

REUNION VILLAGE 8 FILING NO. 1, AMENDMENT NO. 1

A REPLAT OF TRACT A, REUNION VILLAGE 8 FILING NO. 1, LOCATED WITHIN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 5

CASE# _____

DEDICATION STATEMENT

KNOW ALL MEN BY THESE PRESENTS THAT CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION AND THE CITY OF COMMERCE CITY BEING THE OWNERS OF THAT PART OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED HEREIN (SEE SHEET 2 FOR LEGAL DESCRIPTION) HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS, AND STREETS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF REUNION VILLAGE 8 FILING NO. 3, AND DO HEREBY GRANT TO THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, FOR PUBLIC UTILITY, CABLE TV, AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY COMMERCE CITY.

EXECUTED THIS _____ DAY OF _____ A.D., 2022.

CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION

BY: _____

TITLE: _____

STATE OF _____)
COUNTY OF _____) SS
CITY OF _____)

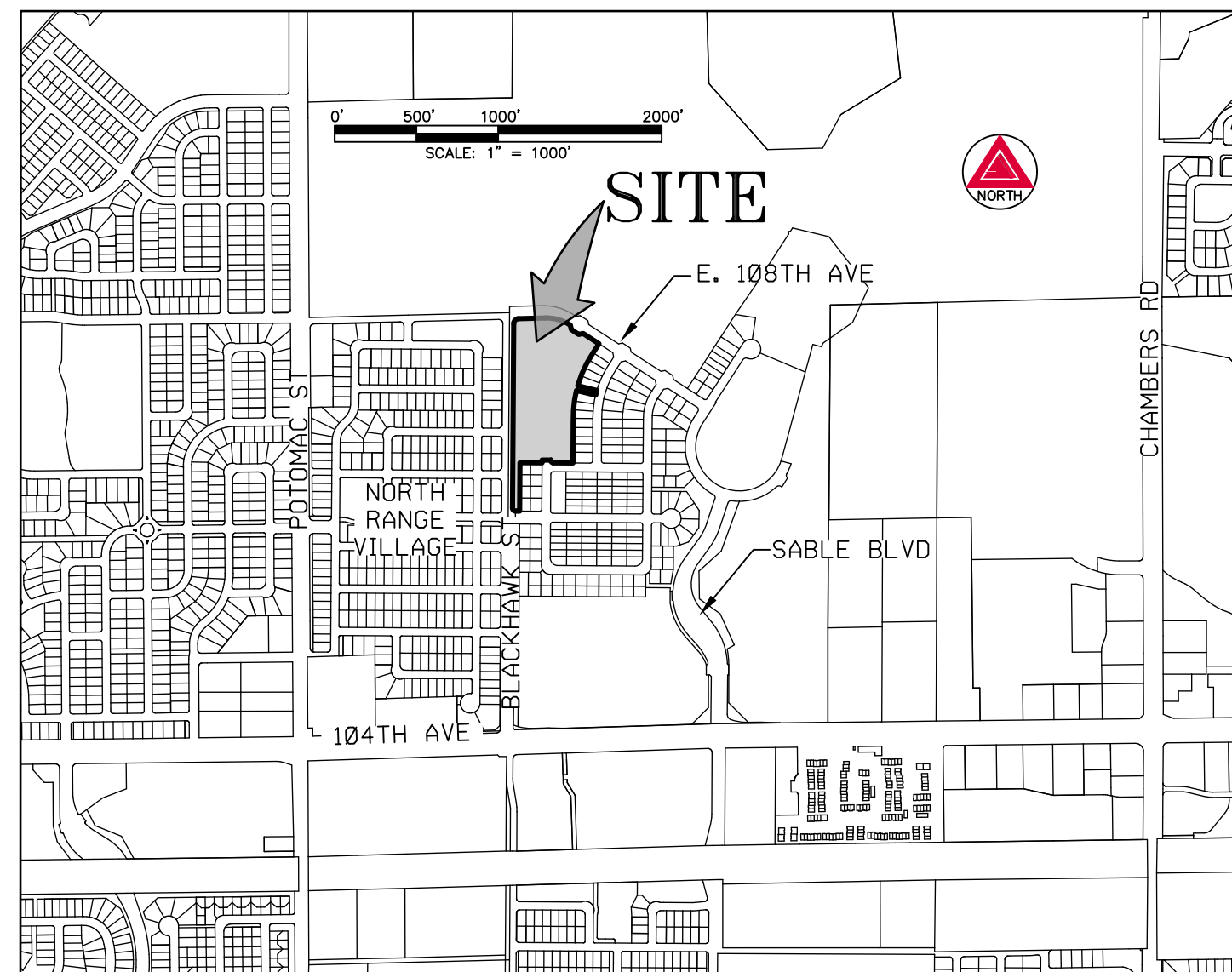
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022

