. Specific design may be determined with future applications.

All amendments shall be reviewed and approved based on the following criteria:

- A. Is generally consistent with the overall intent of the Standards and Guidelines, the City's Comprehensive Plan, project intent for the development and the provisions of the Third Creek West PUD Zone Document.
- B. Is necessary and desirable because of changing social values, improved design solutions, new planning concepts or other social or economic conditions. Economic conditions must be substantiated to the satisfaction of the Community Development Director of Commerce City to justify the request for an amendment (if changing economic conditions are the basis of the request).
- C. Is substantially compatible with the immediate area.
- D. Will not have a significant adverse effect on the future development of the area.
- E. Will continue to promote the public health, safety and welfare of the people living and working in Commerce City.

## 1.5.6 | Alternative Compliance to the Design Standards & Guidelines

The Standards and Guidelines provided herein will need to provide both continuity and flexibility into the future. As such, Alternative Compliance may be considered with support and recommendation by the Third Creek West Design Review Committee for approval by the Commerce City Community Development Director. The use of alternative compliance would occur on a case-by-case basis for one-off issues related to a specific site condition. Larger changes proposed that impact future filings will require a formal amendment process.







A request for Alternative Compliance does not require a formal amendment to the Standards and Guidelines or the Third Creek West PUD Zone Document.

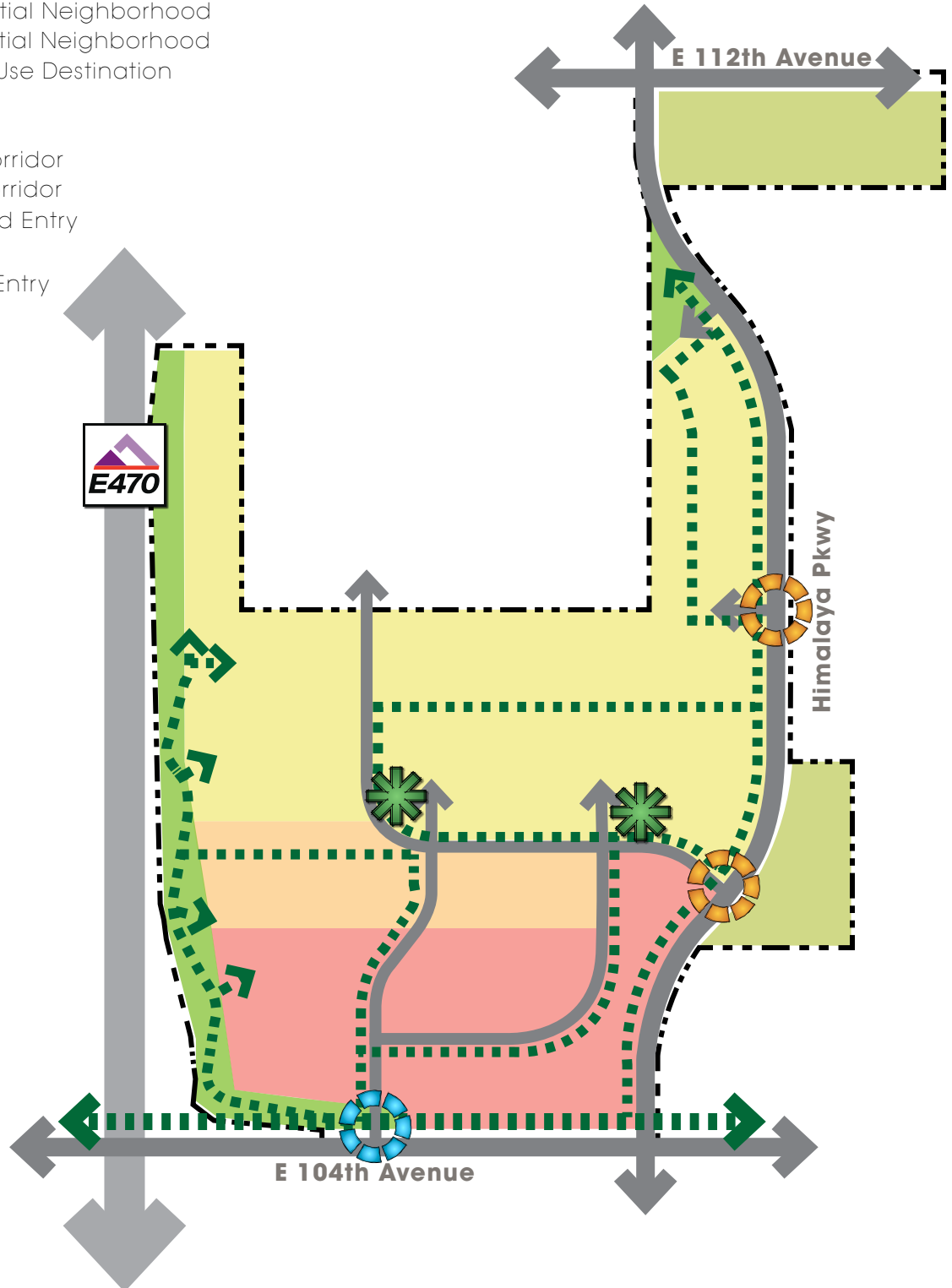
Approval of the Alternative Compliance shall be based on the following criteria:

- A. Is generally consistent with the overall intent of the Standards and Guidelines, the City's Comprehensive Plan, project intent for the development and the provisions of the Third Creek West PUD Zone Document.
- B. Is necessary and desirable because of changing social values, improved design solutions, new planning concepts or other social or economic conditions. Economic conditions must be substantiated to the satisfaction of the DRC to justify the request for an alternative compliance (if changing economic conditions are the basis of the request).
- C. Is substantially compatible with the immediate area.
- D. Will not have a significant adverse effect on the future development of the area.
- E. Will continue to promote the public health, safety and welfare of the people living and working in Commerce City.
- F. An extraordinary condition or situation exists where the strict enforcement of the Standards and Guidelines will deprive the property of privileges generally enjoyed by property of the same or similar land use within the community.
- G. An Alternative Compliance request shall be for a specific lot or development parcel.

# 1.6 | CHARACTER FRAMEWORK PLAN

## LEGEND

-  Property Boundary
-  Major Roadway Circulation
-  Med. Residential Neighborhood
-  High. Residential Neighborhood
-  Com./Mixed-Use Destination
-  Open Space
-  Detention
-  Major Trail Corridor
-  Minor Trail Corridor
-  Neighborhood Entry
-  Commercial Entry
-  Private Park





# **2 | SITE DESIGN**

# 2.1 | CIRCULATION & STREETSAPES

## 2.1.1 | Intent

Circulation is a key element in curating character for Third Creek West. A hierarchy of streets and pedestrian corridors creates an urban fabric that weaves the community together. This confluence of old and new forms speaks to nostalgic and eclectic design principles. Connectivity **shall** be achieved through the use of interconnected public and private streets, pedestrian paths, bike lanes, and trails. Pedestrian circulation is encouraged via sidewalks along all public streets, as well as trails and paths. Landscaping and landscaping materials in the streetscape evoke a contemporary aesthetic with linear rows of planting, consistency across beds, and water-wise material selections.

*Accomplish permeability and connectivity of the neighborhood through trail corridors, mid-block crossings, detached sidewalks and other similar elements*

## 2.1.2 | Standards & Guidelines

Connectivity is achieved by moving pedestrians through the community and connecting key points of interest such as parks, community gathering areas, and non-residential areas. Circulation should connect residents to regional destinations as well, such as nearby retail establishments, future transit connections, employment centers, and parks. Third Creek West is planned for a variety of land uses which promote both commerce and community. Specific streetscape designs help create Third Creek West character for the variety of residential, office, retail, and commercial areas.

In general, streets in Third Creek West should abide by the following principles to support pedestrian safety:

- Neighborhood street layouts should discourage excessive speeding and through traffic where possible.
- Neighborhood street networks oriented in a north-south direction are preferred. Such orientation allows for maximum sun exposure, preventing snow and ice buildup on driveways during winter.
- Decorative, pervious paving may be incorporated into paved and landscaped areas to enhance aesthetics, reduce the visual impact of large paved surfaces, and act as a traffic calming measure. Materials such as brick, stamped colored concrete, stone blocks, or pavers, interlocking colored pavers, grasscrete, and other comparable

materials may be used to achieve this condition.

Pedestrian corridors **shall** promote permeability of the neighborhood through the use of the following:

- Mid-Block Crossings - no less than 20 ft. wide featuring a 4.5 ft. wide sidewalk connecting from one street to another or to a public amenity space such as a trail connection or park.
- Tree-Lined Streets - as depicted in the streetscape sections featured in this chapter.
- Trail Corridors - Minor Corridors (min. 10 ft. in width) featuring trails of a minimum 4.5 ft. in width and Major Corridors (min. 30 ft. in width), featuring trails of a min. 8 ft. in width. Trail Corridors proposed in tandem with power line easements and adjacent to E-470 **shall** comply with any existing requirements established by the easement holder. Trail corridors **shall** continue with future development east of Himalaya Parkway.
- Trail Materials - Most proposed trails within Third Creek West will be on-street and therefore consistent with the street standards of the PUD Zone Document. Off-street trails such as the future trail along E-470 may use crusher fines for surface material.
- Landscape beds **shall** further define streetscape character.
- Residential Arterial and Collector Streetscapes **shall** use a mixture of perennial and annual landscape materials with a focus on ornamental grasses.
- Local Commercial Streetscapes **shall** use a mixture of low water use materials with a focus on ornamental grasses.
- Reference the [Third Creek West Plant Palette \(Section 2.6.2.1\)](#) for specific species.

The principles of walk-ability and connectivity outlined here are consistent with the Commerce City Master Plans, especially the Walk Bike Fit Active Transportation Plan, Second Creek Master Plan, and Prairieways Action Plan. These Design Standards and Guidelines build upon these city plans as well as the Commerce City Land Development Code, to create the unique Third Creek West character.

Streetscapes in Third Creek West are built around connectivity and circulation. Please reference Sections 21-7310 and 21-7320 of the Commerce City Land Development Code regarding Pedestrian Access, Circulation, and Walkway Standards for more specific standards for streetscape design. These provide examples, designs, and general guidance for creating a Third Creek West specific character while still adhering to City standards. Variability in applying these streetscape character designs is anticipated to fit the spaces as they are designed in detail.

### 2.1.2.1 | Character - Arterial Streetscape

Planned arterial streets provide critical infrastructure for the development of Third Creek West as well as future development to the east. Applicable arterial streets for Third Creek West include Himalaya Parkway, 112th Avenue, and 104th Avenue. Reference the Third Creek West PUD for specific dimensional requirements.

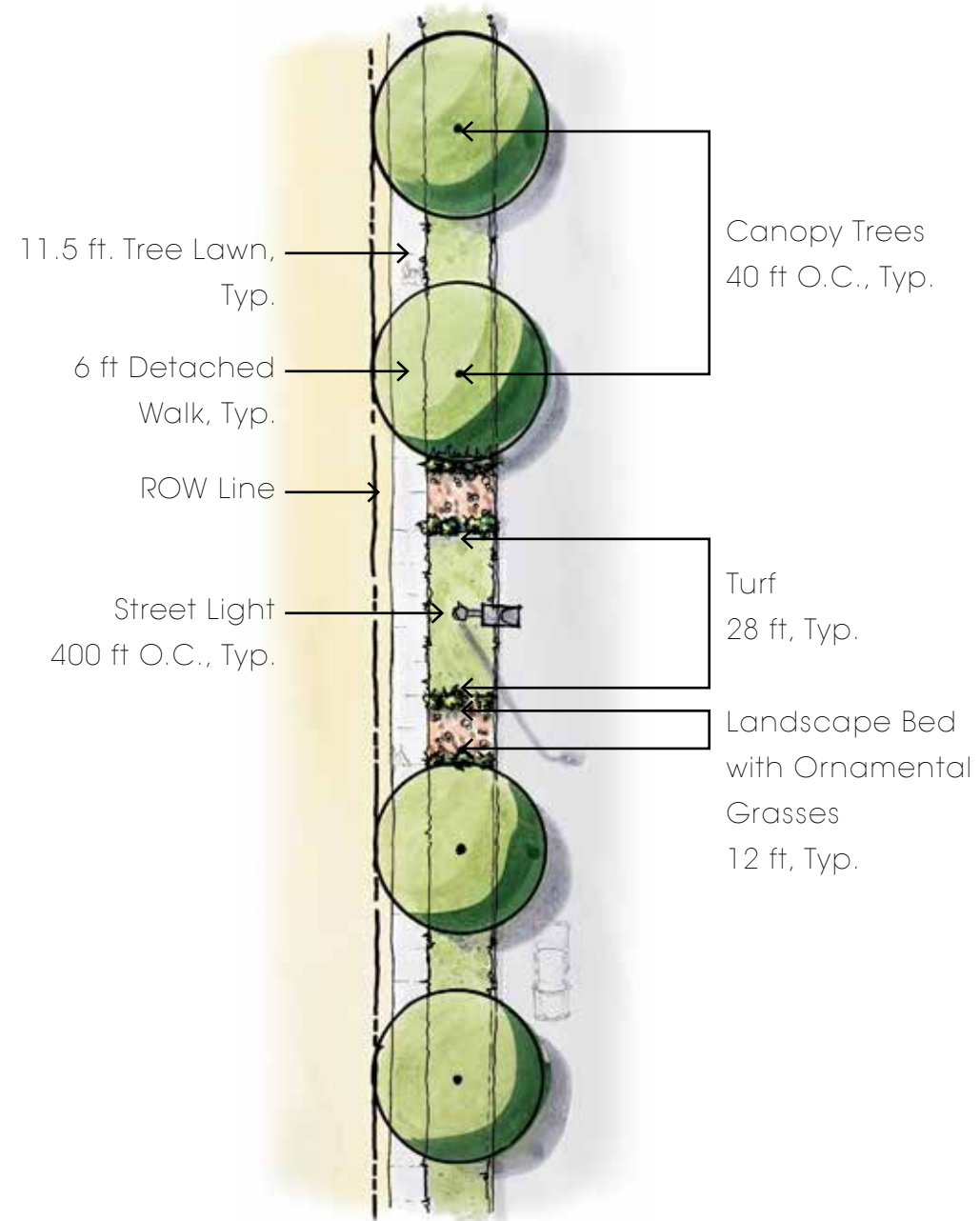
The following Standards and Guidelines promote the Third Creek West character:

- Landscaped center median **shall** be provided per Commerce City Roadway Standards
- Min. 6' detached sidewalks along the south/west side of roadway **shall** be provided
- Min. 12' detached walk and bike path (combination) along the north/east side of roadway **shall** be provided
- A range of varieties of canopy trees for healthy streetscapes **shall** be provided every 40', except for areas where this regular, formal pattern is not interrupted by light poles or other neighborhood elements
- Street lighting, consistent within the neighborhood which is proposed, **shall** be provided every 400' for adequate lighting/safety
- Min. 12' tree lawn **shall** be provided
- A mixture of turf and landscape beds located near intersections **shall** be used within the tree lawn to create visual interest, as depicted in Exhibit 2.1
- Landscape beds **shall** use a mixture of perennial and annual landscape materials with a focus on ornamental grasses. Reference the *Third Creek West Plant Palette* (Section 2.6.2.1) for specific species
- Min. 30' landscape buffer from adjacent residential development **shall** be provided. Landscape buffer may be reduced when adjacent to non-residential uses so as to promote building engagement with the street
- Crusher fines or small decorative angular stone may be used in conditions that warrant its use in best practices over sod, such as areas that are narrow or difficult to maintain turf

Note: These Standards and Guidelines **shall** apply to arterials within Third Creek West with the exception of E. 104th Avenue which **shall** comply with the Northern Range Streetscape guidelines established in Section 21-7551 of the Commerce City Land Development Code.

