

DEVELOPMENT PLAN

KUM & GO GAS AND C-STORE

PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO

APPLICANT

KUM & GO
1459 GRAND AVENUE
DES MOINES, IOWA 50309
CONTACT: DAN GARNEAU
P: (515) 457-6392

ENGINEERING CONSULTANT

ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
501 S CHERRY STREET, SUITE 300
GLENDALE, CO 80246
CONTACT: JOEL TOMPKINS
P: (303) 725-9962

ARCHITECT

BRR ARCHITECTURE
8131 METCALF AVE, SUITE 300
OVERLAND PARK, KS 66204

LANDSCAPE ARCHITECT

VALERIAN
970 YUMA STREET, SUITE 130
DENVER, CO 80204
CONTACT: NATHANIEL RONEY
P: (303) 347-1200

FIRE PROTECTION

SOUTH ADAMS COUNTY FIRE DEPARTMENT
6050 SYRACUSE STREET
COMMERCE CITY, CO 80022
CONTACT: RANDALL WEIGUM
P: (303) 288-0835

WATER & SANITARY SEWER

SOUTH ADAMS COUNTY WATER &
SANITATION DISTRICT
6595 EAST 70th AVENUE
COMMERCE CITY, CO 80037
CONTACT: JEFF NELSON
P: (303) 288-2646

STORM DRAINAGE

CITY OF COMMERCE CITY
PUBLIC WORKS DEPARTMENT
8602 ROSEMARY STREET
COMMERCE CITY, CO 80022
P: (303) 289-8176

ELECTRIC/NATURAL GAS

XCEL ENERGY
2070 S. VALENTIA ST.
DENVER, CO 80231
CONTACT: MICHELLE FORD
P: (303) 671-3928
LUKE GALLEGOS 303-416-2437



VICINITY MAP

SCALE: 1" = 500'

PROJECT DATA

GENERAL

ADDRESS: 7160 EUDORA DRIVE
LAND USE: GAS STATION/CONVENIENCE FOOD SALES
BUILDING AREA: 3,968 SQ. FT. (C-STORE)
CONSTRUCTION TYPE: VB
OCCUPANCY: M
ESTIMATED No. EMPLOYEES: 16
NUMBER OF DISPENSERS: 8
PROJECT DESCRIPTION: THE PROPOSED DEVELOPMENT PLANS DETAIL THE CONSTRUCTION OF A CONVENIENCE STORE, GAS STATION, AND FUEL CANOPY WITH ASSOCIATED PARKING AND SITE WORK.
TOTAL DEVELOPMENT PLAN AREA: 2.309 ACRES

ZONING EXISTING: I-2
PROPOSED: I-1

SETBACKS, ZONING DISTRICT I-1

FRONT YARD MIN. 20'
MAX. 75'
SIDE YARD MIN. 5' (INTERIOR)
MIN. 15' (CORNER)
MAX. N/A
CANOPY MIN. 40'
MAX. N/A

CANOPY SETBACK

ALL PROPERTY LINES MIN. 40'
MAX. N/A

COMMERCIAL BUILDING SETBACKS

ONE PROPERTY LINE MIN. 20'

PARKING

PARKING REQUIRED MIN: 1 SPACE PER 200 SF OF GFA (3,968 SF/200) = 20 SPACES
MAX: 150% OF MINIMUM = 30 SPACES

28 REGULAR SPACES
2 HANDICAP SPACES

PARKING PROVIDED 25 SPACES TOTAL

23 REGULAR SPACES
1 HANDICAP SPACE
1 VAN ACCESSIBLE HANDICAP SPACE

LAND USE SUMMARY

| DESCRIPTION | AREA |
|-------------|-----------------------|
| BUILDING | 0.091 ACRE (3.5% FAR) |
| CANOPY | 0.138 ACRE |
| PAVING | 0.833 ACRE |
| LANDSCAPE | 1.247 ACRE |
| SUMMATION | 2.309 ACRE |

LEGAL DESCRIPTION

DESCRIPTION RECITED IN SPECIAL WARRANTY DEED RECORDED OCTOBER 31, 2018 AT RECEPTION No. 2018000088032;

LOT 1, BLOCK 1, DENNER SUBDIVISION,

AND THAT PART OF VACATED EUDORA DRIVE VACATED BY ORDINANCE No. V-60-96 RECORDED NOVEMBER 5, 1996 IN BOOK 4874 AT PAGE 289 AND RECORDED JUNE 9, 1997 IN BOOK 5026 AT PAGE 30,

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF COMMERCE CITY IN DEED RECORDED MARCH 29, 1999, IN BOOK 5695 AT PAGE 987,

COUNTY OF ADAMS, STATE OF COLORADO.

SITE PLAN SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|----------------------------|
| 1 | COVER SHEET |
| 2 | SITE PLAN |
| 3 | PRELIMINARY GRADING PLAN |
| 4 | PRELIMINARY UTILITY PLAN |
| 5 | DIMENSIONING PLAN |
| 6 | LANDSCAPE PLAN |
| 7 | PLANTING SCHEDULE & NOTES |
| 8 | LANDSCAPE DETAILS |
| 9 | EXTERIOR ELEVATIONS |
| 10 | CANOPY ELEVATIONS |
| 11 | TRASH ENCLOSURE ELEVATIONS |
| 12 | PHOTOMETRIC PLAN |

COMMERCE CITY DEVELOPMENT PLAN NOTES

- IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20__.

CITY SIGNATURE _____

BENCHMARKS

ELEVATIONS ARE BASED UPON A POST-PROCESSED STATIC GNSS CONNECTION MADE TO NGS BENCH MARK E 392 (PID KK1298), BEING A STAINLESS ROD IN ACCESS COVER STAMPED E.392 1983 UTILIZING GEOID 12B TO MODEL THE ELLIPSOID SEPARATION.

NGS ELEVATION: 5133.10 (NAVD 88).

BASIS OF BEARING

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 6, T 3 S, R 67 W, SAID LINE BEARING SOUTH 89°45'56" WEST RELATIVE TO THE COLORADO COORDINATE SYSTEM OF 1983, CENTRAL ZONE (STATE PLANE GRID) AS DETERMINED BY POST-PROCESSED STATIC GNSS OBSERVATIONS.

FLOODPLAIN STATEMENT

THIS PARCEL LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON FEMA FIRM PANEL No. 08001C0608H, REVISED MARCH 5, 2007.



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7160 EUDORA DRIVE, COMMERCE CITY, CO
DEVELOPMENT PLAN
COVER SHEET

KG PROJECT TEAM: EES
RDM: RF
SDM: DG
CPM: BS

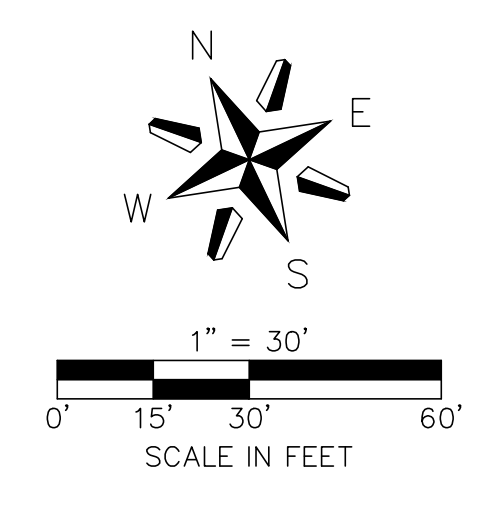
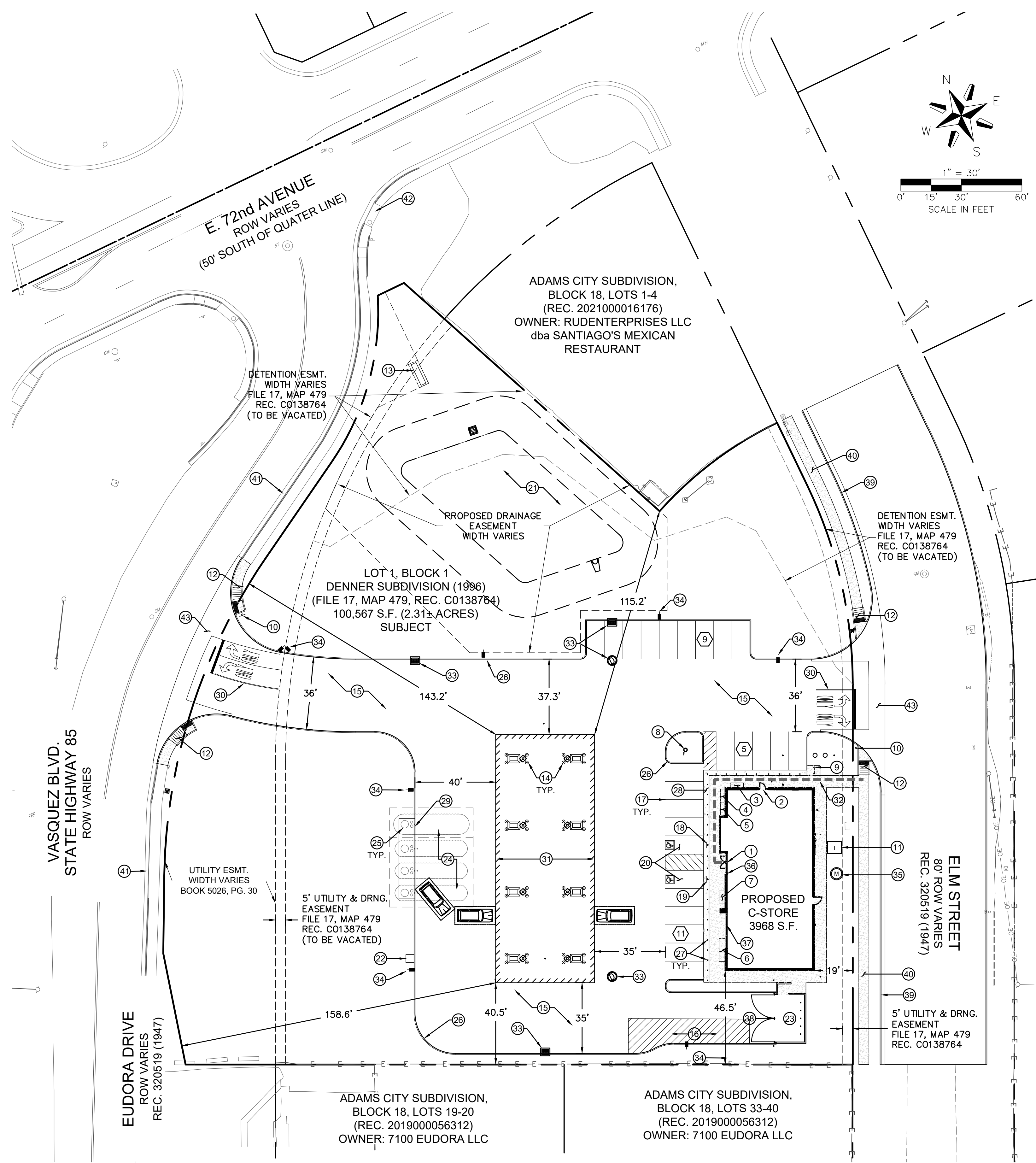
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LEGEND