BY _____, AS _____, OF CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



VICINITY MAP
SCALE: 1"=1000'

CONSENT BY LENDER

KNOW ALL MEN BY THESE PRESENTS THAT SHEA HOMES LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP ("MORTGAGEE"), BEING THE MORTGAGEE OF THAT CERTAIN MORTGAGE, SECURITY AGREEMENTS AND ASSIGNMENT OF RENTS RECORDED AUGUST 21, 2017, AT INSTRUMENT NO. 2017000072560 AND 2017000072558 IN THE RECORDS OF THE OFFICE OF THE CLERK AND RECORDER OF ADAMS COUNTY, COLORADO, AS THE SAME MAY HAVE BEEN AND HEREAFTER MAY BE AMENDED FROM TIME TO TIME (COLLECTIVELY, THE "MORTGAGE"), AND THE LENDER UNDER ANY AND ALL OTHER DOCUMENTS EXECUTED IN CONNECTION WITH THE LOAN EVIDENCED BY THE MORTGAGE, AS THE SAME MAY HAVE BEEN AND HEREAFTER MAY BE AMENDED FROM TIME TO TIME (COLLECTIVELY, THE "LOAN DOCUMENTS"), HEREBY CONSENTS TO, AND RATIFIES AND CONFIRMS, THIS PLAT, AND AGREES THAT THE RIGHT, TITLE, LIEN AND INTEREST OF MORTGAGEE IN AND TO THE PROPERTY AS SHOWN HEREON UNDER AND PURSUANT TO THE MORTGAGE AND THE LOAN DOCUMENTS SHALL BE, AND HEREBY ARE, SUBORDINATE TO THIS PLAT TO THE EFFECT THAT, IN THE EVENT THAT PURSUANT TO THE FORECLOSURE OF THE MORTGAGE OR ANY OF THE OTHER LOAN DOCUMENTS OR ANY CONVEYANCE IN LIEU THEREOF, MORTGAGEE OR ANY OTHER PARTY SHALL SUCCEED TO THE INTEREST OF THE OWNER OF THE PROPERTY SHOWN HEREON, OR ANY PORTION THEREOF, THEN MORTGAGEE OR OTHER SUCH PARTY SHALL RECOGNIZE AND BE BOUND BY THIS PLAT.

EXECUTED THIS _____ DAY OF _____, A.D. 2022.

SHEA HOMES LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP

BY: _____

NAME: _____
AUTHORIZED AGENT

BY: _____

NAME: _____
AUTHORIZED AGENT

STATE OF _____)
COUNTY OF _____) SS
CITY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY

OF _____, A.D. 2022 BY _____ AS _____ FOR SHEA HOMES LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

STATE OF _____)
COUNTY OF _____) SS
CITY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY

OF _____, A.D. 2022 BY _____ AS _____ FOR SHEA HOMES LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

CONSENT BY LENDER

KNOW ALL MEN BY THESE PRESENTS THAT DIBC BUFFALO HILLS RANCH, LLC AND FFP-DIA, LLC (COLLECTIVELY, "MORTGAGEE"), BEING THE MORTGAGEE OF THAT CERTAIN MORTGAGE, SECURITY AGREEMENT AND ASSIGNMENT OF RENTS RECORDED AUGUST 21, 2017, AT INSTRUMENT NO. 2017000072552 AND 2017000072554 IN THE RECORDS OF THE OFFICE OF THE CLERK AND RECORDER OF ADAMS COUNTY, COLORADO, AS THE SAME MAY HAVE BEEN AND HEREAFTER MAY BE AMENDED FROM TIME TO TIME (COLLECTIVELY, THE "MORTGAGE"), AND THE LENDER UNDER ANY AND ALL OTHER DOCUMENTS EXECUTED IN CONNECTION WITH THE LOAN EVIDENCED BY THE MORTGAGE, AS THE SAME MAY HAVE BEEN AND HEREAFTER MAY BE AMENDED FROM TIME TO TIME (COLLECTIVELY, THE "LOAN DOCUMENTS"), HEREBY CONSENTS TO, AND RATIFIES AND CONFIRMS, THIS PLAT, AND AGREES THAT THE RIGHT, TITLE, LIEN AND INTEREST OF MORTGAGEE IN AND TO THE PROPERTY AS SHOWN HEREON UNDER AND PURSUANT TO THE MORTGAGE AND THE LOAN DOCUMENTS SHALL BE, AND HEREBY ARE, SUBORDINATE TO THIS PLAT TO THE EFFECT THAT, IN THE EVENT THAT PURSUANT TO THE FORECLOSURE OF THE MORTGAGE OR ANY OF THE OTHER LOAN DOCUMENTS OR ANY CONVEYANCE IN LIEU THEREOF, MORTGAGEE OR ANY OTHER PARTY SHALL SUCCEED TO THE INTEREST OF THE OWNER OF THE PROPERTY SHOWN HEREON, OR ANY PORTION THEREOF, THEN MORTGAGEE OR SUCH OTHER PARTY SHALL RECOGNIZE AND BE BOUND BY THIS PLAT.