Images included in this document are representative of character. Specific design shall be determined with future applications.

Exhibit 2.1 | Arterial Streetscape



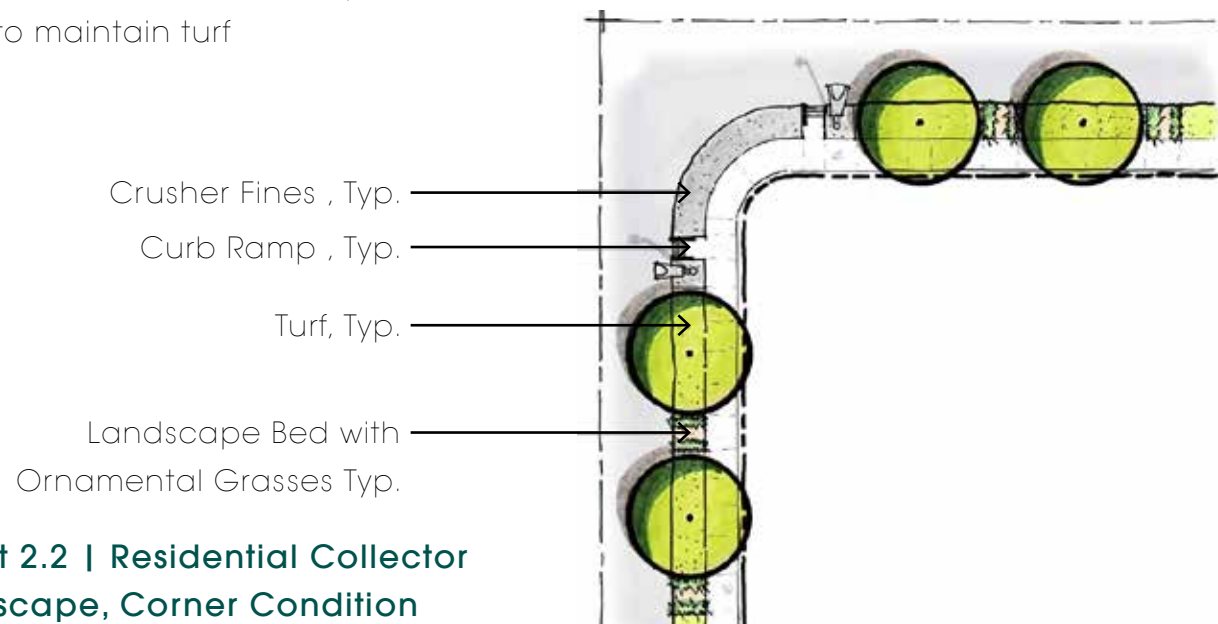
*Include tree-lined streets - deciduous trees provide shade for pedestrians and enhanced landscape for visual appeal*



### 2.1.2.2 | Character - Residential Collector Streetscape

Residential Collectors act as the main entrance and through-connections for the residential neighborhood of the Third Creek West community. These streets provide quick access to neighborhood amenities and provide additional character to the streetscape within the residential portions of the community through the use of the following Standards and Guidelines. The Residential Collector Streetscape may be applicable to the "Minor Collector" or "Major Collector" street sections noted in the Third Creek West PUD Zone Document.

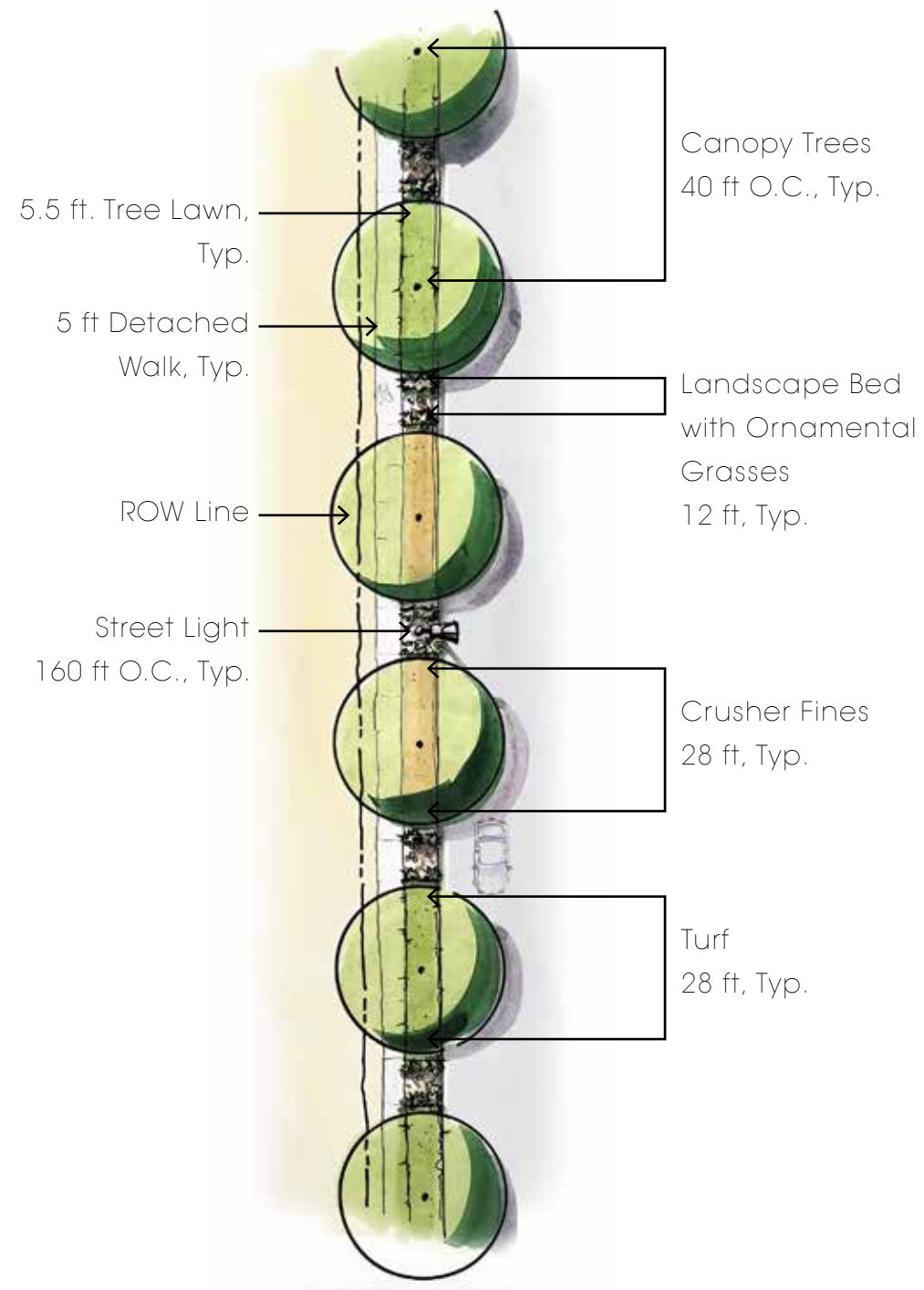
- Min. 5' detached sidewalks along the south/west side of roadway **shall** be provided
- A range of varieties of canopy trees for healthy streetscapes **shall** be provided every 40', except for areas where this regular, formal pattern is not interrupted by light poles or other neighborhood elements
- Street lighting, consistent within the neighborhood which is proposed, **shall** be provided every 160' minimum for adequate lighting/safety
- A mixture of turf and landscape beds located near intersections **shall** be used within the tree lawn to create visual interest, as depicted in Exhibit 2.2
- Landscape beds **shall** use a mixture of perennial and annual landscape materials with a focus on ornamental grasses. Reference the Third Creek West Plant Palette (Section 2.6.2.1) for specific species
- Site furnishings should be featured along key pedestrian corridors
- Crusher fines or small decorative angular stone may be used in conditions that warrant its use in best practices over sod, such as areas that are narrow or difficult to maintain turf



**Exhibit 2.2 | Residential Collector Streetscape, Corner Condition**

Images included in this document are representative of character. Specific design shall be determined with future applications.

### Exhibit 2.3 | Residential Collector Streetscape



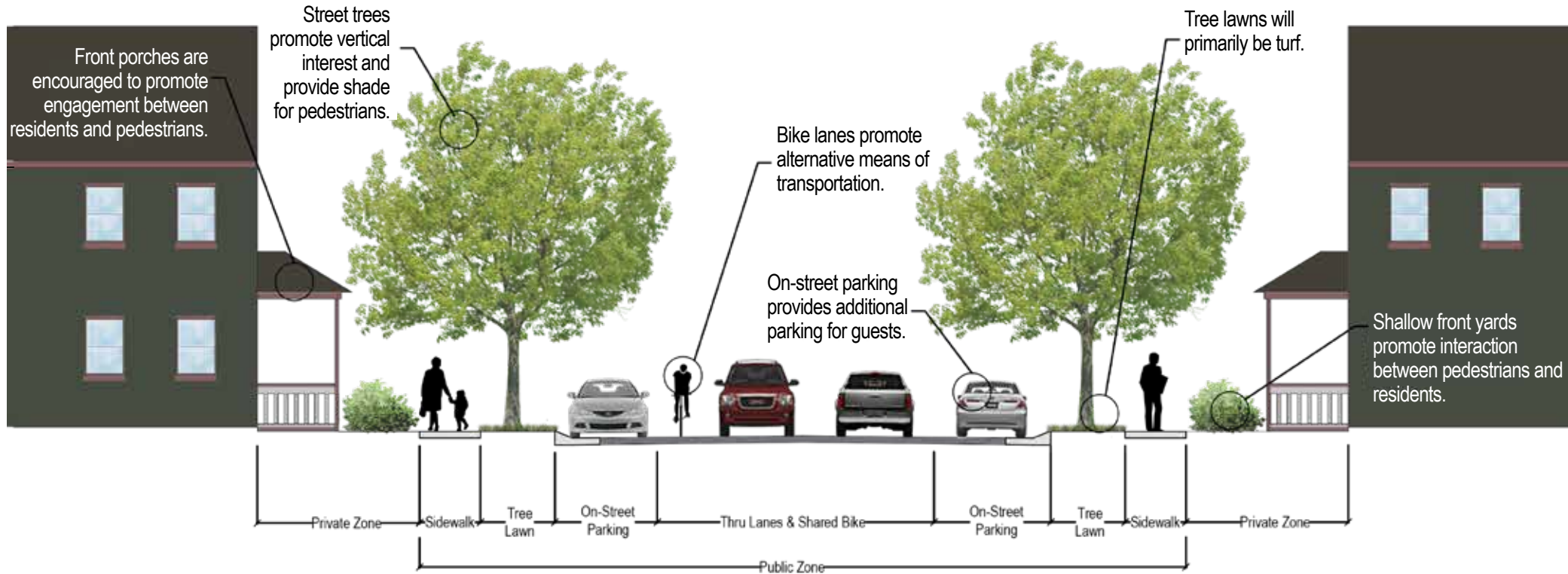


### 2.1.2.3 | Character - Residential Local Streetscape

Residential Local streets provide safe and convenient access for Third Creek West residents while adding fine-grained character and everyday livability to the community. The Residential Local Streetscape may be applicable to the "Local" street section noted in the Third Creek West PUD Zone Document. The following Standards and Guidelines help to achieve the Third Creek West character:

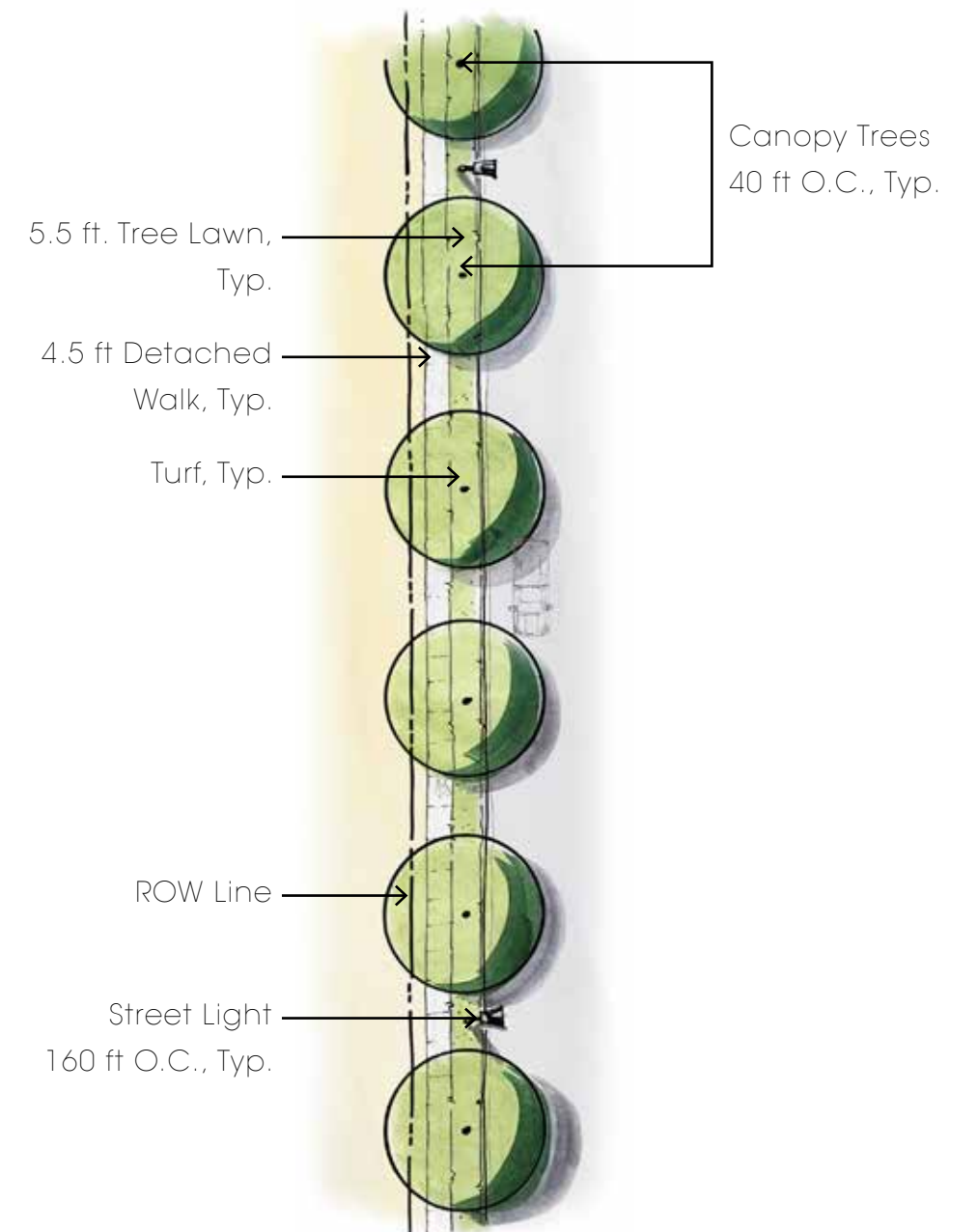
- Min. 4.5' detached sidewalks along the south/west side of roadway **shall** be provided
- A range of varieties of canopy trees for healthy streetscapes **shall** be provided every 40', except for areas where this regular, formal pattern is not interrupted by light poles or other neighborhood elements
- Street lighting, consistent within the neighborhood which is proposed, **shall** be provided every 160' minimum for adequate lighting/safety
- A mixture of turf and landscape beds located near intersections may be used within the tree lawn to create visual interest, as depicted in Exhibit 2.5
- Residences **shall** front onto the street to encourage interaction between the pedestrian and private realms

Exhibit 2.4 | Residential Local Street Section Character



Images included in this document are representative of character. Specific design shall be determined with future applications.