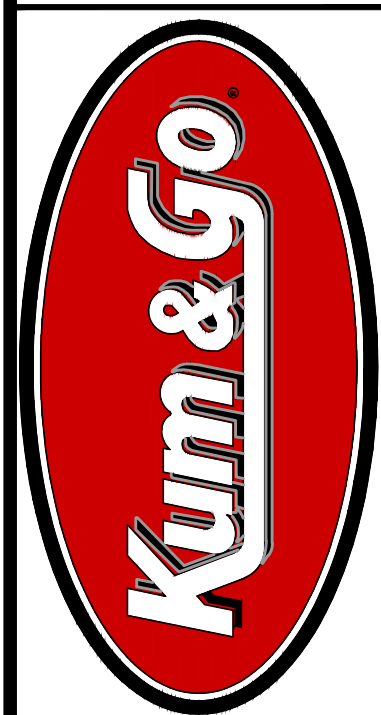
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|--|-----------------------------|--|--|
| | PARCEL BOUNDARY | | PROPOSED SIDEWALK |
| | ADJACENT PROPERTY LINE | | PROPOSED BOLLARD STRIP WITH COLORED, TEXTURED CONCRETE |
| | EXISTING EASEMENT | | PROPOSED BUILDING AND ENTRY |
| | PROPOSED EASEMENT | | PROPOSED FUELING POINT, CRASH PROTECTION, AND COLUMN |
| | ACCESSIBLE ROUTE TO ROW | | PARKING COUNT |
| | EXISTING CURB AND GUTTER | | PROPOSED SURFACE UTILITIES |
| | PROPOSED CURB AND GUTTER | | PROPOSED SITE LIGHTS |
| | PROPOSED CURB HEAD | | |
| | PROPOSED FUEL CANOPY LIMITS | | |

REFERENCE NOTE
REFER TO DEVELOPMENT PLAN SHEET 5, DIMENSIONING PLAN, FOR DETAILED DIMENSIONS AND SERVICE VEHICLE SITE CIRCULATION.

SITE SCHEDULE

| | |
|--|--|
| 1 PRIMARY BUILDING ENTRY | 23 14'-8" X 24'-8" TRASH ENCLOSURE. SEE ARCHITECTURAL ELEVATIONS |
| 2 SECONDARY BUILDING ENTRY | 24 UNDERGROUND FUEL STORAGE TANKS; 1 - 12K DIESEL, 1 - 12K PREMIUM, 1 - 12K E-85, 1 - 20K UNLEADED |
| 3 PROPANE CAGE (1 CAGE - 18 TANKS) | 25 TANK ACCESS PORTS |
| 4 MISCELLANEOUS MERCHANDISE | 26 INTEGRAL CONCRETE CURB |
| 5 FIREWOOD | 27 4" DIAMETER BOLLARDS @ 5' O.C. |
| 6 ICE VENDING | 28 BROOM FINISHED CONCRETE |
| 7 REDBOX | 29 PAINT CURB ALONG FRONT OF TANKS YELLOW |
| 8 40' FLAGPOLE, MAINTAIN Ø24' CLEAR SPACE ABOVE GRADE | 30 DRIVEWAY ENTRANCE PAVEMENT MARKINGS |
| 9 BOLLARD BIKE RACK ON 5.0' X 6.5' X 4" THICK CONCRETE PAD | 31 8 PACK DOUBLE STACK FUELING CANOPY |
| 10 STOP SIGN | 32 ADA ROUTE |
| 11 TRANSFORMER PAD | 33 STORM INFRASTRUCTURE |
| 12 ADA RAMP | 34 SITE LIGHTING; SEE PHOTOMETRICS PLAN |
| 13 25' MONUMENT SIGN | 35 WATER METER |
| 14 PROPOSED CRASH PROTECTION - REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION | 36 KNOX BOX LOCATION |
| 15 CONCRETE PAVEMENT | 37 EMERGENCY DISCONNECT SWITCH |
| 16 LOADING AREA | 38 TRASH ENCLOSURE LATCH MECHANISM TO BE UNDER 44" |
| 17 PARKING STRIPE (TYP.) | 39 PROPOSED CURB AND GUTTER WITHIN R.O.W. |
| 18 POST MOUNTED ADA VAN PARKING SIGN | 40 PROPOSED PUBLIC SIDEWALK |
| 19 POST MOUNTED ADA PARKING SIGN | 41 EXISTING CURB AND GUTTER TO REMAIN |
| 20 ACCESSIBLE PARKING SPACE | 42 EXISTING STORM INFRASTRUCTURE TO REMAIN |
| 21 DETENTION & WATER QUALITY | 43 PROPOSED 8' CROSS PAN |
| 22 AIR MACHINE LOCATION, 4'X4' CONCRETE PAD | |

- GENERAL NOTES**
- NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
 - ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES
 - VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
 - GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND FOLLOW ALL UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS AND SPECIFICATIONS.
 - GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
 - GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT THE COMPLETION OF WORK.
 - ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF COMMERCE CITY STANDARDS AND SPECIFICATIONS. LATEST REVISION THEREOF. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THESE MANUALS FROM COMMERCE CITY FOR REFERENCE DURING ALL SITE CONSTRUCTION.
 - GOVERNING AUTHORITY STANDARDS AND SPECIFICATIONS SHALL GOVERN SHOULD A DISCREPANCY ARISE BETWEEN THE STANDARDS AND SPECIFICATIONS AND THE PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH COMMERCE CITY STANDARDS AND SPECIFICATIONS.
 - GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN WHICH SHALL BE SUBMITTED TO AND APPROVED BY COMMERCE CITY ENGINEERING DEPARTMENT PRIOR TO ANY WORK IN THE PUBLIC R.O.W. CONTRACTOR IS RESPONSIBLE FOR SAFETY TO THE PUBLIC BY MINIMIZING THE INTERRUPTION OF THE USE OF ROADS AND PROVIDING SIGNS, FLARES, BARRICADES, ETC. AS NECESSARY.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITIES WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY LINES IN THEIR EXISTING OR RELOCATED POSITION WHICH COULD CREATE A HAZARDOUS CONDITION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND TESTING REQUIRED FOR APPROVAL OF WORK.
 - NOTES LOCATED ON ANY SHEET IN THE SET ARE APPLICABLE TO ENTIRE SET.