EXECUTED THIS _____ DAY OF _____, A.D. 2022.

DIBC BUFFALO HILLS RANCH, LLC. A COLORADO LIMITED LIABILITY COMPANY

BY: _____
L.C. FULENWIDER, III, ATTORNEY-IN-FACT

FFP-DIA, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
L.C. FULENWIDER, III, ATTORNEY-IN-FACT

STATE OF _____)
COUNTY OF _____) SS
CITY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022 BY L.C. FULENWIDER, III AS ATTORNEY-IN-FACT FOR DIBC BUFFALO HILLS RANCH, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

STATE OF COLORADO)
COUNTY OF _____) SS
CITY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022, BY L.C. FULENWIDER, III, AS ATTORNEY-IN-FACT FOR FFP-DIA, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A LICENSED LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

ANTHONY K. PEALL, LICENSED PROFESSIONAL LAND SURVEYOR
COLORADO P.L.S. No. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1, LITTLETON, CO 80122

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

FOR REVIEW

CITY STAFF CERTIFICATE

APPROVED BY THE CITY ENGINEER OF THE CITY OF COMMERCE CITY THIS _____

DAY OF _____, A.D. 2022.

CITY ENGINEER: _____

APPROVED BY THE DIRECTOR, DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. 2022.

DIRECTOR, COMMUNITY MAYOR DEVELOPMENT: _____

ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN

THE STATE OF COLORADO, AT _____ M. ON THE _____ DAY OF _____, A.D., 2022

COUNTY CLERK AND RECORDER

BY: _____

DEPUTY

RECEPTION NO. _____

AZTEC
CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
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Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 19322-06
Drawn By: RBA

DATE OF PREPARATION:	04/18/2022
SCALE:	N/A
SHEET 1 OF 5	

REUNION VILLAGE 8 FILING NO. 1, AMENDMENT NO. 1

A REPLAT OF TRACT A, REUNION VILLAGE 8 FILING NO. 1, LOCATED WITHIN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 5

LEGAL DESCRIPTION

TRACT A, REUNION VILLAGE 8 FILING NO. 1 AS RECORDED UNDER RECEPTION NO. _____ IN THE OFFICIAL RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, BEING A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO. CONTAINING AN AREA OF 8.422 ACRES, (366,855 SQUARE FEET), MORE OR LESS.

LAND SUMMARY CHART

TRACT	AREA (S.F.±)	AREA (AC)	OPEN SPACE (AC)	USE	OWNERSHIP	MAINTAINED BY
A	76,914	1.766	1.766	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
B	7,754	0.178	0.178	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
C (PRIVATE ROW)	44,320	1.017	0.000	ACCESS, UTILITIES, DRAINAGE, PRIVATE ROW	RMD	RMD
TOTAL OPEN SPACE			1.944			
TOTAL TRACT AREA	128,988	2.961				
TOTAL LOT AREA	237,867	5.641				
PUBLIC ROW AREA	0	0.000				
TOTAL SITE AREA	366,855	8.422				