Exhibit 2.5 | Residential Local Streetscape



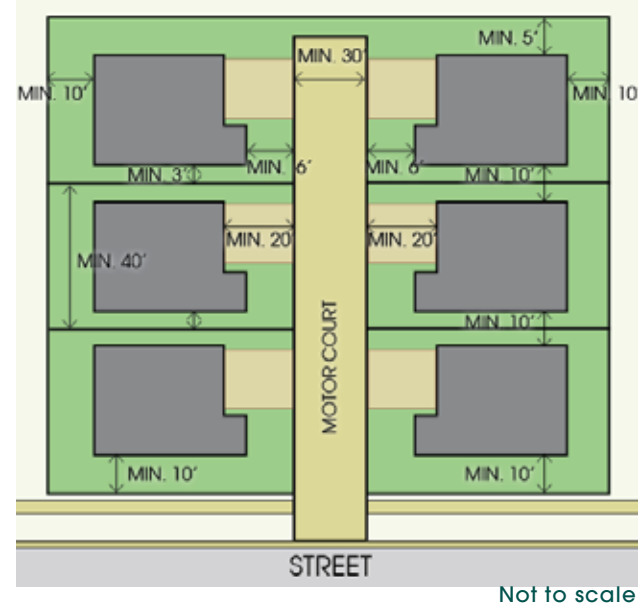
### 2.1.2.4 | Character - Motor Court

Motor courts provide residences with safe and convenient access to front entries onto a shared private drive. The following Standards and Guidelines help promote this unique character element:

- To provide visual interest and support pedestrian safety in the community, motor courts **shall** include a minimum of one (1) of the following options to distinguish the motor court from the adjacent public street
  - Change in material
  - Change in texture or finish
  - Change in color
  - Variation in scoring patterns
  - Other variations as approved by the Community Development Director
- Front entrances of homes **shall** be oriented to the motor court, adjacent public street, park, or open space
- When space is available, landscaping **shall** be provided in the motor court
- Homes that side onto public right-of-way **shall** have enhanced architectural features consistent with front elevation requirements

*Consider motor courts and alleys as alternative garage access options, which are permitted with specific enhancement standards.*

#### Exhibit 2.6 | Motor Court (Typical)



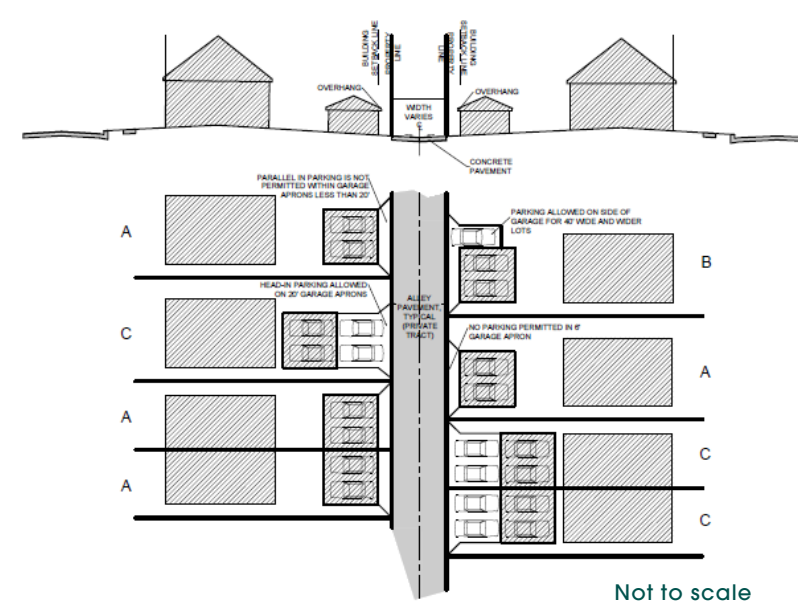
Images included in this document are representative of character. Specific design shall be determined with future applications.

### 2.1.2.5 | Character - Alleys

Private alleys provide safe and convenient access to the rears of residential homes and lots to promote a pedestrian-oriented streetscape. The following Standards and Guidelines are used to promote this unique character element:

- A minimum of 4' wide paved surface **shall** be used to provide access to individual main entrances from the adjacent roadway
- Parking within the alley outside of a designated space **shall** not be permitted
- Alleys providing access to buildings that are 3 stories or greater, as measured from any side of the building, **shall** include at least 20 feet of unobstructed width. Specific width will be determined based on the applicable fire and utility standards
- Alley width minimum **shall** comply with standards established in the Third Creek West PUD Zone Document. Narrower alley widths are encouraged, where possible
- Street trees **shall** be placed a minimum of 8' from the corner of an alley so as to reduce potential sight-distance conflicts
- Minimum lighting levels **shall** be maintained for alleys, but may be provided through wall-mounted or free-standing pedestrian scale light fixtures
- Where alley lengths exceed 150', an approved fire turnaround or secondary access to a public street is required
- Landscaping is encouraged, where possible. Reference Section 2.6 for specifics on landscape character

#### Exhibit 2.7 | Alley Parking (Typical Conditions)



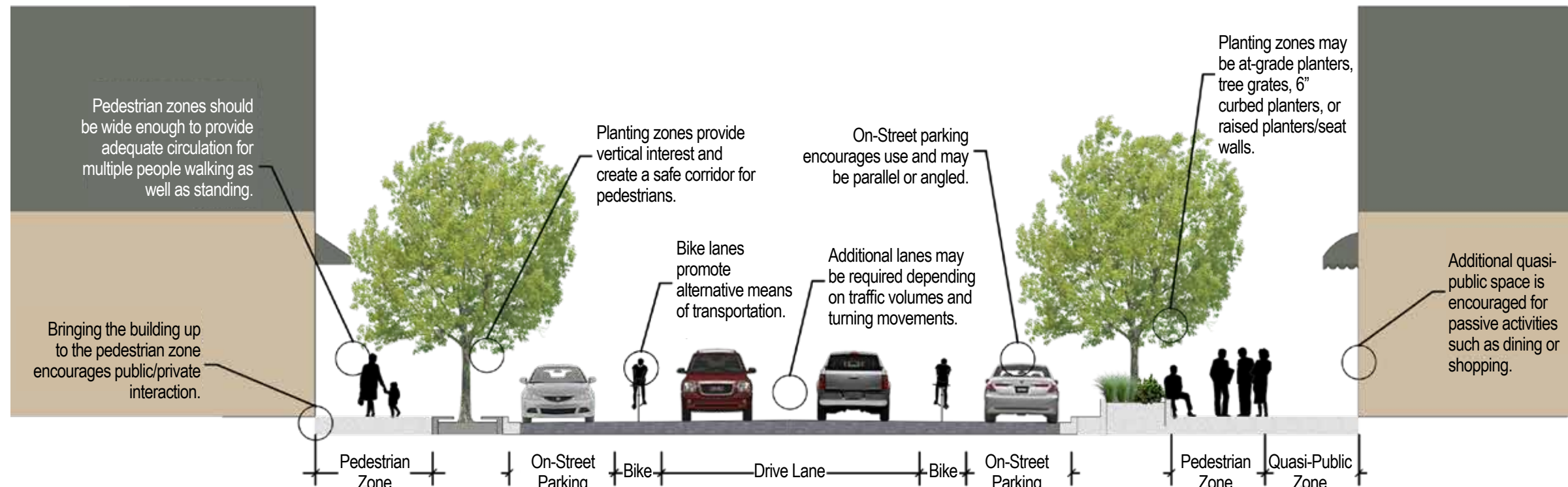
Images included in this document are representative of character. Specific design shall be determined with future applications.

### 2.1.2.6 | Character - Local Commercial Streetscape

Local commercial streets provide key vehicular and pedestrian circulation for the non-residential and mixed-use areas of the Third Creek West community. The Local Commercial Streetscape may be applicable to the "Local Commercial" street section noted in the Third Creek West PUD Zone Document. The following Standards and Guidelines promote the Local Commercial Streetscape character:

- Detached walks with tree lawns **shall** create a safe buffer between through-traffic and the pedestrian realm
- A range of varieties of canopy trees for healthy streetscapes **shall** be provided every 40', except for areas where this regular, formal pattern is interrupted by light poles or other neighborhood elements
- Street lighting, consistent within the neighborhood which is proposed, **shall** be provided every 120' for adequate lighting/safety
- A mixture of turf and landscape beds **shall** be used within the tree lawn generally, as depicted in Exhibit 2.9
- Landscape beds **shall** use a mixture of low water use materials with a focus on ornamental grasses. Reference the Third Creek West Plant Palette (Section 2.6.2.1) for specific species
- Breaks in the tree lawn/planting zones at a frequency of approximately every 60' **shall** be used to provide safe crossing for pedestrians from the road to the sidewalk. Tree grates or enhanced paving are acceptable surfaces for these types of breaks in the tree lawn
- Attached walks are encouraged where drop-off locations and quick access to building entrances are desired
- Front façades of buildings and main entrances should front onto adjacent streets, where possible, to encourage interaction between the pedestrian and private realms
- A variety of pavement materials such as pavers, colored concrete, variations in texture or finish, thermoplastic application, or other similar material, as approved by the Community Development Director, should be incorporated near intersections or mid-block crossings to encourage safe pedestrian crossings

#### Exhibit 2.8 | Local Commercial Street Section Character



Images included in this document are representative of character. Specific design shall be determined with future applications.



## 2.1.2.6 | Character - Local Commercial Streetscape

Exhibit 2.9 | Local Commercial Streetscape

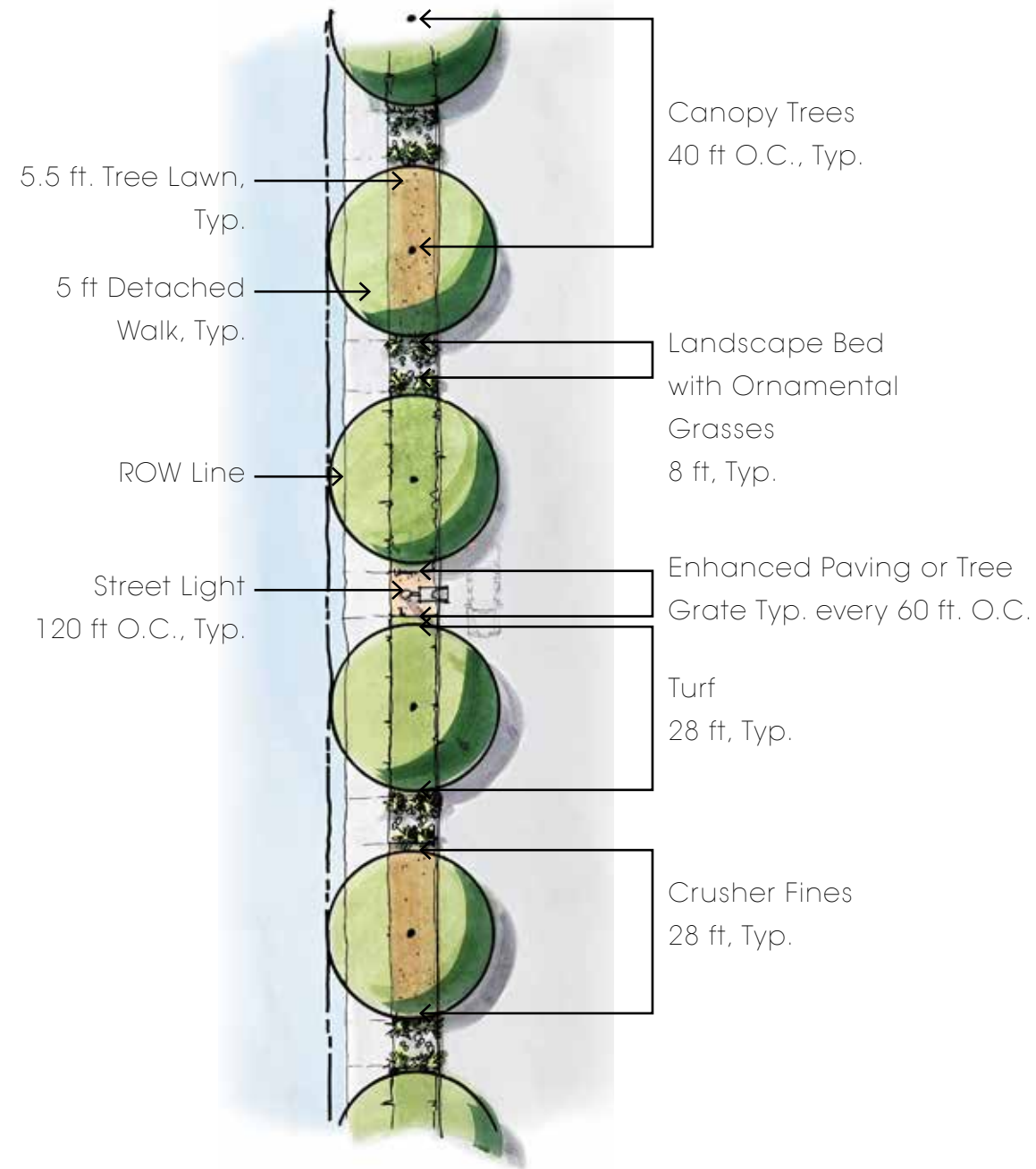
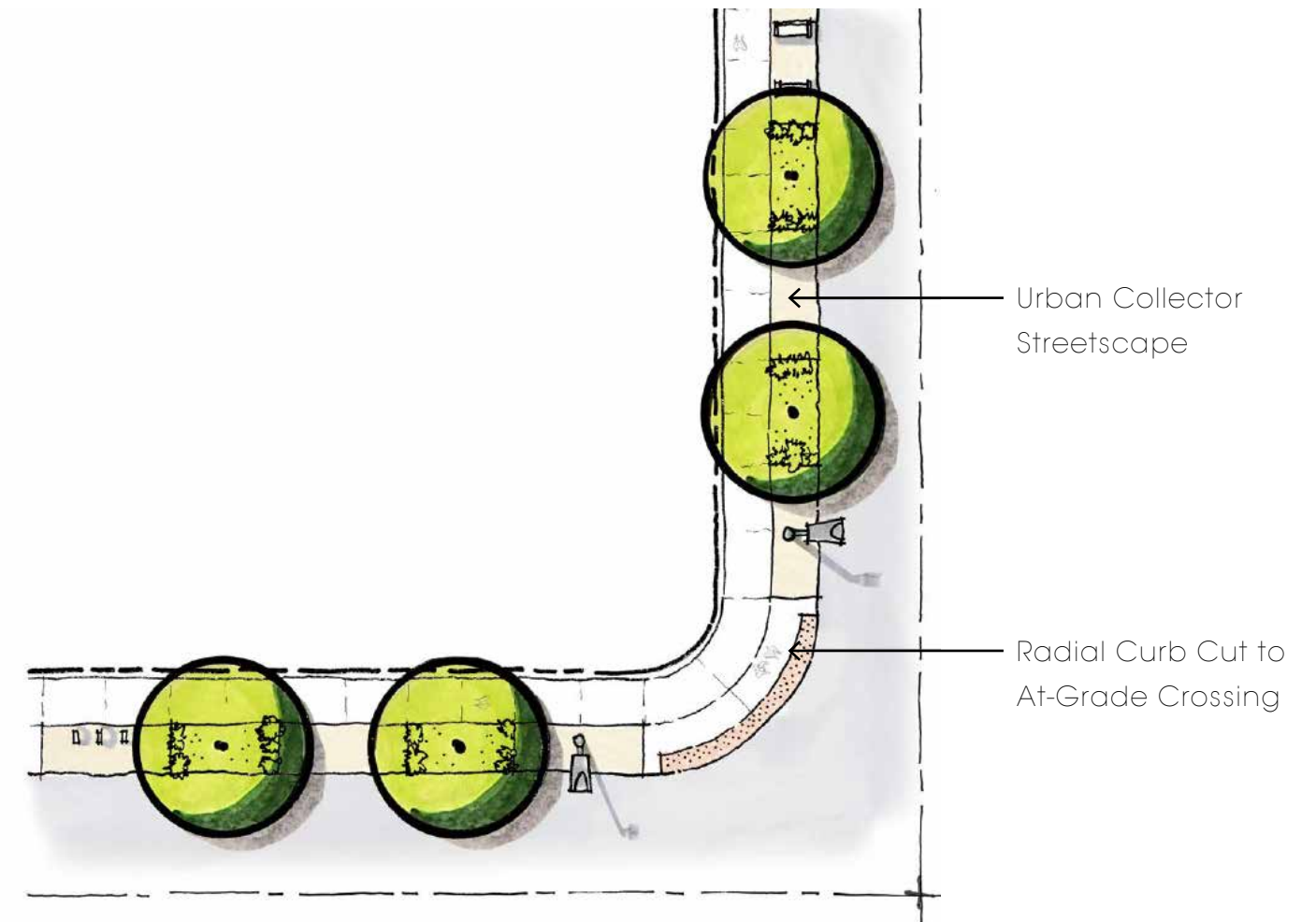