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SITE PLAN

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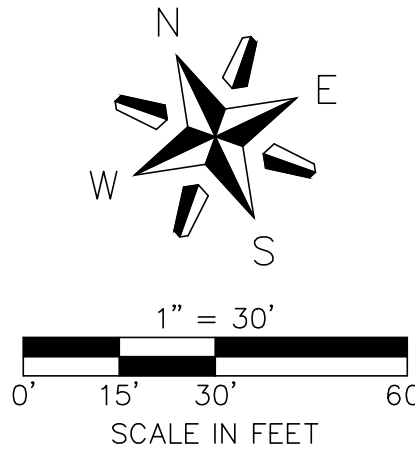
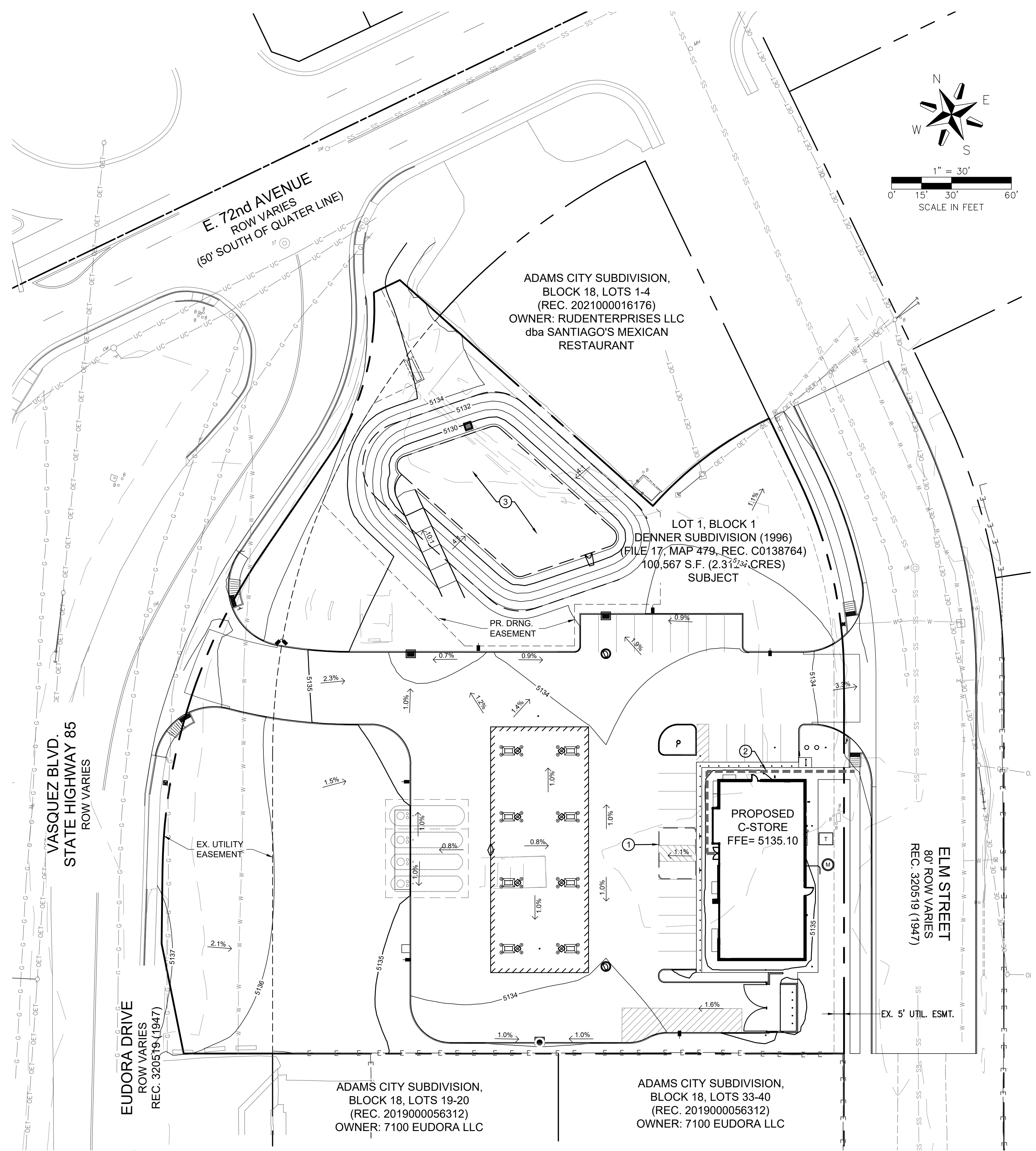
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DEVELOPMENT PLAN KUM & GO GAS AND C-STORE

PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67
WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO



LEGEND

| | | | |
|--|-----------------------------|--|----------------------------|
| | PARCEL BOUNDARY | | EXISTING INDEX CONTOUR |
| | ADJACENT PROPERTY LINE | | EXISTING MINOR CONTOUR |
| | EXISTING EASEMENT | | EXISTING EASEMENT |
| | PROPOSED EASEMENT | | PROPOSED EASEMENT |
| | ACCESSIBLE ROUTE TO ROW | | PROPOSED SURFACE UTILITIES |
| | EXISTING CURB AND GUTTER | | PROPOSED SITE LIGHTS |
| | PROPOSED CURB AND GUTTER | | |
| | PROPOSED CURB HEAD | | |
| | PROPOSED FUEL CANOPY LIMITS | | |

SITE SCHEDULE

- ① NO GRADES IN THE HANDICAP PARKING AREA SHALL EXCEED 2.0% IN ANY DIRECTION.
- ② CROSS SLOPES NOT TO EXCEED 2% AND RUNNING SLOPES NOT TO EXCEED 5%, EXCEPTING AS MAY BE PROVIDED BY A AADAP COMPLIANT RAMP, IN THE HANDICAP ROUTE TO THE PUBLIC RIGHT-OF-WAY.
- ③ DETENTION AND WATER QUALITY POND.

GENERAL NOTES

1. ALL EARTHWORK, GRADING, OVERLOT GRADING, BACKFILLING, FILLING, EXCAVATION, COMPACTION, PAVEMENT, AND FLATWORK CONSTRUCTION WILL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
2. ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES AND CONCRETE UTILITIES SHALL BE IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
3. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL AND STRUCTURAL PLANS AND SPECIFICATIONS, AND THE GEOTECHNICAL INVESTIGATION.
4. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
5. REFER TO SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
6. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED, ACCORDING TO THE LANDSCAPE PLAN.
7. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
8. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER, MODIFIED OR REMAINING, ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSEOUT.
9. NO PROPOSED SLOPE IN LANDSCAPED AREAS OR OPEN SPACE SHALL EXCEED THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT, OR AS OTHERWISE SPECIFIED BY LOCAL CRITERIA.
10. THE CONTRACTOR SHALL FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE OWNER, AND IN ACCORDANCE WITH RECOMMENDATIONS OBTAINED FROM THE GEOTECHNICAL INVESTIGATION OR GEOTECHNICAL ENGINEER AND GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE; OR CONFIRM SUCH WORK HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

BENCHMARKS

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PRELIMINARY GRADING PLAN

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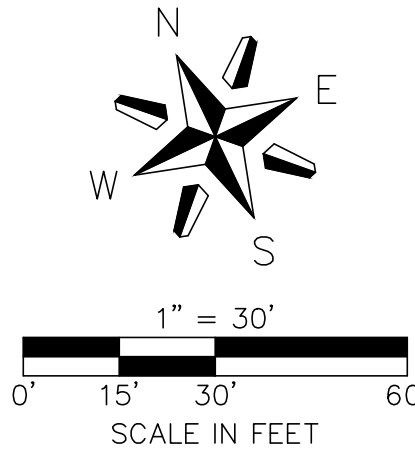
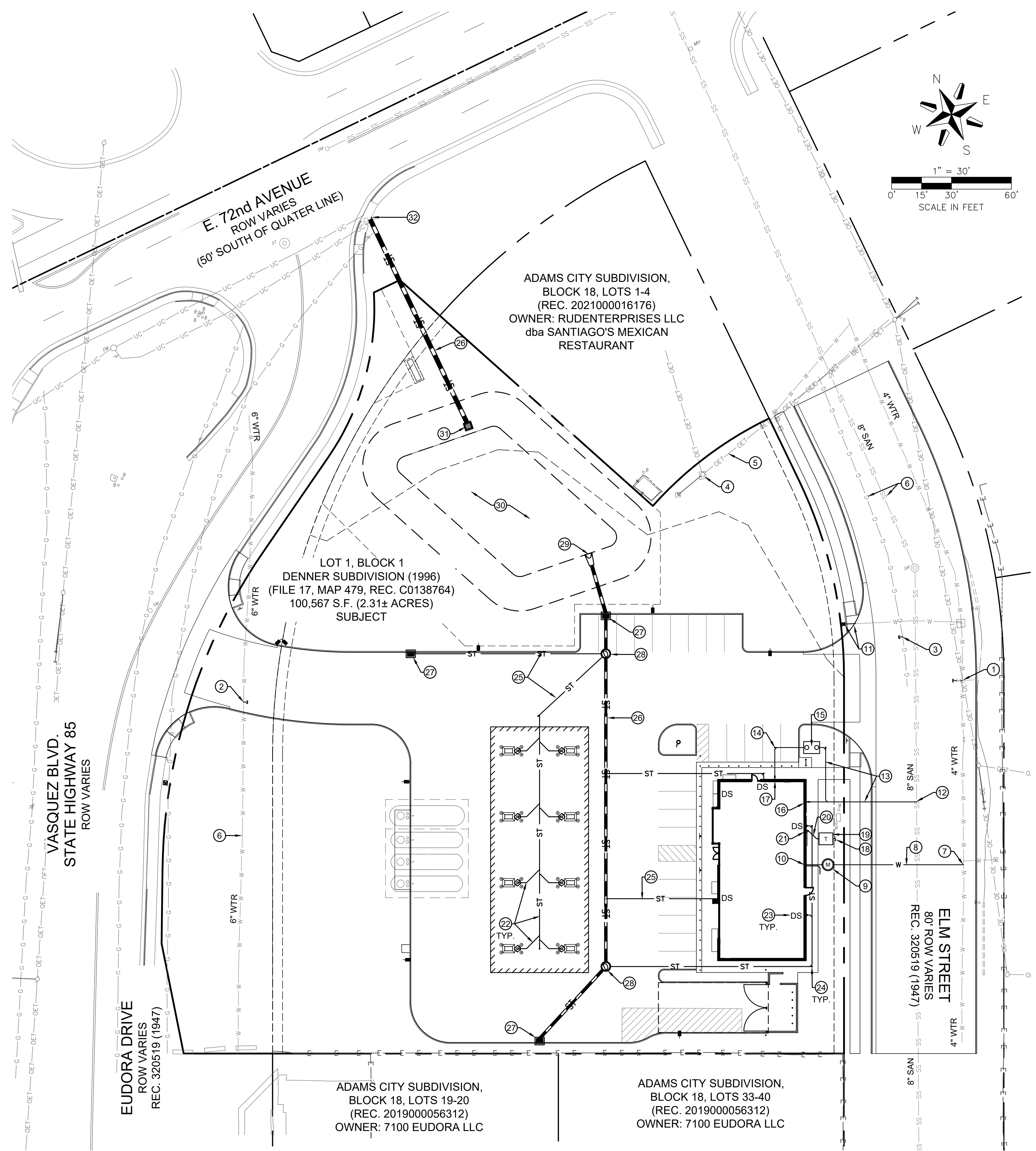
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REVISIONS