RMD = REUNION METROPOLITAN DISTRICT

THIS SUBDIVISION PLAT CONTAINS 45 LOTS AND 3 TRACTS

NOTES

- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUE 18-4-508, C.R.S.
- THIS SURVEY RELIES ON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY ORDER NO. _____, WITH AN EFFECTIVE DATE OF _____, 20__ AT 5:00 P.M. NO TITLE SEARCH WAS MADE BY AZTEC CONSULTANTS, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. ALL TAX INFORMATION, LIENS, LEASES, DEEDS OF TRUST, RELEASES, CLAIMS, ASSIGNMENTS, ASSUMPTIONS, TERMS, AGREEMENTS, MOTIONS, DECLARATIONS, PROVISIONS, CONDITIONS, RESERVATIONS, WATER AND MINERAL RIGHTS AND OBLIGATIONS FOR THE PROPERTY SHOWN HEREON ARE REFLECTED IN SAID TITLE COMMITMENT.
- BASIS OF BEARINGS: BEARINGS ARE ASSUMED AND ARE BASED ON THE WEST LINE OF EAST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO AS BEARING SOUTH 00°22'46" WEST, A DISTANCE OF 2629.42 FEET BETWEEN THE MONUMENTS SHOWN HEREON.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- FLOOD PLAIN NOTE: THE SITE AS PLATTED HEREON IS LOCATED WITHIN OTHER AREAS - FLOOD ZONE "X". DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR ADAMS COUNTY, COLORADO, MAP NUMBER 08001C0339H, WITH AN EFFECTIVE DATE OF MARCH 5, 2007.
- THERE SHALL BE NO INTERFERENCE WITH THE ESTABLISHED LOT GRADING PLAN PURSUANT TO THE APPROVED CONSTRUCTION PLANS ON FILE WITH THE CITY ENGINEER. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE LOT GRADING PLAN IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS. THE CITY OF COMMERCE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT THE LOT GRADING AT ANY TIME. IF THE LOT DRAINAGE IS NOT PROPERLY MAINTAINED, THE CITY MAY REQUIRE THE NECESSARY MAINTENANCE TO RESOLVE ANY DEVIATION FROM THE APPROVED LOT GRADING PLANS.
- NO EXISTING OIL AND GAS OPERATIONS, DRILLING WINDOWS, WELL SITES AND FUTURE OIL AND GAS OPERATIONS ARE PLANNED FOR THE SITE.
- PUBLIC WATER AND SEWER ARE TO BE PROVIDED BY SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT.
- NOTICE IS HEREBY GIVEN:
 - ANY CONSTRUCTION ACROSS AN EXISTING SUBDIVISION LOT LINE IS IN VIOLATION OF THE SUBDIVISION REGULATION OF THE CITY, EXCEPT AS HEREIN AUTHORIZED.
 - ANY DIVISION OF AN EXISTING LOT, OR CONVEYANCE OF PART OF AN EXISTING SUBDIVISION LOT, IS IN VIOLATION OF THIS ARTICLE UNLESS (1) APPROVED BY THE CITY OF COMMERCE CITY; OR (2) IS EXCEPTED FROM THE DEFINITION OF "SUBDIVISION" AS PROVIDED BY THE SUBDIVISION REGULATIONS.
 - THIS PLAT DOES NOT ESTABLISH WATER AVAILABILITY FOR THE SUBJECT PROPERTY. WATER AND WASTEWATER SERVICE IS PROVIDED BY THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT. INVESTIGATION OF THE CURRENT WATER AVAILABILITY FOR THE PROPERTY AND ACQUISITION OF ANY ADDITIONAL WATER REQUIRED FOR DEVELOPMENT OF THE PROPERTY SHALL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS. DEVELOPMENT APPROVALS WILL NOT BE GRANTED WITHOUT PROOF OF WATER AVAILABILITY.
- NO BUILDING OR STRUCTURE WILL BE CONSTRUCTED IN THE DETENTION AREA AND NO CHANGES OR ALTERATIONS AFFECTING THE HYDRAULIC CHARACTERISTICS OF THE DETENTION AREA WILL BE MADE WITHOUT THE APPROVAL OF THE CITY.
- UTILITY EASEMENTS ARE DEDICATED TO THE CITY OF COMMERCE CITY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.
- AN ACCESS EASEMENT IS HEREBY GRANTED TO THE CITY OF COMMERCE CITY OVER AND ACROSS THOSE EASEMENTS DEPICTED WITHIN TRACT C AS SHOWN HEREON AND IN ACCORDANCE WITH THE DRAINAGE EASEMENT AGREEMENT UNDER RECEPTION NO. _____ FOR THE PURPOSE OF ACCESSING, MAINTAINING, AND REPAIRING STORM WATER MANAGEMENT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND RIPRAP (COLLECTIVELY, THE FACILITIES).
- THE PRIVATE STORM WATER FACILITIES PROPOSED WITHIN TRACTS A-C SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER OF SUCH TRACTS AND SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. IN THE EVENT THAT SAID CONSTRUCTION AND MAINTENANCE IS NOT PERFORMED BY SAID OWNER, THE CITY OF COMMERCE CITY SHALL HAVE THE RIGHT TO ENTER SUCH AREA AND PERFORM THE NECESSARY WORK, THE COST OF WHICH, SAID OWNER, HEIRS, SUCCESSORS, AND ASSIGNS AGREES TO PAY UPON BILLING.
- PRIVATE STREETS: THE OWNER IS RESPONSIBLE FOR INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING NO PARKING/FIRE LANE SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND FIRE DISTRICT. THE OWNER SHALL ALSO MAINTAIN SAID SIGNAGE.
- TRACT C AS SHOWN HEREON IS COMPRISED OF PRIVATE STREETS AND SHOULD BE CONSIDERED A PUBLIC ACCESS EASEMENT AND AN EMERGENCY ACCESS EASEMENT IN ITS ENTIRETY.
- FENCE EASEMENTS ARE HEREBY DEDICATED TO RMD DISTRICT FOR FENCE MAINTENANCE PURPOSES.
- THIS PLAT IS PART OF THE PUD #3262 REUNION AMENDMENT #5 OF BUFFALO HILLS RANCH AS RECORDED AT RECEPTION NO. 2019000050788.