Exhibit 2.10 | Local Commercial Streetscape, Corner Condition



*Include tree-lined streets - deciduous trees provide shade for pedestrians and enhanced landscape for visual appeal*



## 2.2 | SITE FURNISHINGS & URBAN DESIGN FEATURES

### 2.2.1 | Intent

Site furnishings and urban design features are intended to provide the necessary elements for pedestrian comfort and convenience. Furnishing standards are envisioned to reflect the nostalgic, eclectic, and contemporary character of Third Creek West, which honors Commerce City's history. Furnishings and features **shall** use a mix of materials and compliment the adjacent architecture and function of the space. Site furnishings **shall** emphasize the Third Creek West character by using traditional forms coupled with contemporary materials that create a sophisticated, timeless look.

### 2.2.2 | Standards & Guidelines

Site furnishings and urban design features in Third Creek West should generally include benches, trash receptacles, bike racks, planters, tree grates, and other similar elements. It is envisioned that site furnishings and features will complement each other, the architecture of the buildings, and other site amenities. These Standards and Guidelines provide examples, designs, and general guidance for creating a specific Third Creek West character while still adhering to City standards. The following Standards and Guidelines promote the Third Creek West character through the use of site furnishings and urban design features:

#### Bicycle Racks

- The ground surface surrounding and underneath the bicycle rack **shall** be surfaced in a manner to deter and minimize mud and dust collection. Approved materials **shall** include crusher fines, concrete pavers, a concrete pad or similar materials
- The bicycle rack **shall** be coated in a material that is intended to keep bicycles free from damage

#### Pet Pick-Up Stations

- Such stations should be located in areas where people are most likely to walk their pets and **shall** not be located adjacent to building entrances
- Trash receptacles are encouraged near these locations

## Planters

- Planters **shall** be sturdy and resist being blown over by wind
- A variety of raised planters and planter pots may be used in key areas such as building entrances and pedestrian corridors

## Seating

- Seating **shall** be constructed out of a variety of materials which reflect materials historically used within Commerce City, such as metal, wood, stone, or similar
- Seating should be located in areas that will encourage the most use, including high visibility areas such as plazas, along trails, near intersections, and within parks

## Trash & Recycling Receptacles

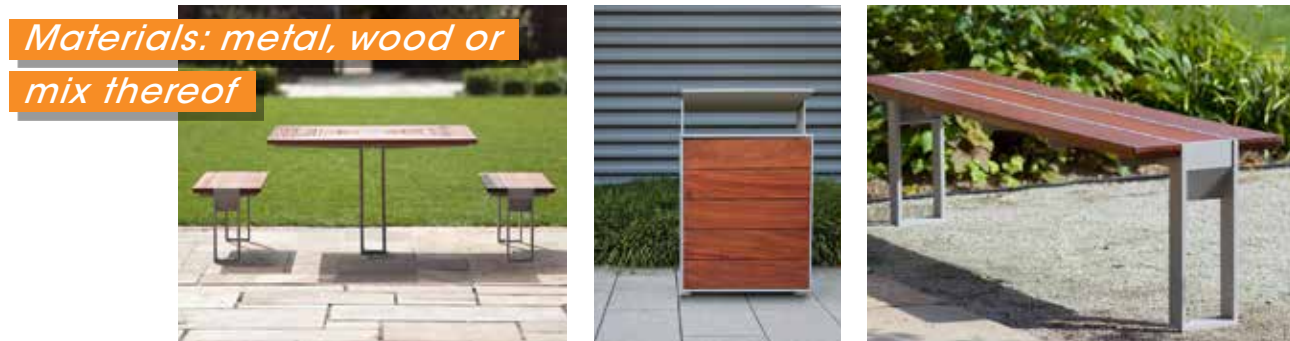
- At least one trash receptacle **shall** be located at each main building entry, common courtyard, or seating area
- Trash and recycling receptacles should not be placed immediately adjacent to benches or other seating areas
- Trash receptacles are encouraged near pet pick-up stations

## Umbrellas

- Permanent umbrellas **shall** be made out of long-lasting and sturdy materials and should resist color fading, high winds, or other weather damage
- Fabric umbrellas **shall** be removable and **shall** be constructed of hardy, weather-resistant materials

### 2.2.2.1 | Character - Residential Furnishings and Features

Site furnishings and features in residential neighborhoods and parks **shall** use wood, metal or a mix of these materials. Character should reflect traditional forms while still maintaining a more contemporary, but timeless aesthetic. Site furnishings in these areas should encourage a mix of passive and social activities.



Such furnishings **shall** be featured in Residential Collector, Residential Local, Local Commercial and Alternate Collector Streetscapes as shown in Section 2.1.2.2, Section 2.1.2.3, Section 2.1.2.6 and Section 2.1.2.7 of this document, respectively.

### 2.2.2.2 | Character - Open Space Furnishings and Features

While site furnishings located in open space areas are anticipated to have less of a demand than more high traffic areas, furnishings are still necessary for users of these spaces. The materials used in furnishings and features in these areas **shall** be metal, masonry or a mix thereof, to reduce long-term maintenance. Site furnishings and features in these areas should encourage a more passive use, such as benches, trash receptacles, and pet-pick up stations.



Images included in this document are representative of character. Specific design shall be determined with future applications.



## 2.3 | LIGHTING

### 2.3.1 | Intent

Lighting of public areas such as streetscapes and parking lots plays an important role in establishing the quality and character of the Third Creek West community. Lighting fixtures and patterns established through review and approval of initial residential and commercial development filings **shall** be continued within future filings, where possible and/or applicable. Lighting fixtures **shall** be simple, unassuming, and contemporary in nature, similar to the example graphics depicted in this section. Lighting forms and materials within public places such as streets, parks, commercial, and office areas should follow a consistent style.

Exterior building lighting, either attached to, or part of, the building **shall** be the minimum level needed to provide general illumination, security, and safety at entries, patios, outdoor spaces, and associated landscape structures; in conformance with the Land Development Code requirements. Subtle lighting of plant materials may be approved if not visible from off-site and if achieved through the use of hidden light sources such as up-lighting or flood lighting.

Lighting design will embrace traditional forms with a contemporary aesthetic, establishing a timeless style. Lighting fixtures **shall** be generally consistent and compatible with architectural styles of adjacent buildings or structures and **shall** promote safety and security within the neighborhood.

To preserve the nighttime dark-sky and limit light impacts on neighboring properties, light emanating from building interiors should be strictly controlled. Lighting adjacent to windows **shall** be directed towards the building interior.

### 2.3.2 | Standards & Guidelines

Lighting throughout Third Creek West **shall** adhere to the requirements of Article VII of the Commerce City Land Development Code. The following Standards and Guidelines are used to promote Third Creek West character through site lighting.

*Planned streetscape lighting should be incorporated into landscape pattern in a consistent manner*

Lighting guidelines should seek to achieve the following objectives:

- Illumination of streets and public areas **shall** support safety and security
- Landscape lighting **shall** be designed to avoid (or minimize) spillover to adjacent residential or private outdoor spaces Landscape lighting **shall** be designed to avoid (or minimize) spillover to adjacent residential or private outdoor spaces
- All lighting **shall** be designed in conformance with city, state, and local utility standards and illumination requirements
- All lighting fixtures and poles **shall** be black in color
- All lighting fixtures and poles **shall** be simple and clean in design. Ornate or intricate elements are discouraged
- A consistent use of lighting fixtures and patterns per land use compatible with architecture to reinforce the unique design intent of Third Creek West should be used
- Fixture placement should blend seamlessly into surroundings during the daytime while performing effectively at night to promote a safe, comfortable, and visually engaging condition
- Monument lighting may be a combination of down-lighting, on-structure lighting, and/or ground level up-lighting, depending on monument height

### 2.3.2.1 | Character - Residential Lighting

To further promote the eclectic character of the community, specific lighting fixtures may vary between uses and neighborhoods or building clusters, however all lighting **shall** meet the requirements of the Land Development Code. As well, residential lighting fixtures established with initial filings within the community **shall** be continued through subsequent residential filings.

### 2.3.2.2 | Character - Parks & Trails Lighting

The lighting of public areas such as parks and trails enhances community character as well as provides a sense of security. To achieve these objectives, post lighting should be used in plaza-like or public gathering areas such as trailheads.



Images included in this document are representative of character. Specific design shall be determined with future applications.

## 2.4 | MONUMENTATION, ENTRIES, SIGNAGE & MURALS

### 2.4.1 | Intent

Monumentation, signage, murals, and entries **shall** be used to provide community identity at access points along key roads. Monumentation **shall** be designed and implemented to tie the community together through the use of materials and forms reflective of the Third Creek West character. These monuments and signs **shall** be designed to work at both a pedestrian-scale and a vehicular-scale to welcome people to the community, in both residential and non-residential use areas.

### 2.4.2 | Standards & Guidelines

Monumentation, signage, murals, and entries may vary in design provided they unify around the family of materials and forms included in these Standards and Guidelines. This will provide creative approaches to individual uses and promote an eclectic character, while maintaining consistency within the community.

All monumentation and signage **shall** follow or exceed the minimum standards specified in the current City of Commerce City Land Development Code. More specific information regarding monumentation and signage design **shall** be provided at the time of PUD Permit. Monumentation and signage for development within the Third Creek West community **shall** follow those applicable standards listed in Article VIII. Sign Regulations of the City's Land Development Code.

#### 2.4.2.1 | Types of Materials

The following materials are required for monumentation and signage within Third Creek West. These elements exemplify the Third Creek West character by providing a selection of materials that can be used in a variety of ways that both evokes nostalgia through traditional elements and also remains current through contemporary design forms. Other appropriate materials, not mentioned here, may be used as approved by the Design Review Committee and the Community Development Director at time of PUD Permit.

A minimum of one (1) of the elements (or a combination of these elements) listed below **shall** be used:

- Board Formed Concrete
- Stone/Gabions
- Wood
- Metal/Pre-finished Metals

Way-finding monumentation and signage are key elements to creating community identity through consistent and thoughtful design. Elements such as monumentation, and interpretive, trail, and way-finding signage **shall** utilize materials as stated above. Signage and way-finding elements should not be limited to only using the traditional materials and elements but may include landscaping and public art to tell the story of the community and create a unique identity. Specific design of monumentation and signage **shall** be proposed at time of PUD Permit application.



*Monumentation/signage materials primarily include board formed concrete, stone,*

Images included in this document are representative of character. Specific design shall be determined with future applications.

### 2.4.2.2 | Monumentation Hierarchy

Iconic monuments, gateways, and entry structures will vary in size, scale, and communication depending on the placement, function, and role in portraying the brand and image of Third Creek West. Although the extent and scale may vary with each land use type, individually they **shall** set forth a consistent, homogenous use of forms, materials and colors that will impart a consistent visual image within the community-at-large. Monumentation throughout Third Creek West **shall** follow a hierarchy established with these Design Standards and Guidelines.

**Primary Monumentation** - Primary monumentation **shall** be the largest in scale and is intended to be viewed by off-site viewers traveling at higher speeds. These monuments **shall** be located along prominent vehicular corridors, such as E-470. Vertical design elements **shall** be used to draw focus from far distances and signage or letters should be appropriate in size and scale for readability at higher speeds. Primary monumentation **shall** conform to height restrictions outlined in the Land Development Code and the approved Third Creek West PUD Zone Document.