DEVELOPMENT PLAN

KUM & GO GAS AND C-STORE

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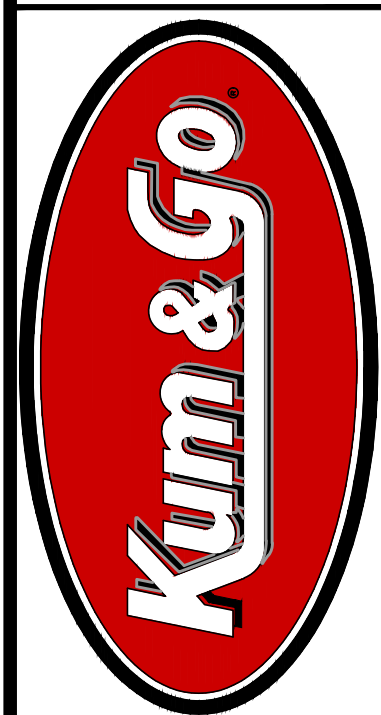


LEGEND

| | | | |
|--|--------------------------|--|-------------------------------|
| | PARCEL BOUNDARY | | EXISTING GAS LINE |
| | ADJACENT PROPERTY LINE | | PROPOSED GAS LINE |
| | EXISTING EASEMENT | | EXISTING UNDERGROUND ELECTRIC |
| | PROPOSED EASEMENT | | EXISTING OVERHEAD ELECTRIC |
| | ACCESSIBLE ROUTE TO ROW | | PROPOSED UNDERGROUND ELECTRIC |
| | EXISTING CURB AND GUTTER | | EXISTING STORM DRAIN |
| | PROPOSED CURB AND GUTTER | | PROPOSED STORM DRAIN (≤ 12") |
| | PROPOSED CURB HEAD | | PROPOSED STORM DRAIN (≥ 15") |
| | PROPOSED FUEL CANOPY | | PROPOSED SURFACE UTILITIES |
| | EXISTING WATER LINE | | PROPOSED SITE LIGHTS |
| | PROPOSED WATER LINE | | |
| | EXISTING SANITARY SEWER | | |
| | PROPOSED SANITARY SEWER | | |

SITE SCHEDULE

- 1 EXISTING BUILDING FIRE SUPPRESSION SERVICE LINE TO BE REMOVED AND CAPPED AT THE MAIN.
- 2 EXISTING BUILDING DOMESTIC SERVICE LINE TO BE REMOVED AND CAPPED AT THE TAP.
- 3 EXISTING BUILDING GAS SERVICE TO BE REMOVED AND CAPPED AT THE MAIN BY THE SERVICE PROVIDER.
- 4 EXISTING BUILDING OVERHEAD ELECTRIC AND COMMUNICATIONS SERVICES TO BE REMOVED.
- 5 EXISTING POLE AND OVERHEAD ELECTRIC AND COMMUNICATIONS SERVICES FOR ADJACENT PROPERTIES TO REMAIN AND BE PROTECTED THROUGHOUT DEVELOPMENT.
- 6 EXISTING UTILITIES MAINS IN THE PUBLIC RIGHTS-OF-WAY OR EASEMENTS TO REMAIN AND BE PROTECTED THROUGHOUT DEVELOPMENT.
- 7 PROPOSED 1.5-INCH DOMESTIC WATER TAP AND CORPORATION STOP AT THE MAIN.
- 8 PROPOSED ROUTING 1.5-INCH TYPE K COPPER WATER SERVICE.
- 9 PROPOSED 1.5-INCH METER PIT WITH YOKE AND CURB STOP.
- 10 BUILDING ENTRY POINT FOR DOMESTIC WATER SERVICE.
- 11 EXISTING FIRE HYDRANT TO BE RELOCATED OUT OF PROPOSED PUBLIC SIDEWALK.
- 12 PROPOSED SANITARY SERVICE TAP AT THE MAIN.
- 13 PROPOSED ROUTING 4-INCH PVC SANITARY SERVICE.
- 14 PROPOSED SANITARY SERVICE CLEAN OUT.
- 15 PROPOSED GREASE INTERCEPTOR.
- 16 BUILDING DEPARTURE POINT DOMESTIC SANITARY WASTE LINE.
- 17 BUILDING DEPARTURE POINT KITCHEN SANITARY WASTE LINE.
- 18 ELECTRIC POINT OF CONNECTION AND ROUTING OF PRIMARY SERVICE TO BE COORDINATED WITH XCEL ENERGY.
- 19 PROPOSED LOCATION FOR ELECTRIC TRANSFORMER AND MOUNTING PAD.
- 20 PROPOSED ROUTING OF SECONDARY ELECTRIC SERVICE.
- 21 PROPOSED BUILDING MOUNTED ELECTRIC C/T CAN, METER, AND PRIMARY DISCONNECT.
- 22 PROPOSED CANOPY DRAINAGE COLLECTION SYSTEM AND ROUTING TO THE ON-SITE STORM DRAINS.
- 23 PROPOSED BUILDING DOWNSPOUTS AND CONNECTING TO THE ON-SITE STORM DRAINS.
- 24 PROPOSED STORM DRAIN CLEAN OUT.
- 25 PROPOSED ROUTING OF PVC SITE STORM DRAINS (≤ 12-INCH DIAMETER).
- 26 PROPOSED ROUTING OF RCP SITE STORM DRAINS (≥ 15-INCH DIAMETER).
- 27 PROPOSED CURB INLET (NOMINALLY A TYPE 13C).
- 28 PROPOSED 4-FOOT DIAMETER STORM DRAIN MANHOLE.
- 29 PROPOSED FLARED END SECTION.
- 30 PROPOSED WATER QUALITY AND DETENTION FACILITY.
- 31 PROPOSED OUTLET CONTROL STRUCTURE.
- 32 PROPOSED CONNECTION TO THE EXISTING MS4 STORM DRAIN SYSTEM IN 72nd AVENUE ROW.

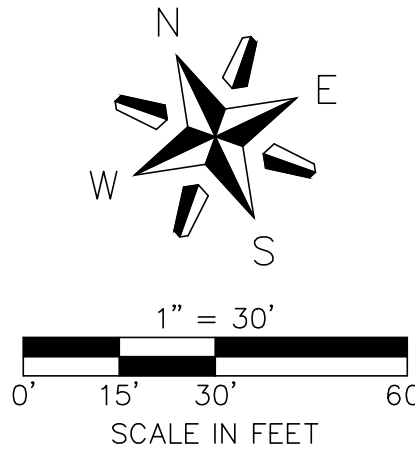
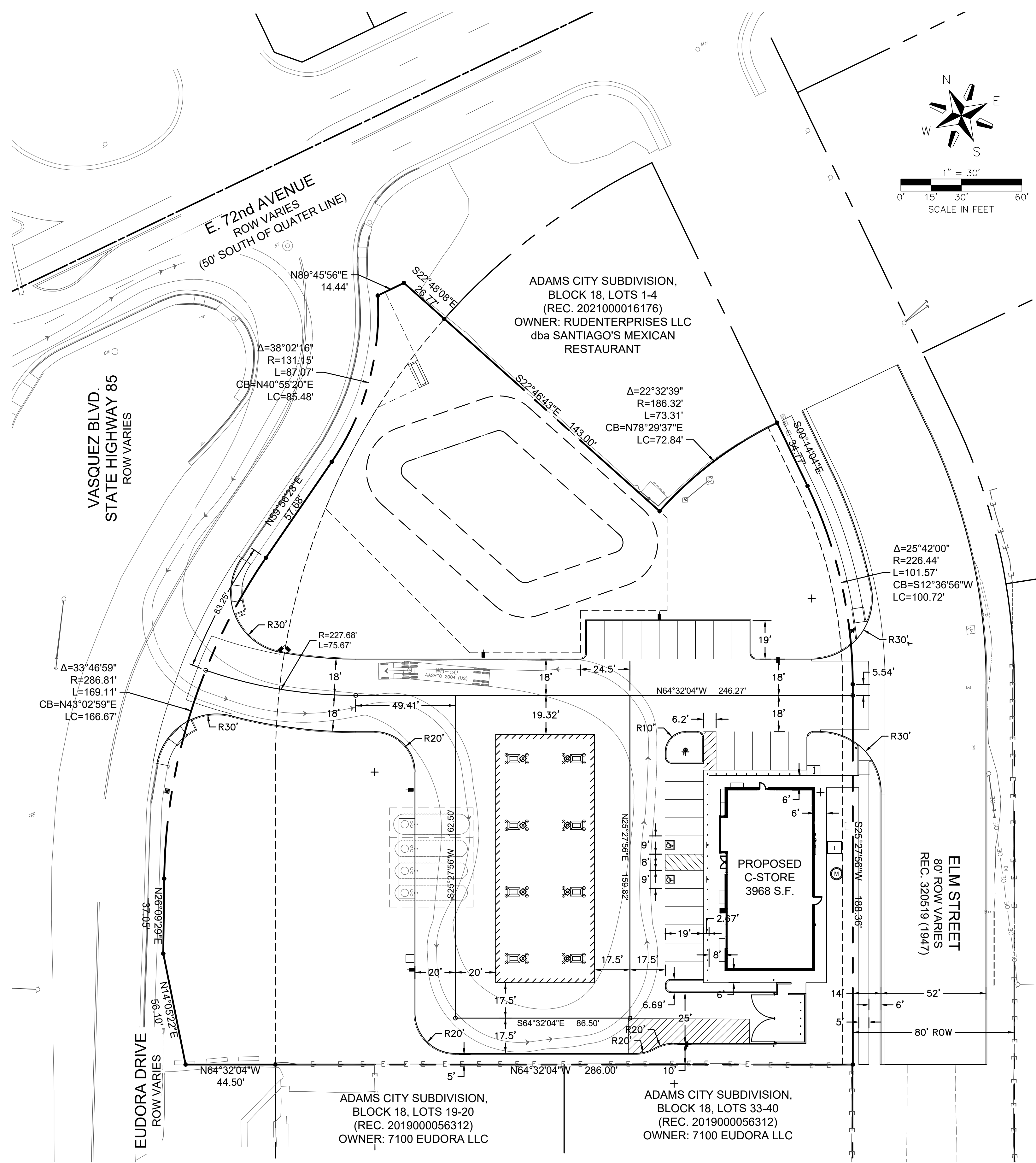