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC CONSULTANTS, INC. 300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com AzTec Proj. No.: 19322-06 Drawn By: RBA	DATE OF PREPARATION:	04/18/2022
	SCALE:	N/A
SHEET 2 OF 5		

REUNION VILLAGE 8 FILING NO. 1, AMENDMENT NO. 1

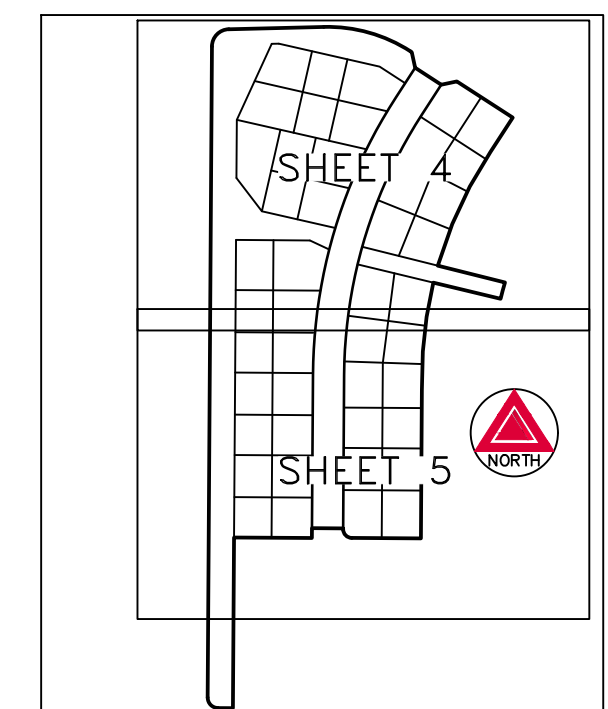
A REPLAT OF TRACT A, REUNION VILLAGE 8 FILING NO. 1, LOCATED WITHIN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 5

MONUMENT SYMBOL LEGEND

- SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ FOUND SECTION CORNER AS SHOWN HEREON

LINE	BEARING	LENGTH
L1	S57°04'32"E	2.61'
L2	S12°02'26"E	27.47'
L3	S56°59'07"E	54.00'
L4	N77°53'21"E	27.59'
L5	S57°04'32"E	115.50'
L6	S32°55'28"W	71.00'
L7	S30°49'49"W	69.91'
L8	S25°08'28"W	71.63'
L9	S19°07'26"W	76.60'
L10	S75°57'31"E	120.09'
L11	N76°26'55"W	120.00'
L12	S11°05'48"W	60.48'
L13	S06°11'13"W	60.48'
L14	S01°24'39"W	67.13'
L15	N00°22'46"E	1.53'
L16	N89°37'14"W	54.00'
L17	S00°22'46"W	17.06'