**Secondary Monumentation** - Secondary monumentation **shall** provide community identity at access points along main entries into the community, focused at arterial and/or collector intersections. The monuments **shall** help define the individual neighborhoods within Third Creek West and will aid in way-finding for drivers. Secondary monuments **shall** be appropriate in scale for slower vehicular speeds and **shall** have a maximum height of 15', per the Commerce City Land Development Code. Architectural elements consistent with the Third Creek West character **shall** be used. Plant material, as outlined in the [Third Creek West Plant Palette \(Section 2.6.2.1\)](#), **shall** be used in conjunction with the monumentation to soften the form and further establish the Third Creek West character.

Secondary Monuments may be used for both residential and non-residential uses and may vary in design to best suit the needs of the individual users, provided materials and forms are consistent with the Third Creek West character.

**Tertiary Monumentation** - Tertiary monumentation **shall** be used to distinguish smaller neighborhoods or destinations within the community. These monuments **shall** be pedestrian-oriented in scale and **shall** not exceed 8' in height, per the Commerce City Land Development Code. These monuments **shall** be located in highly visible locations such as local street intersections, secondary neighborhood entry points, park entrances, or similar neighborhood locations. The monuments are intended to aid in way-finding and further establish neighborhood character. Individual designs may vary provided the materials and forms are consistent with the Third Creek West character.

Exhibit 2.12 | Secondary Monumentation Character



*Board formed concrete is a primary material used to achieve the neighborhood character of Third Creek West*

Images included in this document are representative of character. Specific design shall be determined with future applications.

### 2.4.2.3 | Entry Classifications

Monumentation and signage **shall** be further distinguished by Primary Entries for both residential and commercial areas. The character of these classifications **shall** be defined as follows:

#### Neighborhood Entry Character

- Primary Neighborhood Entries **shall** be located at the following two (2) Collector/Arterial intersections:
  - E. 108th Avenue and Himalaya Parkway
  - E. 106th Avenue and Himalaya Parkway
- Monumentation **shall** be used as outlined in [Section 2.4.2.2](#) of these Design Guidelines
- Monumentation **shall** be incorporated into a landscape berm, where possible
- Entry landscaping **shall** feature a backdrop of evergreen, canopy, or ornamental trees (reference the [Third Creek West Plant Schedule, Section 2.6.2.1](#))
- Landscaped beds **shall** be incorporated along both sides of the intersection using a mixture of perennial and annual landscape materials with a focus on ornamental grasses
- All structures, berming, and landscape materials **shall** not impede sight distance triangles

### 2.4.2.4 | Wayfinding & Interpretive Signage

Identification of streets, trails, residential neighborhoods, recreation facilities, and other amenities throughout Third Creek West may appear in a variety of forms utilizing the designated palette of materials, patterns, and forms. These may include identification, directional, informational, and/or functional signs. Each sign type will display the Third Creek logo.

### 2.4.2.5 | Development Marketing Signage

All proposed builder signage **shall** be subject to design review and approval. Submittal of art, along with a map of signage placement shall be provided. When permits are required, the builder **shall** provide the design review approval letter from the Developer to the City with the permit application.

- Builders may install one (1) 8'x16' (max.) post and panel sign per development parcel.
- Builders may install flags along the perimeter of the parcel, within the perimeter boundary.
- Builders may install 4'x4' signage within the development parcel to identify model complex location and parking.

- Prohibited signs include Burma-Shave or A-Frame type of signage outside of builder perimeter boundary, individual builder signs in any common area or along streets.
- The developer may install marketing directional signage, which **shall** consist of 4' wide x 12' tall ladder or kiosk signs to be installed in common areas or tree lawns. Design must be approved by the City.

### 2.4.2.6 | Murals

To enhance façades, murals are permitted within Third Creek West primarily as part of a non-residential application or as part of a feature within a park or open space. Murals are subject to DRC approval. Murals are preferred in instances of blank wall surfaces to add color and interest.

Murals **shall** be subject to the following standards:

- Murals **shall** be artistic in nature and **shall** be “one-of-a-kind” works of art. They **shall** be appropriate in content and **shall** not be detrimental to the building architecture.
- Murals **shall** not count toward permitted signage. If the conditions outlined in this section are not met, the subject under review **shall** be considered signage and subject to signage requirements.
- Murals **shall** not feature a logo or business name.
- Murals are encouraged to be placed on buildings, where architectural features are limited. Murals **shall** not be located on a fence, however murals may be considered on free standing masonry walls, as approved by the DRC.
- Only one mural **shall** be permitted per wall face.
- Murals **shall** be maintained in good condition by the owner of the building upon which they appear. Good condition includes limited chipped paint and excessive fading.
- Murals **shall** be featured only on locations and buildings approved by the DRC.



Images included in this document are representative of character. Specific design shall be determined with future applications.

## 2.5 | BUFFERING, SCREENING & FENCING

### 2.5.1 | Intent

Buffering and screening should be used to ensure compatibility between the mix of uses found in Third Creek West. Buffering **shall** be required in areas where land uses are potentially less compatible. Buffering and screening elements **shall** be thoughtfully incorporated into the fabric of the community. A variety of buffering and screening techniques may be used to establish privacy and/or to soften negative visual impacts. Strategies may include using or blending landscaping, planters, fences, screen panels, arbors, garden walls or similar elements. Buffers and screening should aim to utilize plant material such as trees, vines, planters, shrubs, or ornamental grasses that function year-round. All screening and buffering solutions should reflect the unique identity and character of the Third Creek West community.

### 2.5.2 | Standards & Guidelines

Adequate buffering and screening **shall** be provided per the Commerce City Land Development Code Section 21-7516 and the requirements below. Reference the Land Use Compatibility Matrix below for buffering and screening requirements. Buffering and screening requirements **shall** be used when land uses are directly adjacent to one another without a dividing feature such as a road or open space. These Standards and Guidelines provide examples, designs, and general guidance for creating a Third Creek West specific character while still adhering to Land Development Code standards.

- The existence of access-ways or driveways within a buffering and screening zone **shall** not reduce the minimum requirements for trees and shrubs.
- For reasons of conflicting uses, unfavorable topography, or other unique or extraordinary circumstances, the Community Development Director may decrease landscape plantings in any required buffering and screening zone if any decrease is found to be necessary to reasonably achieve the intent of this section.
- In conditions where Single-Family Detached uses are adjacent to non-residential uses, buffers may be further subject to City approval.



### 2.5.2.1 | Types of Buffering & Screening

- Landscape Screening - A mix of deciduous and evergreen plant materials of various heights **shall** be used in order to create a more even distribution of opacity. Plant material **shall** be consistent with the Third Creek West Plant Palette (Section 2.6.2.1) and should create visual interest year-round, reflective of the Third Creek West landscape character.
- Fencing or Walls - Buffer Zone requirements (as noted in Table 2.5.2.1) may be reduced by 50% if fencing or walls are used. Fencing or walls, when used to satisfy buffering and screening requirements, **shall** be a minimum of 60% opaque and **shall** be used in conjunction with landscape materials.
  - Fencing or walls **shall** be constructed from one (1) or a combination of the following materials: board form concrete, stone/gabions, or wood.
  - Fencing or walls **shall** be a maximum of 6' in height, except when used as a sound wall, then they may be increased to 8' in height.
  - Fencing or walls **shall** be compatible in style across neighborhoods and consistent within individual blocks to encourage eclectic design, and visual continuity.
- Land-form Shaping / Berming - Utilizing berming or grade changes to alter views, subdue sound, or create visual separation are encouraged. Landscaping materials **shall** be used in conjunction with berming where applicable. When effective berming is used, plant material quantities may be reduced.

Table 2.5.2.1 Land Use Compatibility Matrix			
Use	Adjacent to SFD/SFA Agricultural (AG)	Adjacent to Multi-Family	Adjacent to Non-Residential
Single-Family Detached/Attached Residential	N/A	Type A	Type B
Multi-Family Residential	Type A	N/A	Type B
Non-Residential	Type B	Type B	N/A
Feature	Buffer Zone "A"		Buffer Zone "B"
Width in feet of buffer zone	15		20
Required trees - every 100 linear feet	4		6
Required shrubs - every 100 linear feet	6		9

Exhibit 2.13 | Landscape Buffer (Typical)

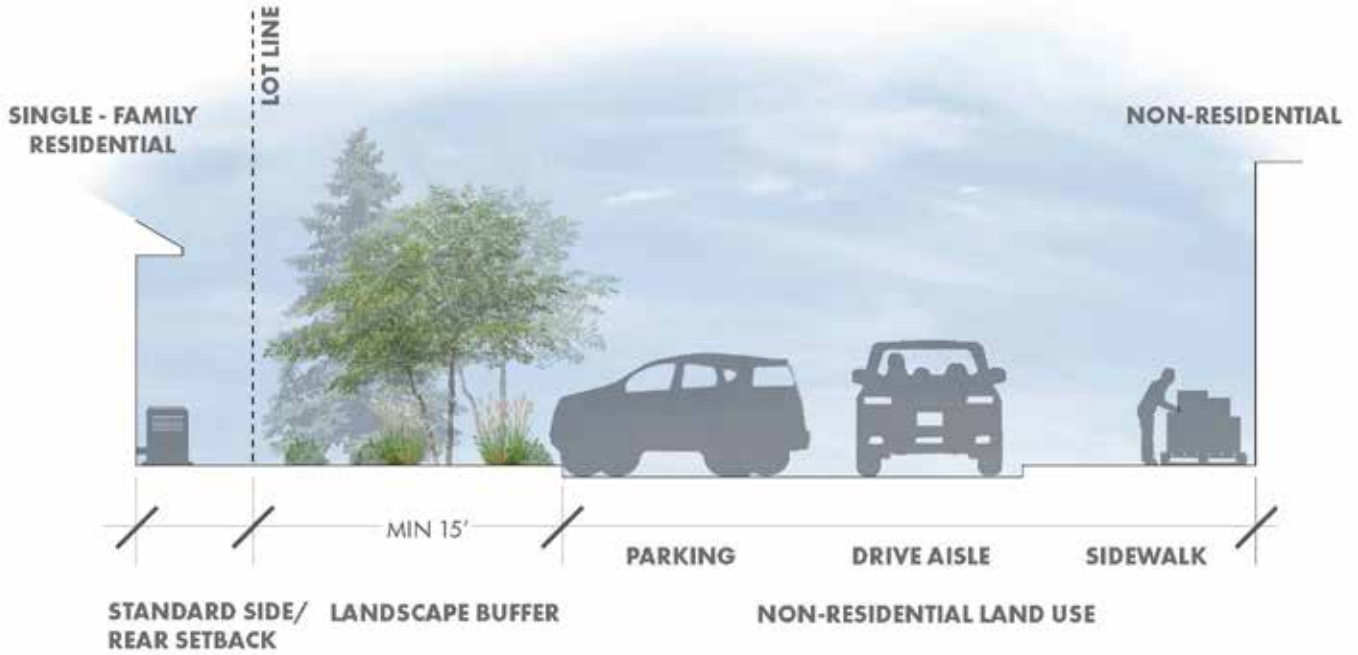
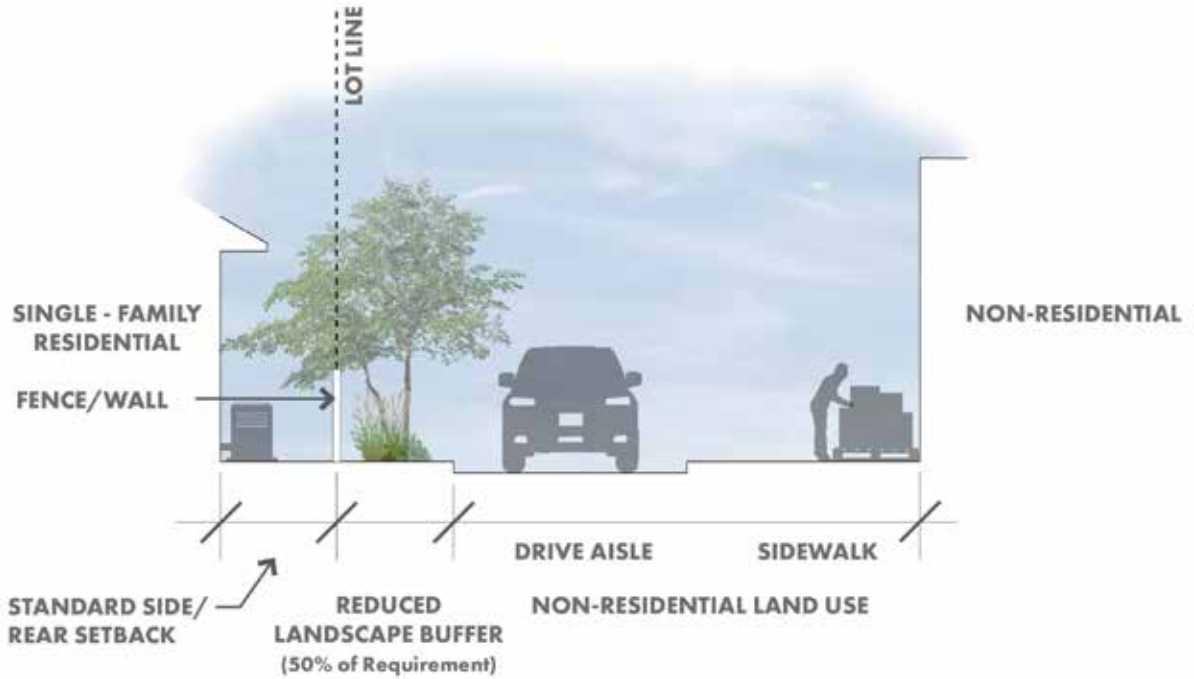
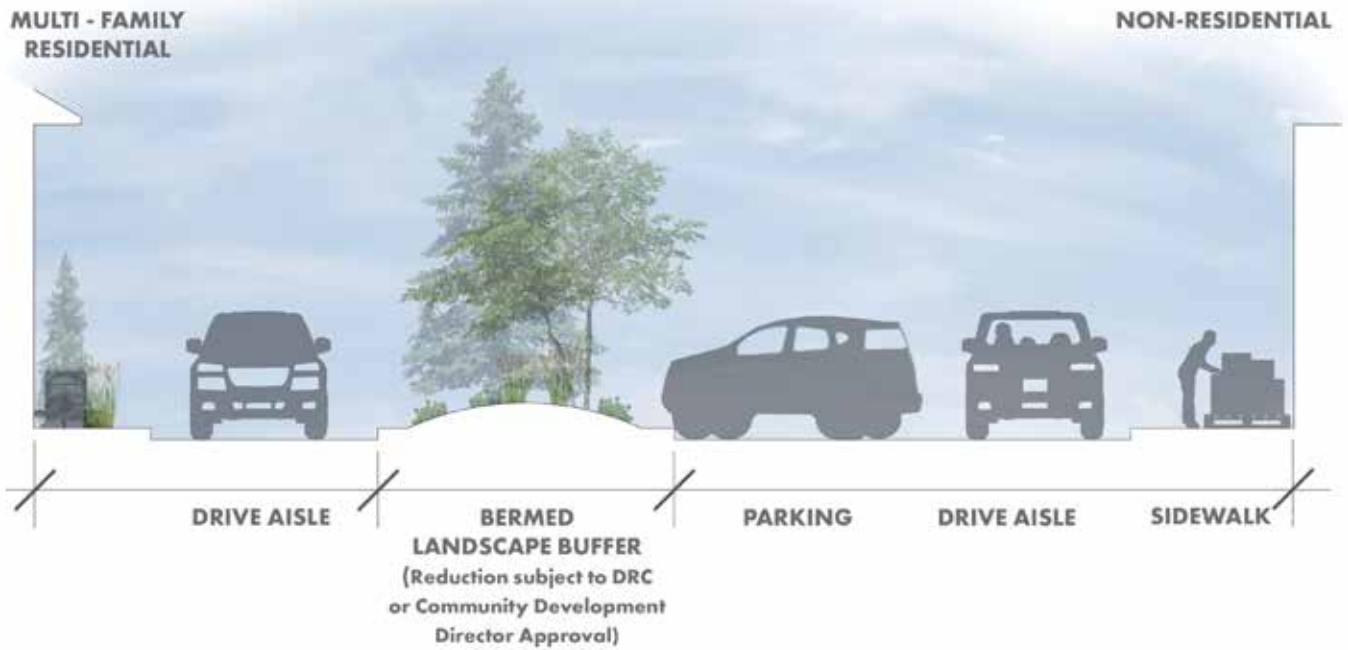


Exhibit 2.14 | Landscape Buffer Reduced (Typical)



Images represent example conditions.