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| 07/07/2022 | INITIAL SUBMITTAL | |
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P:\KUM & GO\COMMERCIAL\2300-72ND AND VASQUEZ\8 CAD\PPR\0 DIMENSIONING PLAN.DWG

DEVELOPMENT PLAN
KUM & GO GAS AND C-STORE
 PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67
 WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO



LEGEND

| | |
|--|-----------------------------|
| | PARCEL BOUNDARY |
| | ADJACENT PROPERTY LINE |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | ACCESSIBLE ROUTE TO ROW |
| | EXISTING CURB AND GUTTER |
| | PROPOSED CURB AND GUTTER |
| | PROPOSED CURB HEAD |
| | PROPOSED FUEL CANOPY LIMITS |
| | PROPERTY CORNER |
| | SITE METES/BOUNDS CONTROL |

- GENERAL NOTES**
- REFER TO THE COVER SHEET, SHEET 1, FOR ADDITIONAL PROJECT NOTES.
 - RADI NOT NOTED OTHERWISE ARE A 3-FOOT DIMENSION.
 - PROVIDE JOINTS AT 30 X DEPTH OF CONCRETE MAXIMUM SPACING IN VEHICULAR AREAS UNLESS OTHERWISE INDICATED. JOINTS SHALL EXTEND THROUGH THE ADJACENT CURB HEAD.
 - JOINT SPACING IN PEDESTRIAN AREAS (I.E. SIDEWALKS AND PATIOS) SHALL CREATE SQUARES TO THE GREATEST EXTENT PRACTICAL, BUT SIDES SHOULD NOT EXCEED 8-FEET IN LENGTH. CONTRACTION JOINTS THEREIN SHALL BE TOOL FINISHED.
 - PANELS FOR VEHICULAR PAVEMENT AND IN PEDESTRIAN AREAS SHALL HAVE A MAXIMUM LENGTH TO WIDTH RATIO OF 1.25:1.
 - BOND BREAKER SHALL BE USED AT INLETS, MANHOLES, AND SIMILAR SIZE STRUCTURES. SMALLER STRUCTURES SUCH AS VALVE COVERS AND MONUMENT BOXES SHALL NOT REQUIRE A BOND BREAKER, UNLESS SPECIFIED OTHERWISE.
 - PROVIDE A CONTINUOUS ISOLATION JOINT AT THE BUILDING FOUNDATION. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - WHERE SLABS OF DIFFERENT THICKNESS COME TOGETHER, THE SUBGRADES UNDER THE THINNER PAVEMENTS SHOULD BE SHAPED TO PROVIDE GRADUAL PAVEMENT THICKNESS TRANSITION OVER A DISTANCE OF 3-FEET OR MORE.
 - ADJUST SPACING TO AVOID SMALL PANELS OR ANGLES (E.G. PANELS <1-FOOT AND ANGLES <60°, 90° PREFERRED).

LEGAL DESCRIPTION

DESCRIPTION RECITED IN SPECIAL WARRANTY DEED RECORDED OCTOBER 31, 2018 AT RECEPTION No. 2018000088032;

LOT 1, BLOCK 1, DENNER SUBDIVISION,

AND THAT PART OF VACATED EUDORA DRIVE VACATED BY ORDINANCE No. V-60-96 RECORDED NOVEMBER 5, 1996 IN BOOK 4874 AT PAGE 289 AND RECORDED JUNE 9, 1997 IN BOOK 5028 AT PAGE 30,

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF COMMERCE CITY IN DEED RECORDED MARCH 29, 1999, IN BOOK 5695 AT PAGE 987,

COUNTY OF ADAMS, STATE OF COLORADO.

BENCHMARKS

ELEVATIONS ARE BASED UPON A POST-PROCESSED STATIC GNSS CONNECTION MADE TO NGS BENCH MARK E 392 (PID KK1298), BEING A STAINLESS ROD IN ACCESS COVER STAMPED E 392 1983 UTILIZING GEOID 12B TO MODEL THE ELLIPSOID SEPARATION.

NGS ELEVATION: 5133.10 (NAVD 88).

BASIS OF BEARING

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 6, T 3 S, R 67 W, SAID LINE BEARING SOUTH 89°45'56" WEST RELATIVE TO THE COLORADO COORDINATE SYSTEM OF 1983, CENTRAL ZONE (STATE PLANE GRID) AS DETERMINED BY POST-PROCESSED STATIC GNSS OBSERVATIONS.



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 7160 EUDORA DRIVE, COMMERCE CITY, CO
 DEVELOPMENT PLAN
 DIMENSIONING PLAN

KG PROJECT TEAM: EES
 RDM: RF
 SDM: DG
 CRM: BS

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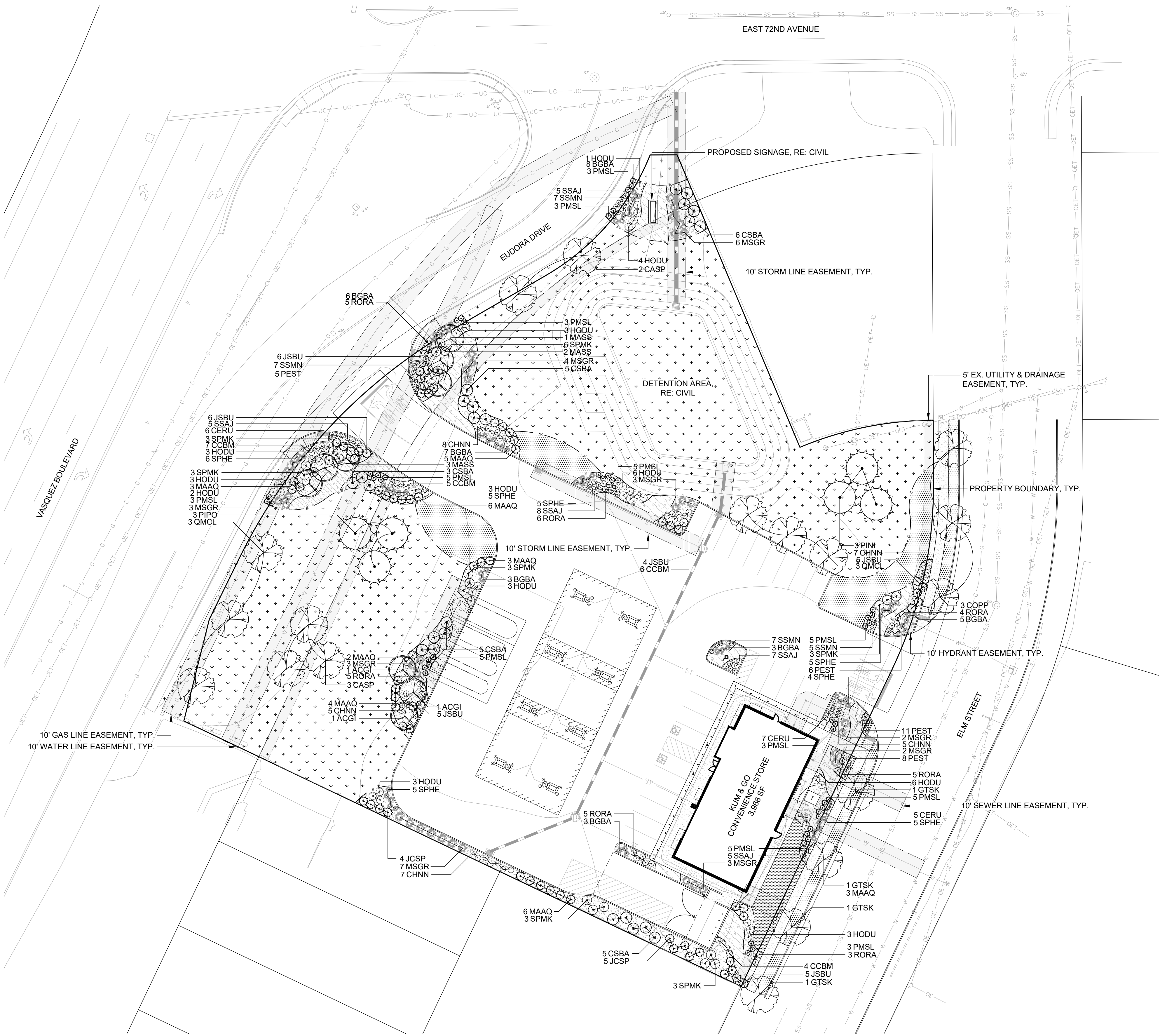
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REVISIONS

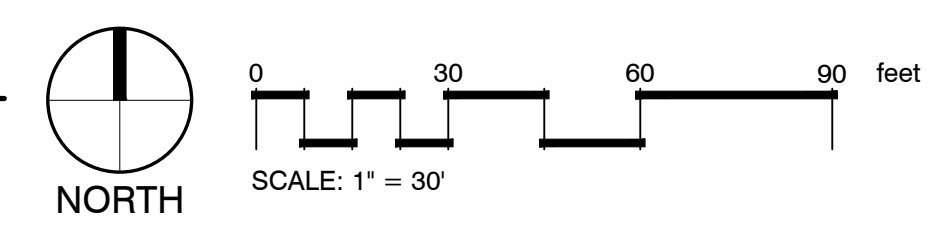
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DEVELOPMENT PLAN KUM & GO GAS AND C-STORE PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO



- ### LEGEND
- DECIDUOUS TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUBS
 - ORNAMENTAL GRASS
 - PERENNIALS
 - UTILITY EASEMENT
 - TURF SOD
 - NATIVE SEED
 - 1" GRAY CHIPPED GRANITE ROCK MULCH
 - 2"-4" ROCK COBBLE MULCH
 - LANDSCAPE EDGER

1 LANDSCAPE PLAN



VALERIAN
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Irrigation Design | Planning
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DEVELOPMENT PLAN
LANDSCAPE PLAN

KG PROJECT TEAM: EES
RDM: RF
SDM: DG
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DATE: 07-07-2022
SHEET NUMBER:
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6 OF 12

REVISIONS

DEVELOPMENT PLAN

KUM & GO GAS AND C-STORE

PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO

GENERAL NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
- COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
- NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

CLEARING & GRADING:

- ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS; UNIFORM BUILDING CODES; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
- A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

SOIL SPECIFICATIONS:

- ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
- LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
- IMPORTED TOPSOIL SHALL BE FERTILE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
- ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES, PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
- SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
- PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

EDGING:


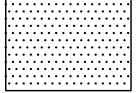
- ALL EDGING SHALL BE 1/8" X 4" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL.