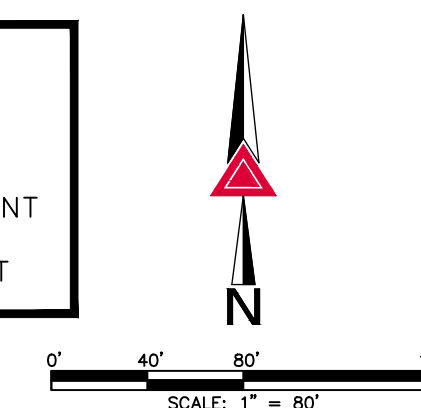
CURVE	DELTA	RADIUS	LENGTH	CHD BG	CHD DIST
C1	88°13'58"	30.00'	46.20'	N44°29'45"E	41.77
C2	34°18'44"	265.00'	158.70'	S74°13'54"E	156.34
C3	2°52'00"	586.00'	29.32'	S14°59'05"W	29.32
C4	90°00'00"	15.00'	23.56'	N44°37'14"W	21.21



KEY MAP
N.T.S.

LEGEND

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- A.E. = ACCESS EASEMENT

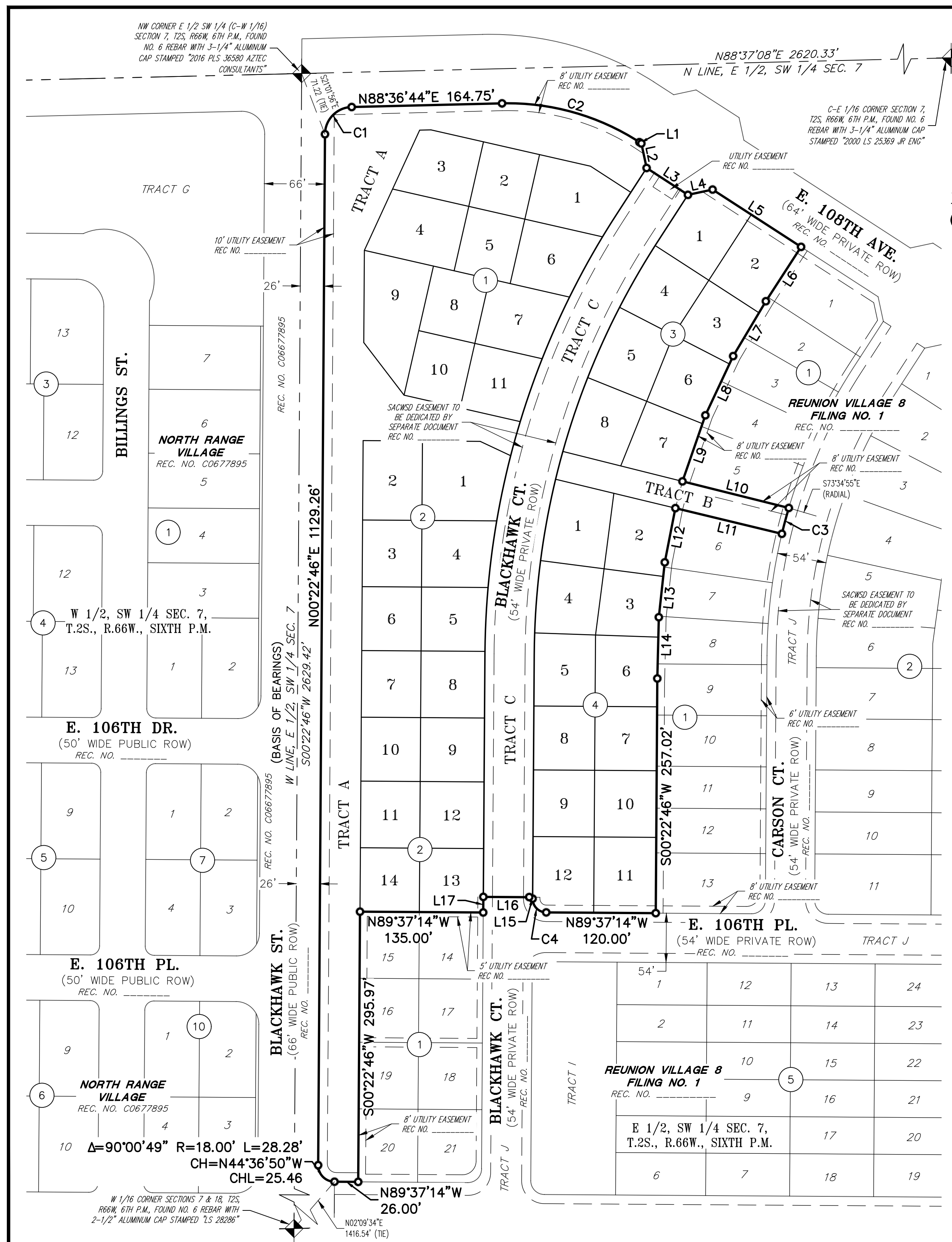


FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