## Exhibit 2.15 | Landscape Buffer with Berming (Typical)



*Landscaped buffers between different uses may be achieved using a combination of landscape materials, as well as berms, fences and/or walls*



Images included in this document are representative of character. Specific design shall be determined with future applications.

## 2.5.2.2 | Fencing

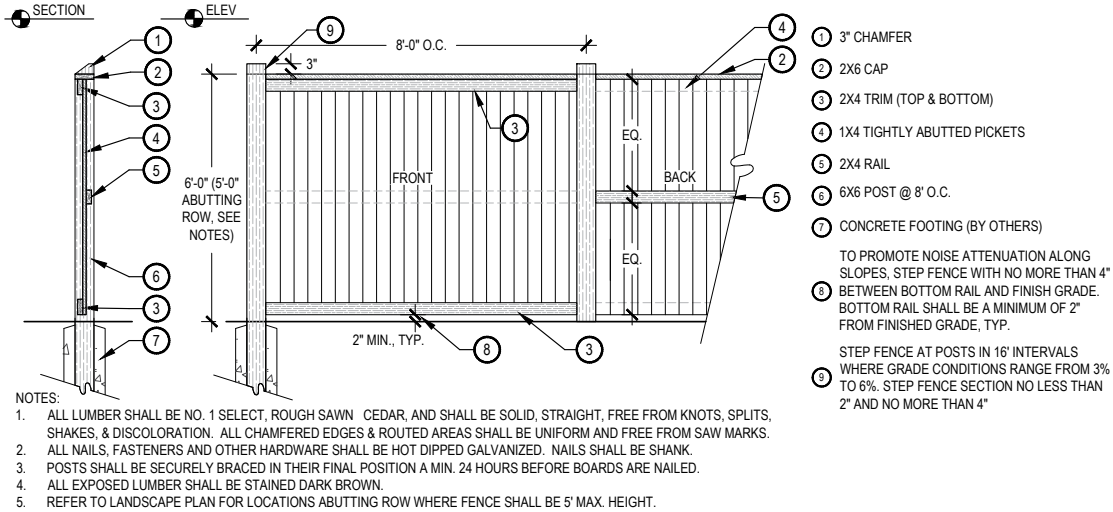
All fencing, walls, and screening within Third Creek West **shall** comply with Commerce City Land Development Code with the following modifications:

### 2.5.2.2.1 | Fencing and Wall Standards

- Screen fencing **shall** be constructed out of treated lumber or lumber resistant to weathering such as cedar or redwood
- Screening walls **shall** be constructed out of masonry such as stacked stone, CMU blocking with stone veneer, engineered concrete panels (when used as a sound wall only), board-form concrete, or gabions
- Open rail fencing **shall** be constructed out of the following materials:
  - Horizontal wooden slats, with a maximum height of 4 feet
- Maximum height of all fencing and walls **shall** be 6 feet, unless otherwise restricted
- Screen fencing or walls **shall** be used to obscure parking, utility and loading areas from public view
- Materials and colors **shall** be compatible to surrounding architecture
- In no instance **shall** screen fencing or walls obstruct required sight distance triangles
- The use of chain link fencing and plastic or vinyl fencing is prohibited
- Perimeter fencing or walls located along rear lot lines within a residential neighborhood adjacent to an arterial street **shall** be consistent in color, height and material
- Runs of screen fencing or walls **shall** be broken at open space tracts providing pedestrian circulation
- A transition of fencing **shall** be provided between fencing of differing heights
- Fencing within the front yard of residential lots is not permitted unless when used as 'wing' fence between homes. Wing fencing **shall** be placed a minimum of 2 feet from the most forward facade of the structure
- Fencing **shall** be generally consistent throughout a filing, neighborhood or non-residential development

- Sound attenuation fencing/walls shall be utilized along arterial roadways and E-470. Masonry walls shall only be permitted along E-470. Alternatives for sound attenuation may be a 6 or 8 foot high, two-sided cedar fence with tightly butted pickets and graded up on the bottom of a treated 2"x6" trim piece at the bottom of the fence on the highway side.
- Minimum Articulation. Fences constructed for screening purposes along the public arterial rights-of-way, if greater in length than 200 continuous linear feet, **shall** include an architectural feature such a masonry column or pillar every 75 feet, minimum. A masonry column must be placed at all corners or turning points. With the exception of single family residential front yards, a masonry column or pillar may exceed the height of the fence by 1 foot. Masonry columns **shall** reflect a design and materiality consistent with the overall character of Third Creek West and **shall** be consistent across the community. If a column or pillar is not used, then each 24-foot fence section or fence panel **shall** be staggered or offset a minimum of 4 inches, or include a vertical support element that is exposed to the public right-of-way subject to the approval of the city.

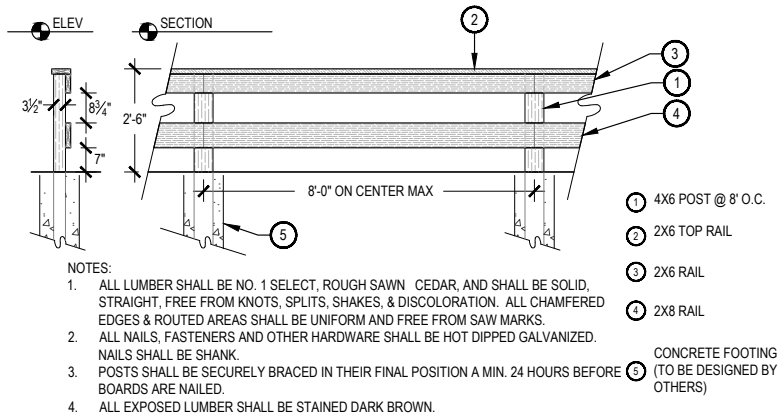
## Residential Screen Fence (6' HT. Maximum)



## 6' SOLID PICKET FENCE (5' ABUTTING ROW)

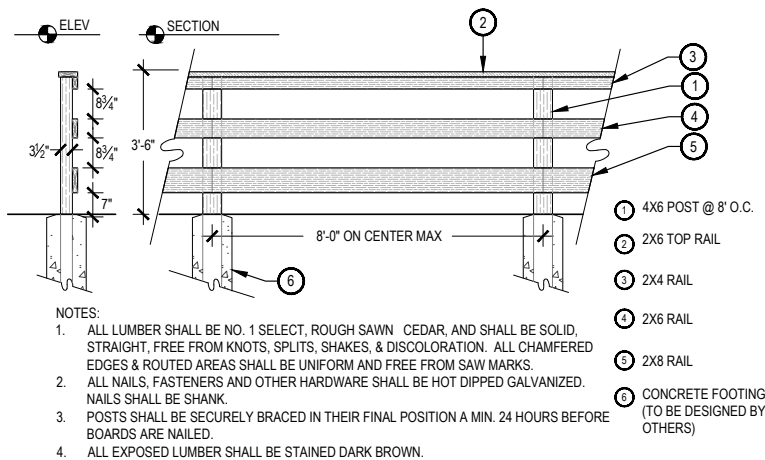
NOT TO SCALE

## Residential Open Rail Fence (4' HT. Maximum)



## 2-RAIL PARK FENCE

SCALE: 1/2" = 1'-0"



## 3-RAIL FENCE BY-HOMEBUILDER

SCALE: 1/2" = 1'-0"

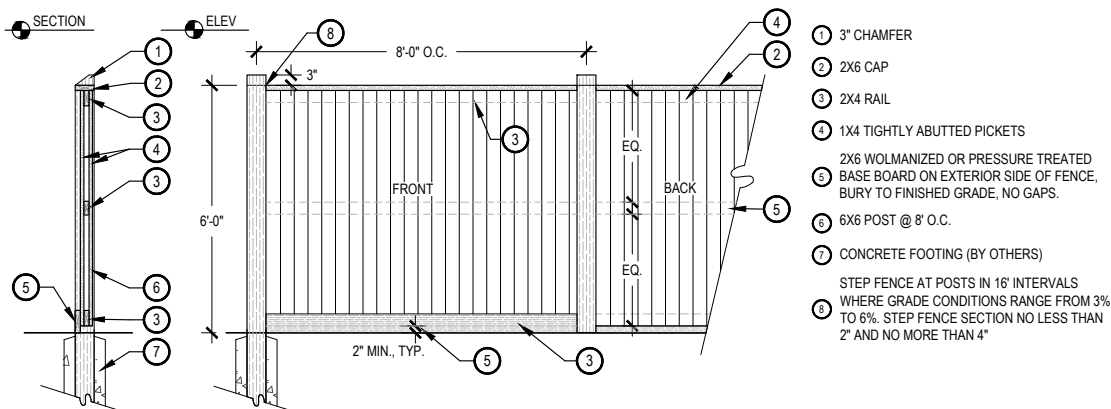
Details included in this document are the preferred character for residential fencing. Final construction may be an approved equal.

## Masonry Wall Styles & Sound Attenuation Fencing (8' HT. Maximum)



Masonry Walls shall be limited to E-470 frontage when used for sound attenuation purposes. Images included in this document are representative of character. Specific design shall be determined with future applications.

## Sound Attenuation Fence (8' HT. Maximum)



- NOTES:
1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
  2. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
  3. POSTS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HOURS BEFORE BOARDS ARE NAILED.
  4. ALL EXPOSED LUMBER SHALL BE STAINED DARK BROWN.



### SOUND ATTENUATION FENCE

Fence height to be 6' along arterial roadways and 8' along E-470

NOT TO SCALE

# 2.6 | LANDSCAPE CHARACTER

## 2.6.1 | Intent

Within the diverse range of land uses planned for Third Creek West, landscape character will be the common thread that creates a truly cohesive community. A consistent use of plant palettes and applications will help to define a sense of place and reflect the underlying character of the community.

*Establish iconic patterns  
in the landscape  
design based on linear  
forms, reminiscent of  
agricultural patterns,  
railroads, and runways*

## 2.6.2 | Standards & Guidelines

Planting forms and design will create an intrinsic link to the historic and eclectic roots of Commerce City while bringing contemporary techniques of environmental conservation and innovation to the forefront of design. The landscape will help connect the overall Third Creek West community through the use of linear forms, reminiscent of agricultural patterns, railroads, and street grids; all historic building blocks of Commerce City. These forms are intended to be iconic to the overall theme and should be highlighted and utilized throughout the community.

The plant palettes of Third Creek West bridge the space between historic and modern Commerce City. The landscape character provides a cohesive palette for all public community spaces and development sites, such as streets, alleys, parks, trails, plazas and individual sites.

To honor the spirit of Commerce City, existing trees, vegetation, and landforms will be preserved wherever possible and incorporated into the overall design.





### 2.6.2.1 | Third Creek West Plant Palette

The Third Creek West Plant Palette is derived from the Commerce City list of approved plants, but seeks to focus on a much smaller list of plants deemed appropriate for use at Third Creek West. Furthermore, featured plants are highlighted at the top of each plant type category on the [Plant Schedule, Table 2.6.2.1](#).

Plant species have been chosen based on their proven durability and adaptability to the Colorado climate as well as their water-conserving nature. All species are adapted to survive under full sun as well as strong winds. Grasses, low-water use shrubs and evergreens are chosen to help reduce the need to irrigate as well as provide vibrant landscapes throughout the year.

- Plants **shall** be grouped with other species that require similar watering needs
- Beds **shall** be designed so that irrigation can be applied efficiently
- Large turf areas **shall** be used sparingly with preference being areas proposed for recreational use
- The following [Plant Palette Character](#) and [Plant Schedule](#) **shall** be used to help establish and strengthen the Third Creek West community character
- Diversity of plant species within individual plant beds is encouraged to promote a stronger and more balanced ecosystem

To promote eco-diversity throughout the community a variety of plant species are encouraged. Those plants shown in [Exhibit 2.16](#) represent featured plants that may be used more frequently than others to promote consistency across varying neighborhoods. Following these images is a larger list of approved plant species.

## Exhibit 2.16 | Plant Palette Character



American Sentry  
Linden



Autumn Blaze  
Maple



Exclamation  
Planetree



Western Catalpa



Chanticleer Pear



Newport Plum



Ginnala Maple



Japanese Tree Lilac



Bristlecone Pine



Scotch Pine



Vanderwolf's  
Pyramid Pine



Austrian Pine

\*Private lot landscaping is not restricted to plant palette depicted.