MULCH

- PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 2"-4" RIVER ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED CEDAR MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
- PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 1" GRAY CHIPPED GRANITE MULCH AT A MINIMUM DEPTH OF 3", DEPRESSED 2" BELOW SURROUNDING CURBS AND WALKS. PLACE WITH TIGHT JOINTS.
- GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

PLANT SCHEDULE

| DECIDUOUS TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL |
|--------------------|-----|---|----------------------------|-------|----------|
| CASP | 5 | CATALPA SPECIOSA | NORTHERN CATALPA | B & B | 2" CAL |
| COPP | 3 | CELTIS OCCIDENTALIS 'PRAIRIE PRIDE' | PRAIRIE PRIDE HACKBERRY | B & B | 2" CAL |
| GTSK | 4 | GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' | SKYLINE HONEY LOCUST | B & B | 2" CAL |
| QMCL | 6 | QUERCUS X MACDANIELII 'CLEMONS' | HERITAGE OAK | B & B | 2" CAL |
| EVERGREEN TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL |
| PIPI | 3 | PINUS NIGRA | AUSTRIAN PINE | B & B | 6" HT |
| PIPO | 3 | PINUS PONDEROSA | PONDEROSA PINE | B & B | 6" HT |
| ORNAMENTAL TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL |
| ACGI | 3 | ACER GINNALA | AMUR MAPLE | B & B | 1.5" CAL |
| MASS | 6 | MALUS X 'SPRING SNOW' | SPRING SNOW CRABAPPLE | B & B | 1.5" CAL |
| DECIDUOUS SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONT | |
| CCBM | 22 | CARYOPTERIS X CLANDONENSIS 'BLUE MIST' | BLUE MIST SPIREA | #5 | |
| CHIN | 32 | CHRYSOETHAMINUS NAUSEOSUS NAUSEOSUS | DWARF BLUE RABBITBRUSH | #5 | |
| CSBA | 24 | CORNUS SERICEA 'BAILEY' | RED TWIG DOGWOOD | #5 | |
| HODU | 40 | HOLIDISCUS DUMOSUS | ROCK SPIREA | #5 | |
| RORA | 33 | ROSA X 'RADRAZZ' | KNOCK OUT ROSE | #5 | |
| SPMK | 24 | SYRINGA PATULA 'MISS KIM' | MISS KIM KOREAN LILAC | #5 | |
| EVERGREEN SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONT | |
| JCSP | 9 | JUNIPERUS CHINENSIS 'SPARTAN' | SPARTAN JUNIPER | #5 | |
| JSBU | 31 | JUNIPERUS SABINA 'BUFFALO' | BUFFALO JUNIPER | #5 | |
| MAAQ | 32 | MAHONIA AQUIFOLIUM | OREGON GRAPE | #5 | |
| PMSL | 48 | PINUS MUGO 'SLOWMOUND' | SLOWMOUND MUGO PINE | #5 | |
| ORNAMENTAL GRASSES | QTY | BOTANICAL NAME | COMMON NAME | CONT | |
| BGBA | 35 | BOUTELOUA GRACILIS 'BLONDE AMBITION' | BLONDE AMBITION BLUE GRAMA | #1 | |
| MSGR | 33 | MISCANTHUS SINENSIS 'GRACILLIMUS' | MAIDEN GRASS | #1 | |
| SPHE | 35 | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | #1 | |
| PERENNIALS | QTY | BOTANICAL NAME | COMMON NAME | CONT | |
| CERU | 18 | CENTRANTHUS RUBER | RED VALERIAN | #1 | |
| PEST | 30 | PENSTEMON STRICTUS | ROCKY MOUNTAIN PENSTEMON | #1 | |
| SSMN | 26 | SALVIA X SYLVESTRIS 'MAY NIGHT' | MAY NIGHT SAGE | #1 | |
| SSAJ | 30 | SEDUM SPECTABILE 'AUTUMN JOY' | AUTUMN JOY STONECROP | #1 | |

| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT @ |
|---|-----------|----------------------|-------------|--------|
|  | 40,712 SF | | NATIVE SEED | SEED |
|  | 5,575 SF | NATURE'S PRAIRIE SOD | SOD | SOD |

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY GUARANTEES.
- CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/D RIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

SOD

- KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
- ALL SOD SHALL BE A TEXAS HYBRID SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
- ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

COMMERCE CITY NOTES:

- REFERENCE THE COMMERCE CITY LANDSCAPE STANDARDS "FACTS TO KNOW" DOCUMENT FOR ALL LANDSCAPE STANDARDS AND SPECS.
- MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5 INCH DIAMETER FOR ORNAMENTAL TREES AND 6" HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER; ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVERS 2"-3" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% CONIFEROUS (EVERGREEN) AND 50% DECIDUOUS (TREE LAWN AREAS BETWEEN CURBS AND DETACHED WALKS SHALL BE ALL DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 INCHES FOR EVERY 1,000 SF OF LANDSCAPE AREA.
- STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- WEED BARRIER: POROUS WEED FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
- MAINTENANCE:
 - THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
 - LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
 - THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- SIGHT LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT - DISTANCE-TRIANGLES. INFORMATION ON THE SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS. IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED, SHALL BE, AT A MINIMUM, SEEDED WITH NATIVE GRASSES.



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PLANTING SCHEDULE & NOTES

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DATE: 07-07-2022

SHEET NUMBER:
L2.1
7 OF 12



970 Yuma Street | Suite 130 | Denver, CO 80204

© 2021, ALL RIGHTS RESERVED. X:\DROPOBOX (VALERIAN)\VALERIAN TEAM FOLDER\PROJECTS\01-102_EES_COMMERCE CITY - 72ND AND VASQUEZ\K&G 230002-WORKING\2022-07-05_1ST SUBMITTAL\01-102_02_PLANTING SCHEDULE & NOTES.DWG

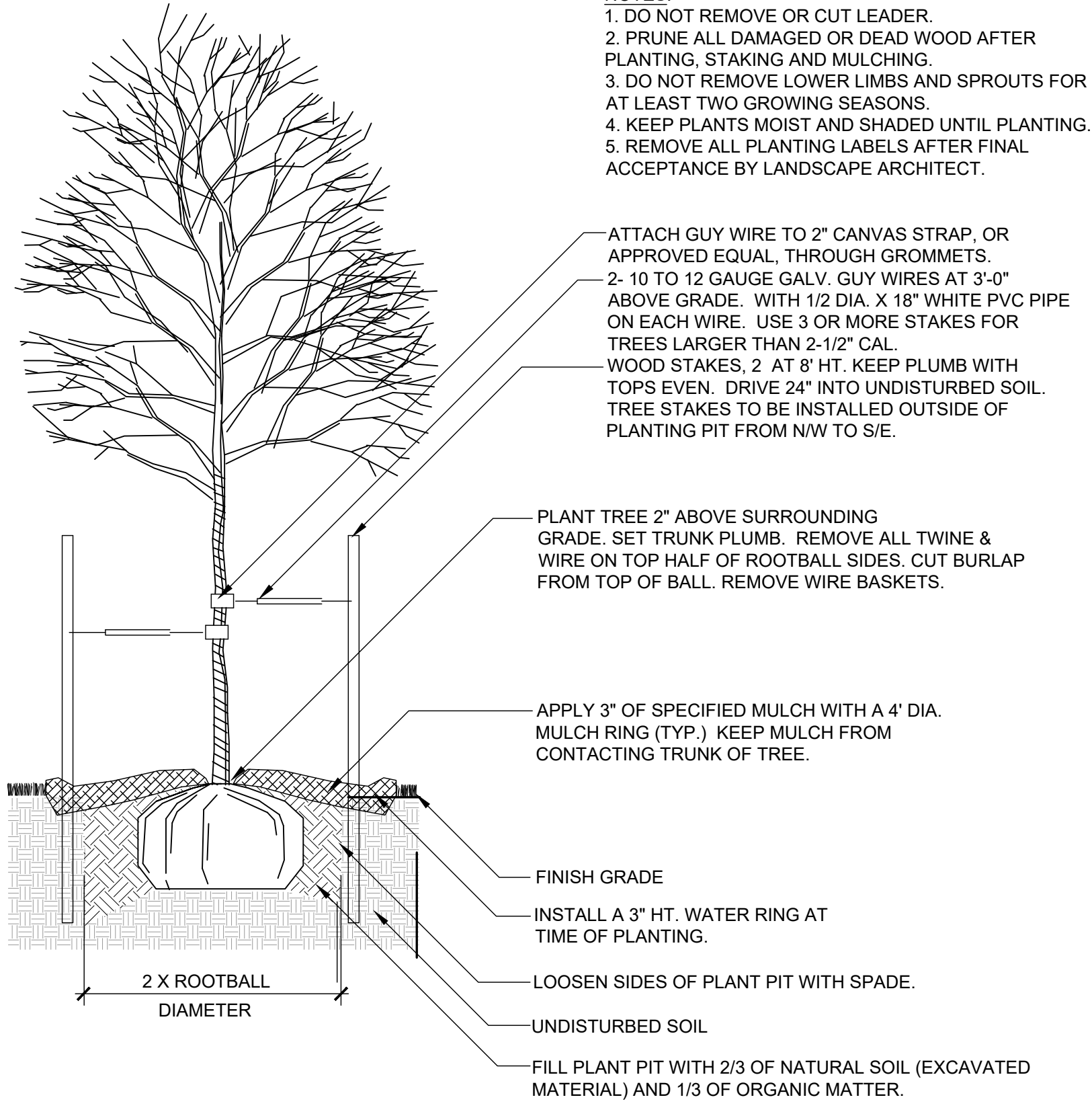
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DEVELOPMENT PLAN