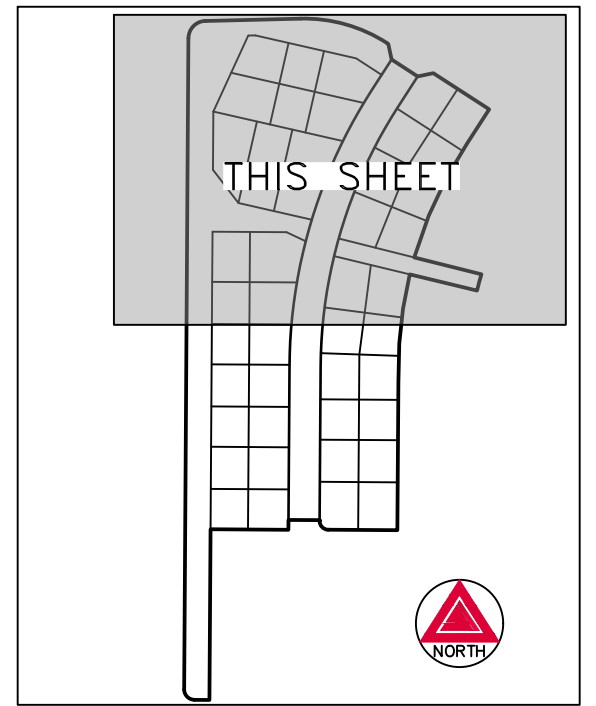
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Phone: (303) 713-1898
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www.aztecconsultants.com
AzTec Proj. No.: 19322-06
Drawn By: RBA

DATE OF PREPARATION:	04/18/2022
SCALE:	1" = 80'
SHEET 3 OF 5	



REUNION VILLAGE 8 FILING NO. 1, AMENDMENT NO. 1

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SHEET 4 OF 5



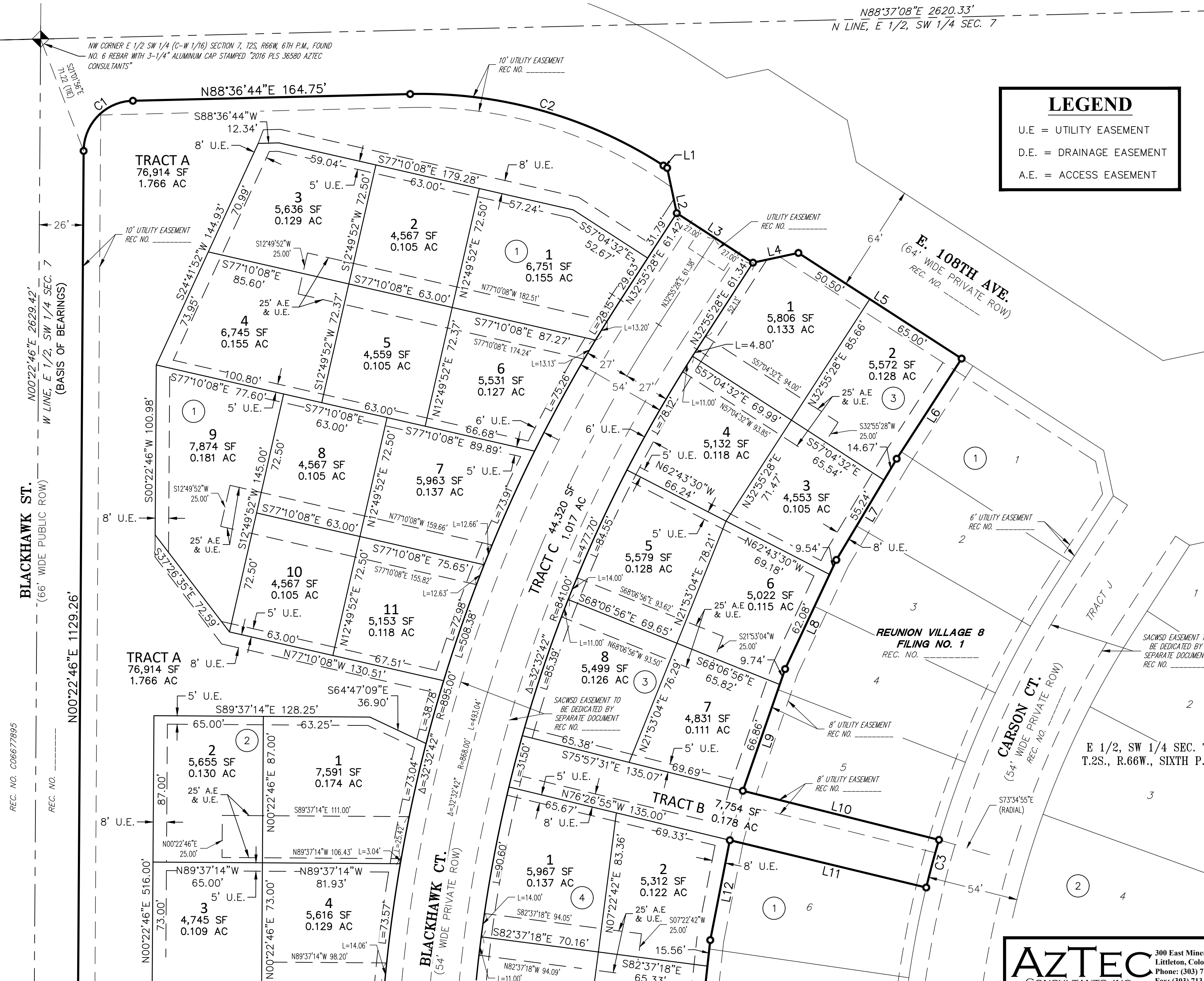
KEY MAP
N.T.S.