## Exhibit 2.16 | Plant Palette Character



Emerald Arrow  
Bosnian Pine



Wichita Blue  
Juniper



Savin Juniper



Spreading Scots  
Pine



Rabbitbrush



Korean Lilac



Redtwig Dogwood



Russian Sage



Karl Foerster  
Feather Reed Grass



Purple Maiden  
Grass



Heavy Metal  
Switchgrass



Dancing Wind Big  
Bluestem

## Table 2.6.2.1 Plant Schedule

\*Indicates a Featured Plant species

### Canopy Trees

Autumn Blaze Maple*	Western Catalpa*	Exclamation Planetree*
American Sentry Linden*	Heritage Oak	Swamp White Oak
Flashfire Maple	Frontier Elm	Valley Forge Elm
Espresso Kentucky Coffeetree		

### Ornamental Trees

Ginnala Maple*	Newport Plum*	Chanticleer Pear*
Japanese Tree Lilac*	Shantung Maple	Thundercloud Plum
Spring Flurry Amelanchier	Shumard Oak	Regal Prince Oak
Highland Park Maple		

### Evergreen Trees

Bristlecone Pine*	Austrian Pine*	Scotch Pine*
Vanderwolf's Pyramid Pine*	Pinyon Pine	Ponderosa Pine
Bosnian Pine		

### Upright Evergreen Shrubs

Emerald Arrow Bosnian Pine*	Wichita Blue Juniper*	Columnar Austrian Pine
Rocky Mountain Juniper	Moonglow Juniper	Columnar Norway Spruce

### Evergreen Shrubs

Savin Juniper*	Spreading Scots Pine*	Chieftain Manzanita
----------------	-----------------------	---------------------

### Deciduous Shrubs

Redtwig Dogwood*	Korean Lilac*	Rabbitbrush*
Russian Sage*	Yellowtwig Dogwood	Tall Western Sagebrush
Pawnee Buttes Sandcherry	Gro Low Sumac	Cheyenne Privet
Creeping Three-Leaf Sumac		

### Ornamental Grass (Non-Fringe Plantings)

Karl Foerster Feather Reed Grass*	Purple Maiden Grass*	Heavy Metal Switchgrass*
Little Bunny Pennisetum		

### Ornamental Grass Fringe Mix

Karl Foerster Feather Reed Grass*	Purple Maiden Grass*	Dancing Wind Big Bluestem*
Prairie Blues Little Bluestem	Indiangrass	Little Bunny Pennisetum
Indian Warrior Bluestem	Shenandoah Switchgrass	Heavy Metal Switchgrass
Overdam Feather Reed Grass		

*Achieve a combined water efficiency and an enhanced aesthetic when using the customized landscape palette*

## Table 2.6.2.1 Plant Schedule, continued

\*Indicates a Featured Plant species

### Irrigated Native Seed Mix and Non-Irrigated Native Seed Mix

Western Wheatgrass	Big Bluestem	Side Oats Grama
Blue Grama	Switchgrass	Little Bluestem
Indiangrass	Regreen	

### Non-Irrigated Detention Basin Seed Mix

Blue Grama	Wooly Sedge	Nebraska Sedge
Creeping Spikerush	Baltic Rush	Switchgrass
Western Wheatgrass	Hardstem Bulrush	Prarie Cordgrass
Sand Dropseed	Regreen	

## 2.6.2.2 | Seed Mix Establishment & Maintenance

- All native turf areas **shall** be mown once a year between April 15th and May 15th, after the first two seasons of establishment
- During the establishment, native seed **shall** be mown prior to going to seed, to prevent establishment of weeds
- During establishment, native areas **shall** follow a typical maintenance schedule including best management practices for removal of weeds



Images included in this document are representative of character. Specific design shall be determined with future applications.

### 2.6.2.3 | Character - Residential Landscapes

Residential areas of Third Creek West **shall** be generally consistent in character with the overall landscape design intent. Plant materials used **shall** follow the Third Creek West Plant Palette (Section 2.6.2.1) and **shall** follow the standards provided below.

Development Type	Landscape Area	Trees	Shrubs	Material	Turf	Mulch	Tree Lawn	Additional Requirements
<b>Single-family detached less than 5,000 sf lot size</b>	Front and Side Yard	Min. of one tree (5)	Min. of four (Min. 50% must be evergreen)	Landscape area must contain a min. 75% live plants	Max. of 50% of landscape area	Min. one type required	Reference Streetscape Landscape Requirements	May be imposed by HOA
<b>Single-family detached 5,001 sf-7,999 sf lot size</b>	Front and Side Yard	Min. of one tree	Min. of six (Min. 50% must be evergreen)	Landscape area must contain a min. 75% live plants	Max. of 50% of landscape area	Min. one type required	Reference Streetscape Landscape Requirements	May be imposed by HOA
<b>Single-family detached greater than 8,000 sf lot size</b>	Front and Side Yard	Min. of two trees	Min. of twelve (Min. 50% must be evergreen)	Landscape area must contain a min. 75% live plants	Max. of 50% of landscape area	Min. one type required	Reference Streetscape Landscape Requirements	May be imposed by HOA
<b>Single-family attached (duplex)</b>	Front and Side Yard	Min. of deciduous tree and one evergreen tree per unit	Min. of six (Min. 50% must be evergreen)	Landscape area must contain a min. 75% live plants	Max. of 50% of landscape area	Min. one type required	Reference Streetscape Landscape Requirements	May be imposed by HOA
<b>Multi-family (3 or more units attached all lot sizes)</b>	Entire area	Min. of one deciduous tree and one evergreen tree per two units	Min. of six per two units (Min. 50% must be evergreen)	Landscape area must contain a min. 75% live plants	Max. of 50% of landscape area	Min. two types required	Reference Streetscape Landscape Requirements	May be imposed by HOA

#### RESIDENTIAL DEVELOPMENT LANDSCAPE REQUIREMENTS NOTES

1. If a lot is on a corner and equal to or greater than 50' in width, double the required number of trees and shrubs.
2. For lots greater than 24,000 sf in size, double the required number of shrubs in front and side yard.
3. For all uses, trees are required to be spaced per streetscape landscape standards, except for where driveways do not allow for this requirement to be met. In such cases, tree spacing may be increased or decreased so long as the required number of trees are installed.
4. Requirement **shall** be calculated so that requirement is met within 3 years of landscape installation.
5. Trees within tree lawns may be counted where utilities prohibit tree planting in front yard.

# 2.7 | PARKS & OPEN SPACE CHARACTER

## 2.7.1 | Intent

As part of the diverse land uses which allow Third Creek West to embody a vibrant and thriving community, parks and open spaces are a critical component in promoting connectivity and providing opportunities for community gathering and recreation. These spaces should reflect the overall Third Creek West character by curating an eclectic and nostalgic experience through traditional elements such as recreational fields, seating and gathering areas and/or similar elements, while also embracing contemporary design through materials and plantings.

## 2.7.2 | Standards & Guidelines

The following Standards and Guidelines **shall** be used to help establish character and minimum requirements for parks and open spaces within Third Creek West. Where these Design Guidelines fall silent, parks and open spaces **shall** meet minimum requirements as outlined in the Commerce City Code Section 21-7400. Specific park and open space design **shall** be determined at time of PUD Permit approval.

### 2.7.2.1 | Parks

- Parks **shall** be generally located as indicated according to the [Character Framework Plan](#) (Re. Section 1.6)
- The two parks shown per the [Character Framework Plan](#) **shall** be a minimum size of 2 acres each
- Each park **shall** include the following passive elements:
  - Multi-use turf field (min. size 20,000 sf)
  - Solid-roof shelter (min. size 300 sf)
  - Three (3) picnic tables
  - Three (3) benches, or alternative seating option such a block seating or seat wall
  - Two (2) trash receptacles
- Each park **shall** include one (1) of the following active elements:
  - Playground (min. size 1,600 sf)
  - Play alternative, as approved by the Community Development Director (ex. interactive art, sculptural earthwork suitable for climbing, other non-traditional playground elements)
  - Community garden or exhibition garden

- Dog park
- Fitness station(s)
- Basketball, tennis, pickleball or similar court (min. size per recommended industry standards)
- Indoor recreation center
- Permanent lawn-style games (ex. bags, bocce ball, croquet, shuffle board, or similar)
- Landscaping materials **shall** be in accordance with the non-residential landscape standards, however additional planting materials are encouraged, with an emphasis on canopy trees near seating and play areas
- A looped walking path **shall** be placed along the perimeter
- Children’s play areas **shall** be included in at least one of the common open space areas per residential filing, unless the residential development is targeted exclusively towards empty-nesters, singles, and seniors
- Connectivity into and within the park is encouraged through a network of walks and other walking surfaces within and outside of the right-of-way



### 2.7.2.2 | Open Space & Trails

- Open Space and Trails **shall** be generally located as indicated according to the [Character Framework Plan](#) (Re. Section 1.6). In general, common open space should be centrally located within developments to serve the area appropriately. Open space located along the fringes of the development or on remnant parcels is discouraged
- Open Space and Trails are encouraged to incorporate interpretive elements throughout. Interpretive elements may be any of the following:
  - Art installations
  - Interpretive signage
  - Work out stations
  - Dog agility elements



- Dog waste / pick up station
- Miniature libraries
- Other
- Trails **shall** provide activity nodes, or enlarged areas periodically throughout the trail system. Trail nodes are encouraged to occur approximately every quarter mile
- Trail nodes **shall** include the following elements:
  - One (1) bench or seating alternative
  - One (1) trash receptacle
  - One (1) interpretive element or similar as listed above



# **3 | ARCHITECTURE**

# 3.1 | ARCHITECTURE GENERAL

## 3.1.1 | Intent

The intent of the Third Creek West architecture Standards and Guidelines **shall** strike a balance between traditional and contemporary forms and materials, evoking nostalgia by paying homage to the history of Commerce City while promoting the eclectic and vibrant future it promises.

Architecture **shall** reflect a high-quality while striving to reduce negative impacts on the environment and promote a safe community for its residents and users.

*Use integrated architectural styles and characteristics to accommodate different building types and land uses*

## 3.1.2 | Standards & Guidelines

The purpose of these Standards and Guidelines is to create a Third Creek West specific style and character while still allowing a full range of uses and forms to thrive. Architecture may vary to best reflect the individual buildings and users, so long as they are compatible with the overall character of Third Creek West and meet all Architectural Design Standards within the Commerce City Land Development Code.



Images included in this document are representative of character. Specific design shall be determined with future applications.

### 3.1.2.1 | General Building Standards & Guidelines

All buildings within Third Creek West **shall** meet the following Standards and Guidelines.

- **Visual Interest.** All buildings **shall** create visual interest with four-sided architecture by using design elements such as variation in roof-lines, materials, colors, façade planes, and fenestrations. The use of these elements **shall** further promote eclectic variety among buildings or continue an established character within a given neighborhood.

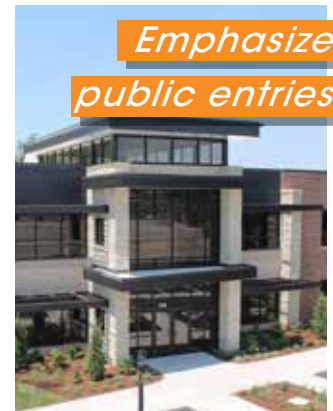


- **Texture and Relief.** All buildings **shall** feature texture and relief in façades visible from public rights of way or open space to avoid large, flat, unbroken wall planes and **shall** utilize sun angles to enhance changes in plane, material, and detail through light and shadow.
- **Façade Detail.** Façades fronting on streets **shall** incorporate detailing through the use of reveals, belt courses, cornices, expression of structure or architectural bays, recessed windows or doors, material or material module changes, color and/or texture differences, or strongly expressed mullions.



Images included in this document are representative of character. Specific design shall be determined with future applications.

- **Public Entries.** Primary public entries of buildings **shall** be emphasized through the use of differing colors or materials, arches, arcades, or other architectural elements.
- **Materials.** All primary buildings **shall** use materials that are durable, economically maintained, and of a quality that will retain their appearance over time.
- **Colors.** Colors within Third Creek West **shall** be reflective of traditional Commerce City palettes. Earth tones and colors naturally occurring in the Colorado environment are preferred. Bright colors **shall** be generally limited to smaller areas and used for accent. Large wall areas **shall** be subdued in color and not reflective. Monotonous color palettes across a neighborhood are strongly discouraged.
- **Massing and Scale.** Building designs **shall** utilize elements that emphasize human scale and promote walkable, pedestrian oriented environments. Variations in scale, size, and proportional differences are encouraged within mixed-use neighborhoods to create visual interest so long as the elements contribute to a unified and attractive aesthetic.
- **Roof Materials.** Roofs constructed of clay or concrete tiles, slate, masonite, or heavy-duty hail-resistant dimensional composition are preferred. Roofs of single-family detached and single-family attached buildings may be constructed of conventional asphalt (three-tab). Accent materials such as copper or other metals are encouraged within mixed-use neighborhoods.



Images included in this document are representative of character. Specific design shall be determined with future applications.

- **Land Use Compatibility.** Different land uses **shall** be designed to assimilate into the neighborhood through integrated architectural design styles and characteristics, similar or compatible colors, building materials, scale, form, site design, and limiting operational impacts. Reference [Buffering, Screening & Fencing \(Section 2.5\)](#) for additional information related to incompatible uses.
- **Phasing of Improvements.** Where phasing of construction is required, the phasing **shall** meet all fire and life safety requirements for public health and safety. Phasing **shall** also provide for adequate circulation and access. Phasing of a community **shall** be dependent on then-current market demands, however public amenities should be distributed between phases so as to meet the needs of the growing population.



Images included in this document are representative of character. Specific design shall be determined with future applications.

### 3.1.2.2 | Remodeling & Additions Standards & Guidelines

Remodels and additions to buildings within Third Creek West **shall** be subject to the following Standards & Guidelines.

- Additions to existing buildings **shall** be designed with consideration for the overall form of the resulting building. Additions should not mix styles or introduce incongruous design motifs to an existing building.
- Additions **shall** be designed to have similar massing volumes consistent with the original building with second story additions articulated such that not all exterior faces of the second story walls are directly above the first story walls.

- Remodeling projects and additions **shall** be designed such that the exterior appearance of the building demonstrates design integrity. This may be accomplished through:
  - Use of complimentary materials for exterior façades.
  - Use of window types that are similar in size, shape, and proportion of the windows in the original building.
  - Use of consistent roof materials and roof forms.

### 3.1.2.3 | Sustainable Building Practices

Builders are encouraged to utilize sustainable building practices including the following:

- Consideration of alternative power sources and water conservation techniques when designing and building homes. When solar power is implemented by the builder, care should be taken to ensure the solar power becomes an integral part of the exterior design of the home.
- Installation of photovoltaic or pre-plumbing and pre-wiring of homes for future installation to make it easier for homeowners to install desired systems at a lower cost. Ensure that the roof design will accommodate future installation of such systems.
- Residential structures should be constructed to meet at least one of the following insulation and energy efficient standards:
  - 20% of housing units meeting Department of Energy Zero Energy Ready Home National Program Requirements through LEED.
  - Installation of electric car charging station in garages.
  - Inclusion of high-efficiency lighting.
  - Low-energy cooling and heating systems.
  - Improved drywall, insulation, and sealing installation.
  - Cool roofs.
  - Dual-glazed windows with high-efficiency glazing.
- Builders should be encouraged to incorporate other energy efficient design elements. Such elements may include, but are not limited to:
  - On-site renewable energy systems.
  - Energy star appliances.
  - Natural ventilation window placement and home orientation.
  - Architectural shade elements such as overhangs and awnings.

# 3.2 | SINGLE-FAMILY RESIDENTIAL

## 3.2.1 | Intent

The historic single-family residential neighborhoods of Commerce City are an eclectic mix of housing products and architecture styles. The Single-Family Residential Architecture of Third Creek West will continue this eclecticism through Standards and Guidelines that allow a diversity of contemporary styles while featuring an array of nostalgic design elements.