KUM & GO GAS AND C-STORE

PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO

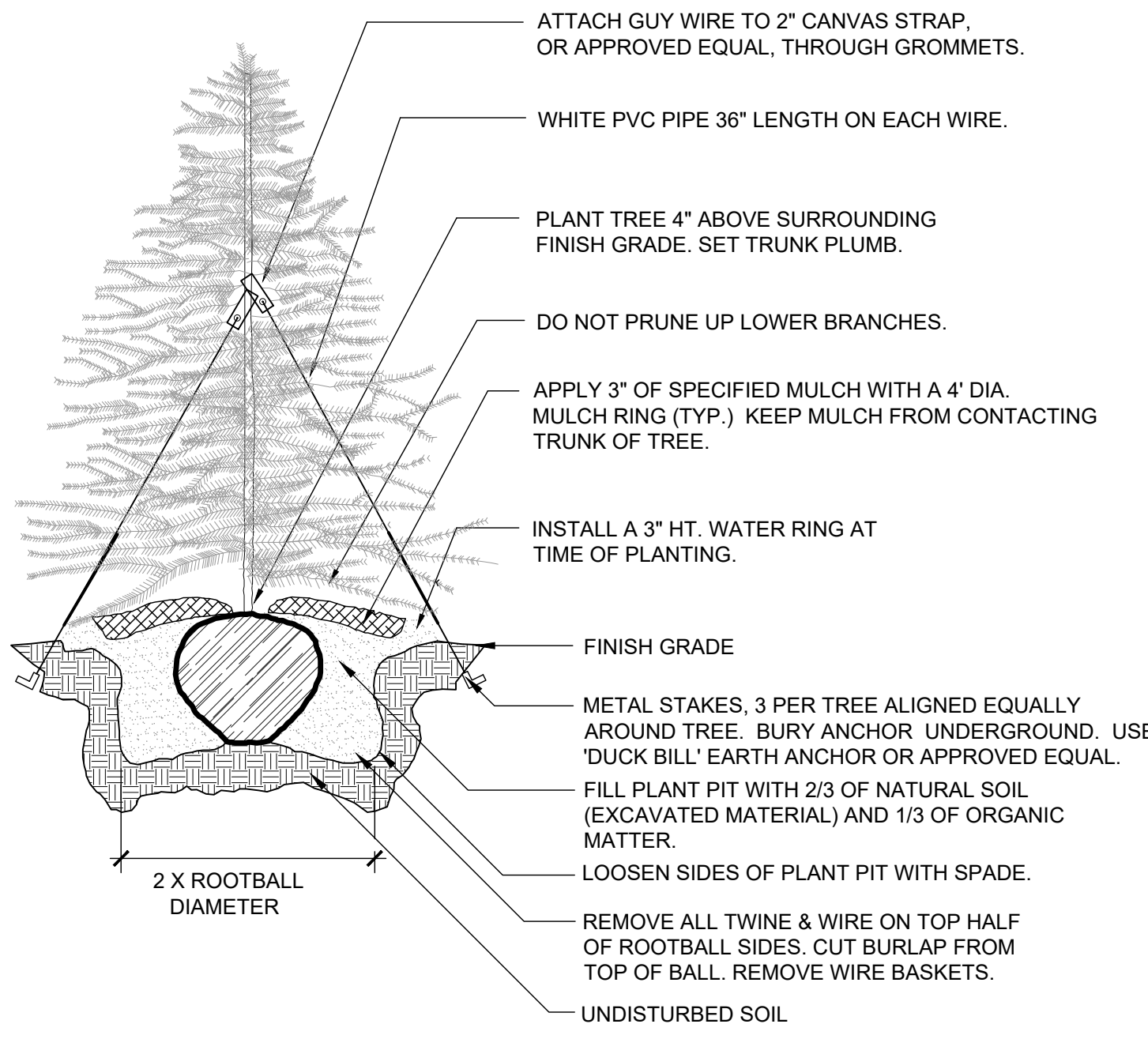
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.



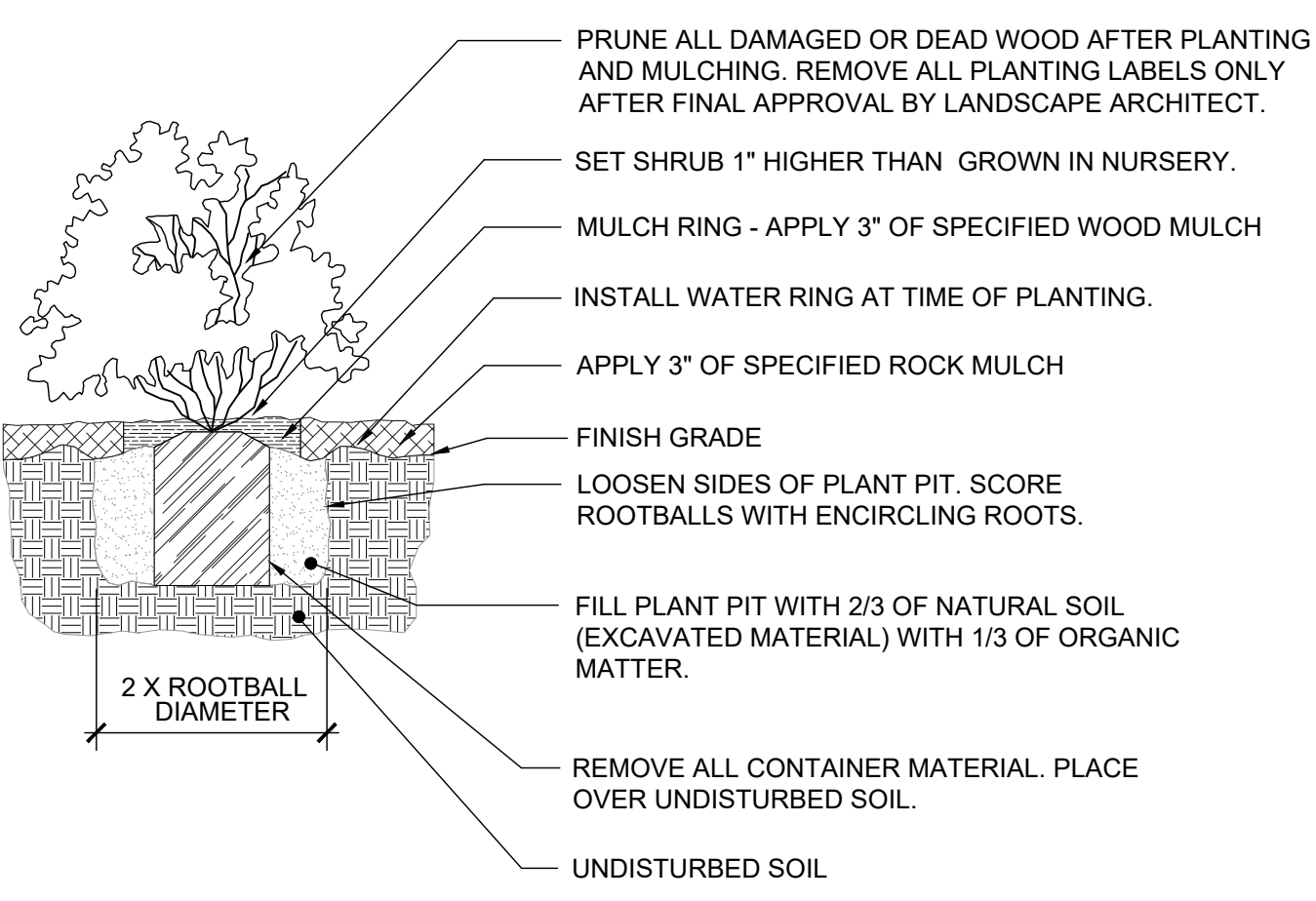
NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES OR WITHIN 100' APPROACHING A STOP SIGN ARE TO BE LIMBED TO 8'. AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION, WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

1 DECIDUOUS TREE PLANTING
1" = 1'-0" BLCC-03

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

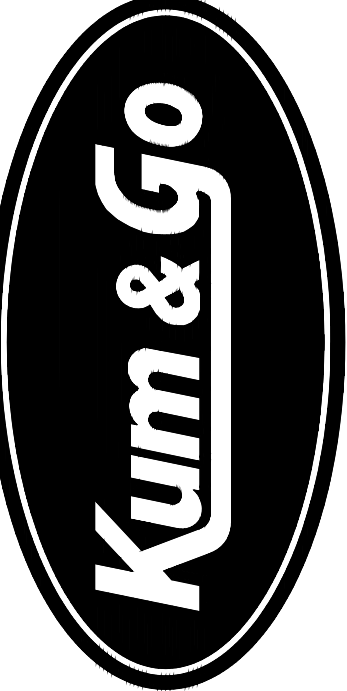


2 EVERGREEN TREE PLANTING
1" = 1'-0" BLCC-04



NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGING AND CURB. JUNIPER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.