SEE SHEET 3
FOR LINE AND
CURVE TABLES

SEE SHEET 3 FOR
MONUMENT
LEGEND

LEGEND

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- A.E. = ACCESS EASEMENT



SEE SHEET 5

SEE SHEET 5

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Drawn By: RBA

DATE OF PREPARATION:	04/18/2022
SCALE:	1" = 40'
SHEET 4 OF 5	

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

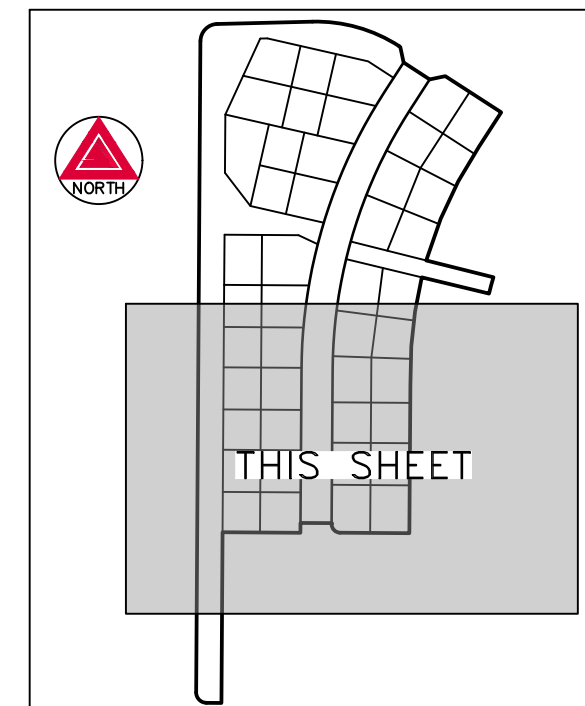
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SEE SHEET 4

SHEET 5 OF 5

SEE SHEET 4



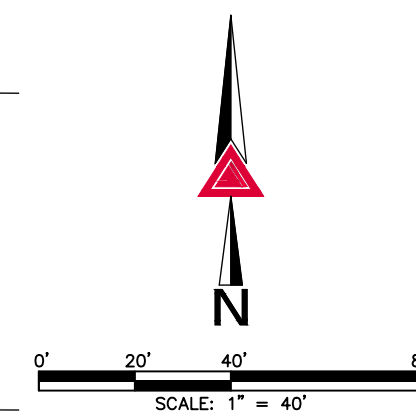
KEY MAP
N.T.S.

SEE SHEET 3
FOR LINE AND
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LEGEND

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- A.E. = ACCESS EASEMENT



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



SEE SHEET 2

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SCALE:	1" = 40'
SHEET 5 OF 5	