## 3.2.2 | Standards & Guidelines

The following Standards and Guidelines are intended to promote variety and visual interest within the residential neighborhoods of Third Creek West. All single-family neighborhoods developed within Third Creek West **shall** adhere to the following Standards and Guidelines and Article VII, Division 6, of the Commerce City Land Development Code.

### 3.2.2.1 | Housing Diversity

A mix of housing products is a key element within the Third Creek West community. A variety of housing options **shall** be used in accordance with the Housing Diversity requirements of the Commerce City Land Development Code to accommodate an array of residents and promote a diverse and thriving community. The following distribution of housing types **shall** be used based on the number of lots.

Lots per Filing	Required Floor Plans*
Less than 100	6
100 or Greater	9

\*Each floor plan **shall** have at least 3 distinct elevations

### 3.2.2.2 | Housing Models

Each housing model **shall** provide and exhibit at least four (4) features that clearly and obviously distinguish them from other housing models. The following is a list of features that are credited as distinguishing elements.

- Massing (height, width, and depth of structure)
- Building form (ranch, tri-level, two-story, etc.)
- Roof type (mansard, hip, flat, gambrel, gable, dormers, etc.)
- Windows and doors (vertical or horizontal variation in placement or at least



two window/doors on the front façade or window shapes that are substantially different)

- Materials (use of different materials on the front façade)
- Garages (variation in the location and/or proportion of garage and garage doors)
- Porches (variation in the location, width, and proportion of front porches)

In addition to the requirement of variation in the elements listed above, variations in locations of housing models is also required and subject to the following:

- The same housing model with the identical street elevation design (or nearly identical) **shall** not be placed directly adjacent to one another or directly across the street from one another. "Across the street" is defined as lots that overlap each other when the side lot lines are extended across the street to the opposite lot. The same housing model used at the end of one block **shall** not be repeated on the first lot of the neighboring block. One elevation **shall** not be repeated more than each third house. Adding or deleting false shutters or similar types of minimal elevation changes should not suffice as one of the required distinct elevations.
- Identical or nearly identical floor plans mean that the layout, size, and function of the rooms are essentially the same. Identical or nearly identical street elevation design means little or no variation in the articulation of the façade, height or width or the façade, placement of the primary entrances, porches, number and placement of windows, and other major architectural features. It does not mean similar colors, materials, or small details.



*Diversity of housing is encouraged*

- Where the architecture warrants it, i.e. Farmhouse, Victorian, or Craftsman-style buildings, porches **shall** be an integral part of the building design. Porch design should include details, supports, and railings that keep with the overarching architectural style and compliment other elements of the building design.

### 3.2.2.3 | Building Orientation

Building orientation is an important element in creating an inviting and safe community, one that encourages eyes on the street and social engagement. All new buildings within Third Creek West **shall** meet the following requirements:

- Each residence **shall** have at least one primary pedestrian access (doorway) into the dwelling located on the elevation of the dwelling facing the front lot line of the property. Exceptions to this requirement include:
  - Residences located on corner lots, where the primary door may be facing an adjacent street, or
  - Residences with alley-access that do not have street frontage, but do front onto a park or park-like common open area. In such cases where the residence does not have street frontage, one primary doorway **shall** be oriented toward a pedestrian walk that connects to a street
- All main entrances of residential units **shall** be pronounced and provide relief from the weather. This can be accomplished through:
  - A covered stoop (minimum 6'x3')
  - A covered porch (minimum 6'x10')
  - A recessed entrance (minimum 3'x3')



Images included in this document are representative of character. Specific design shall be determined with future applications.

- Unless prohibited by terrain or other site constraints, the orientation of new lots **shall** repeat the predominant relationship of buildings to building and buildings to street along the same block face or the facing block face.
- Accessory structures **shall** be located in the rear or side yards and **shall** be finished in the same materials as the primary structure.
- Building setbacks and heights should be designed in accordance with the following guidelines in order to further the relationship between building orientation and the street:
  - To discourage long, unarticulated building façades, building footprint setbacks should vary along residential streets.
  - Houses should be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks to create a diverse street scene.
  - The taller portions of residential structures should be located away from adjoining properties, to provide height transitions between taller and lower buildings, and to maximize light, air, and privacy.
  - In instances where the prevailing development is single-story, the upper stories of residential structures should be stepped back along the public street frontage to maintain compatibility with the single-story character of the area.

### 3.2.2.4 | Single-Family Residential Building Façade Requirements

The following are minimum requirements for all single-family residential buildings within Third Creek West:

- Each of the façades of a house **shall** have at least two windows of 8 square feet on each side of the house.
- Each of the façades of a house **shall** have a minimum of two differentiated planes to relieve flat, monotonous façades
  - Differentiation may include incorporation of a feature such as a bay window, entry, porch, overhang, or chimney
  - All differentiation **shall** be a minimum of 12 inches in depth and a minimum of 5 feet in width
- For residences that side or back to a public street, park, open space, or golf course; said residences **shall** have an enhanced elevation. Enhanced elevations are characterized by a minimum of three (3) of the following elements:

- A change in the vertical or horizontal wall plane within 20 feet above grade;
- A change in the color or material of the wall;
- An increased masonry return;
- A bay window, porch or balcony;
- Structured transition from public to private areas using built elements such as arbors, low walls, trellis work, and/or similar elements integrated with plantings;
- Detailing the wall with reveals, belt courses, cornices, projections or other devices; or
- Shuttered windows or glazed doors to overlook the street, park, open space or golf course.
- An additional window on the second floor of a two-story residence.

### *Enhanced elevations*



Images included in this document are representative of character. Specific design shall be determined with future applications.

- Building color should be as authentic as possible when compared to the traditional color palette of the selected style. Consideration should be given to colors available in the contemporary market.
- Material breaks, transitions, and termination **shall** produce complimentary and clear definitions of separation while maintaining a prescribed color and materials theme.
- A variety of complimentary colors and material palettes **shall** be selected along any given street to avoid a monotonous appearance of multiple buildings of the same color and tones.
- Building materials that convey a sense of durability and permanence **shall** be used. Materials **shall** be installed so that building façades do not stain or deteriorate quickly.

- Exterior siding materials such as stucco, wood, masonry, tile, wood shingles, metal panels, or glass panels **shall** be used. Scored plywood, aluminum and vinyl siding **shall** be prohibited. For contemporary architectural styles, exceptions that require additional design review may be appropriate.

### 3.2.2.5 | Garage & Driveway Standards & Guidelines

Garages and driveways for residential development within Third Creek West **shall** be subject to the following Standards and Guidelines:

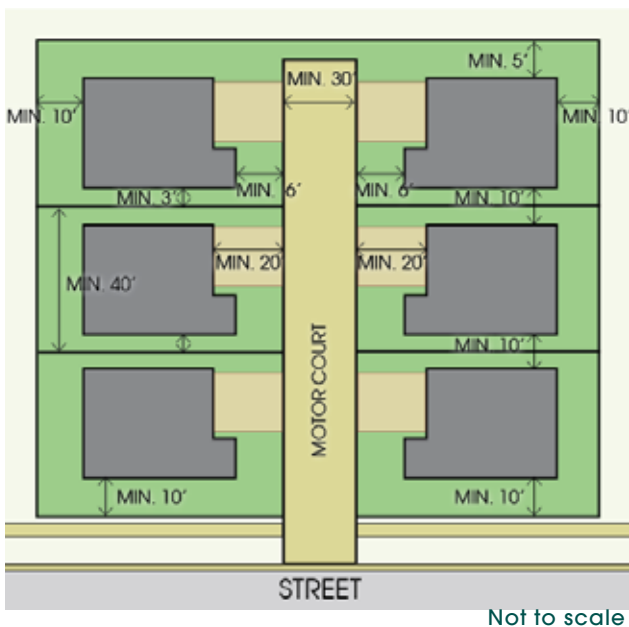
- Detached garages and other similar accessory structures **shall** be compatible in design, materials, and color with the primary residential structure. Such structures should also visually relate to the primary structure through the use of courtyards, garden walls, or other landscape elements.
- With the exception of motor court developments, residential garages within single-family detached developments **shall** be positioned to de-emphasize their visual impact.
- The number of curb cuts should be minimized in order to minimize interruptions in the sidewalk and maximize front yard landscaping.
- Curb cuts should be spaced in a manner that preserves on-street parking and minimizes paving.
- Gates for residential communities are strongly discouraged.
- The location of detached garages and carports should be thoughtfully considered. Continuous carports at building entrances are strongly discouraged.

### 3.2.2.6 | Motor Court Architecture Standards

Motor courts provide residences with safe and convenient access to front entries onto a shared private drive. The following Standards and Guidelines help promote this unique character element:

- Front entrances of homes **shall** be oriented to the motor court, adjacent public street, park, or open space
- When space is available, landscaping **shall** be provided in the motor court
- Homes that side onto public right-of-way **shall** have enhanced architectural features consistent with front elevation requirements
- Further details on materials as such conditions relate to the public street is detailed in the Circulation & Streetscapes chapter of these Design Guidelines.

Exhibit 2.17 | Motor Court (Typical)



Images included in this document are representative of character. Specific design shall be determined with future applications.

# 4 | APPENDIX

# 4.1 | Design Review Committee Evaluation Form

## Application Information

Submitted Date: \_\_\_\_\_  
Revision Date: \_\_\_\_\_  
Project Name: \_\_\_\_\_ Filing No. \_\_\_\_\_  
Applicant: \_\_\_\_\_  
Applicant Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

### Design Review Committee Review Status / Determination

Third Creek West Design Review Committee Status for Application:

\_\_\_\_\_  
Date: \_\_\_\_\_

#### Documents Reviewed

- \_\_\_ Site Plan
- \_\_\_ Architectural Elevations
- \_\_\_ Landscape Plan
- \_\_\_ Lighting Plan
- \_\_\_ Site Furnishings Package
- \_\_\_ Monumentation Plan
- \_\_\_ Other



# Design Standards & Guidelines

The proposed application has been evaluated based on compliance and consistency with the Third Creek West Design Standards and Guidelines and Third Creek West PUD Zone Document compliance.

**Meets Requirements:**  
Y(yes) or N(no)  
(Not applicable = NA)

## 1. Design Intent

- A. Generally meets Third Creek West design intent?  
(Character is consistent with design criteria outlined in these Design Standards and Guidelines and is complimentary to any existing development within the community.)

**Comments:**

## 2. Circulation & Streetscapes

(As applicable- meets intent, standards and guidelines as outlined in Section 2.1)

- A. Intent
- B. Standards & Guidelines
- i. Arterial Road Streetscape Character
  - ii. Residential Collector Streetscape Character
  - iii. Residential Local Streetscape Character
  - iv. Motor Court Character
  - v. Alley Character
  - vi. Local Commercial Streetscape Character
  - vii. Alternate Collector Streetscape Character
  - vii. Other (identify): \_\_\_\_\_

**Comments:**

**Meets Requirements:**  
Y(yes) or N(no)  
(Not applicable = NA)

**3. Site Furnishings / Urban Design Features**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.2)

- A. Intent
- B. Standards & Guidelines
  - i. Bicycle Racks
  - ii. Pet Pick-Up Stations
  - iii. Planters
  - iv. Seating
  - v. Trash & Recycling Receptacles
  - vi. Umbrellas
  - vii. Other (identify)
- C. Residential Furnishings and Features - Character
- D. Open Space Furnishings and Features - Character

**Comments:**

**4. Lighting**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.3)

- A. Intent
- B. Standards & Guidelines
  - i. Residential Lighting - Character
  - ii. Parks & Trails Lighting - Character

**Comments:**

**Meets Requirements:**  
Y(yes) or N(no)  
(Not applicable = NA)

**5. Monumentation, Entries, Signage & Murals**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.4)

A.	Intent	<input type="text"/>
B.	Standards & Guidelines	
	i. Types of Materials	<input type="text"/>
	ii. Monumentation Hierarchy	<input type="text"/>
	a. Primary Monumentation	<input type="text"/>
	b. Secondary Monumentation	<input type="text"/>
	c. Tertiary Monumentation	<input type="text"/>
	iii. Entry Classifications	<input type="text"/>
	a. Neighborhood Entry Character	<input type="text"/>
	iv. Wayfinding & Interpretive Signage	<input type="text"/>
	v. Development Marketing Signage	<input type="text"/>
	vi. Murals	<input type="text"/>

**Comments:**

**6. Buffering, Screening & Fencing**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.5)

A.	Intent	<input type="text"/>
B.	Standards & Guidelines	
	i. Types of Buffering & Screening	<input type="text"/>
	ii. Fencing	<input type="text"/>
	a. Fencing and Wall Standards	<input type="text"/>

**Comments:**

**Meets Requirements:**  
Y(yes) or N(no)  
(Not applicable = NA)

**7. Landscape Character**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.6)

- A. Intent
- B. Standards & Guidelines
  - i. Third Creek West Plant Palette
    - a. Plant Palette Character
    - b. Plant Schedule
  - ii. Seed Mix Establishment & Maintenance
  - iii. Residential Landscapes - Character

**Comments:**

**8. Parks & Open Space Character**

(As applicable- meets intent, standards and guidelines as outlined in Section 2.7)

- A. Intent
- B. Standards & Guidelines
  - i. Parks
  - ii. Open Space & Trails

**Comments:**

**Meets Requirements:**  
Y(yes) or N(no)  
(Not applicable = NA)

**8. Architecture General**

(As applicable- meets intent, standards and guidelines as outlined in Section 3.1)

- A. Intent
- B. Standards & Guidelines
  - i. General Building Standards & Guidelines
  - ii. Remodeling & Additions Standards & Guidelines
  - iii. Sustainable Building Practices

**Comments:**

**9. Single-Family Residential**

(As applicable- meets intent, standards and guidelines as outlined in Section 3.2)

- A. Intent
- B. Standards & Guidelines
  - i. Housing Diversity
  - ii. Housing Models
  - iii. Building Orientation
  - iv. Single-Family Residential Building Facade Requirements
  - v. Garage & Driveway Standards & Guidelines

**Comments:**






# 220204-TCW-Design Guidelines

Final Audit Report

2022-02-10

Created:	2022-02-10
By:	Katelyn Memmer (kmemmer@c3gov.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAVfGElwahMxOXwbFFOyhg6XvZkAu5GhOI

## "220204-TCW-Design Guidelines" History

-  Document created by Katelyn Memmer (kmemmer@c3gov.com)  
2022-02-10 - 8:20:04 PM GMT
-  Document emailed to James Tolbert (jtolbert@c3gov.com) for signature  
2022-02-10 - 8:21:40 PM GMT
-  Email viewed by James Tolbert (jtolbert@c3gov.com)  
2022-02-10 - 10:13:15 PM GMT
-  Document e-signed by James Tolbert (jtolbert@c3gov.com)  
Signature Date: 2022-02-10 - 10:13:32 PM GMT - Time Source: server
-  Agreement completed.  
2022-02-10 - 10:13:32 PM GMT