3 SHRUB / ORNAMENTAL GRASS PLANTING WITH MULCH RING
1" = 1'-0" 32 9333.13-11



1459 Grand Ave
Des Moines, IA 50309
P: 888-458-6646

KUM & GO GAS AND C-STORE
7160 EUDORA DRIVE, COMMERCE CITY, CO
DEVELOPMENT PLAN
LANDSCAPE DETAILS

KG PROJECT TEAM: EES
RDM: RF
SDM: DG
CPM: BS

| DATE | REVISION DESCRIPTION |
|------|----------------------|
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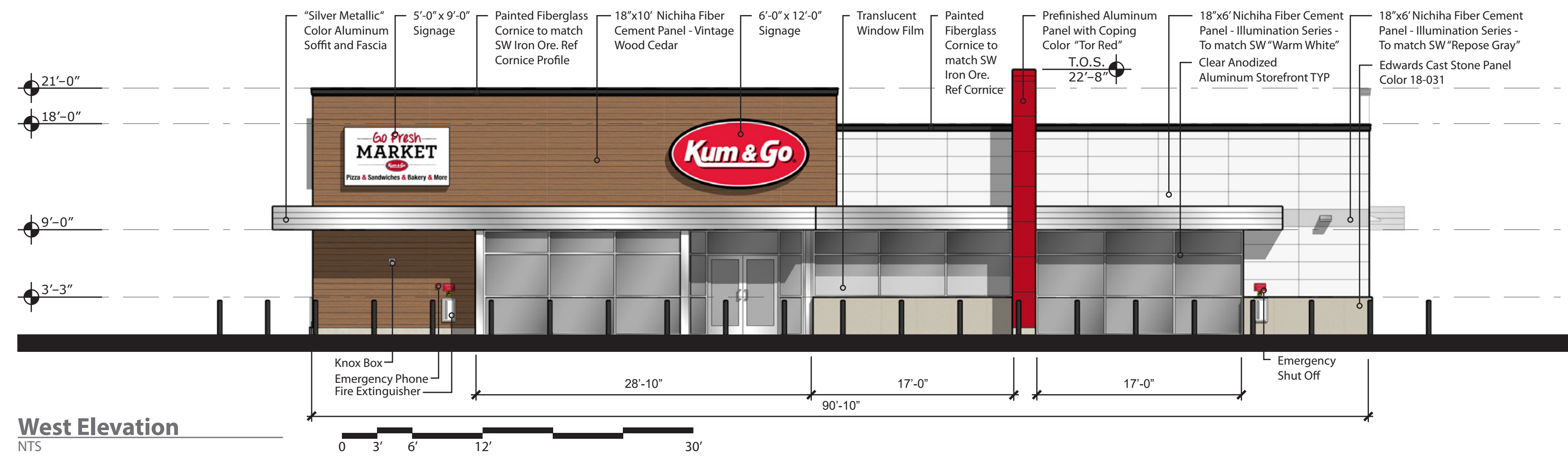
DATE: 07-07-2022

SHEET NUMBER:
L2.2
8 OF 12



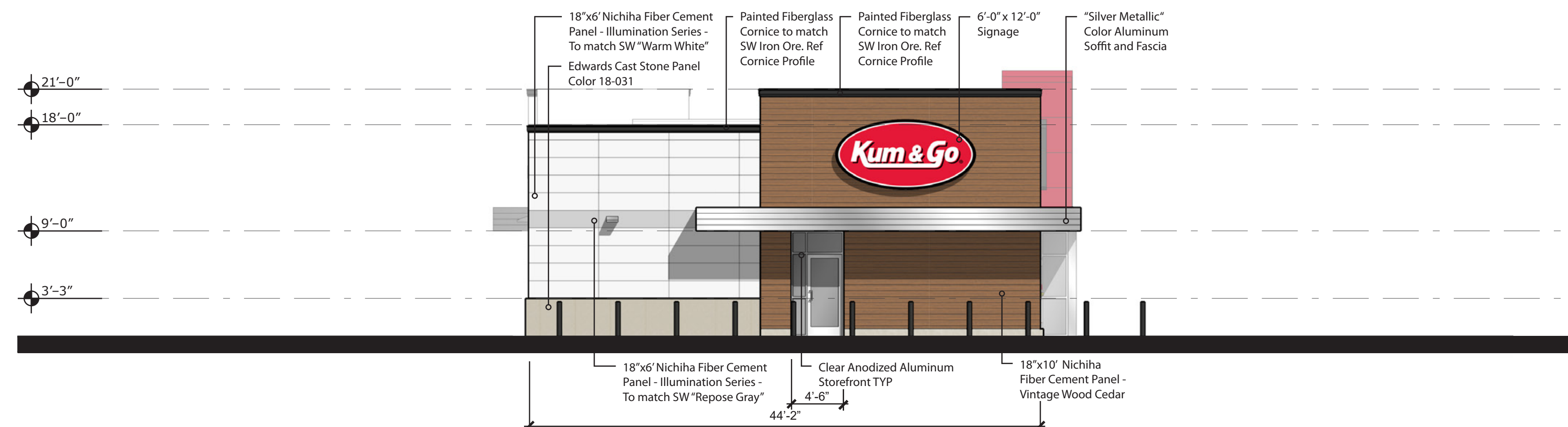
Proposed Building Signage

| Location | Sign | Size | Area |
|-----------------|------------------------|----------|---------------|
| West Elevation | "Kum & Go" Sign | 6' x 12' | 72 SF |
| | "Go Fresh Market" Sign | 5' x 9' | 45 SF |
| South Elevation | "Kum & Go" Sign | 6' x 12' | 72 SF |
| North Elevation | No Signage | --- | 0 SF |
| East Elevation | No Signage | --- | 0 SF |
| Total | | | 189 SF |



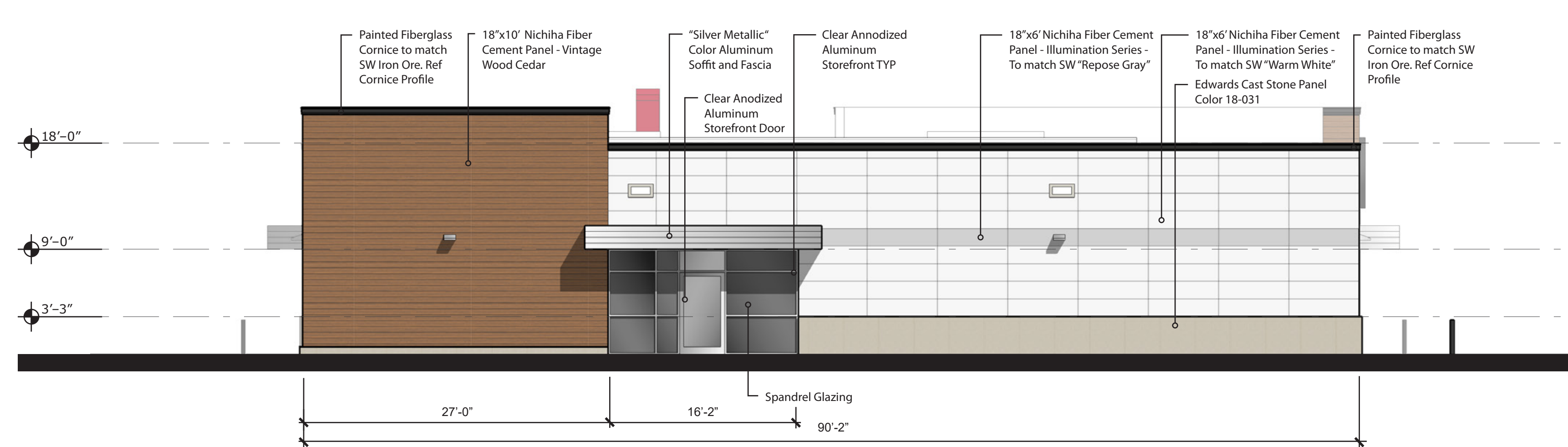
West Elevation

NTS



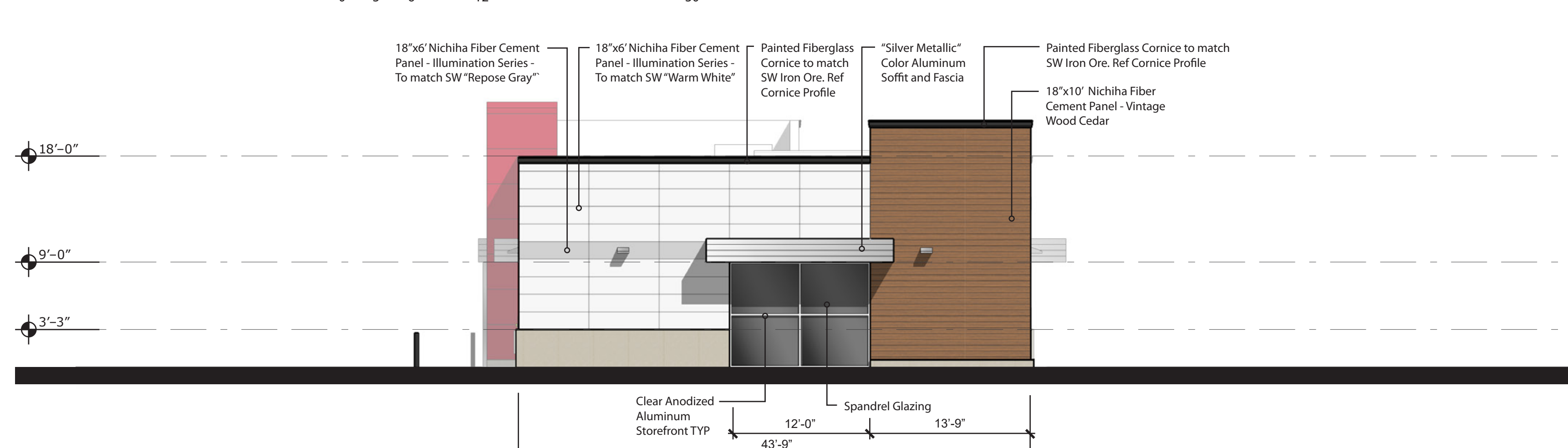
North Elevation

NTS



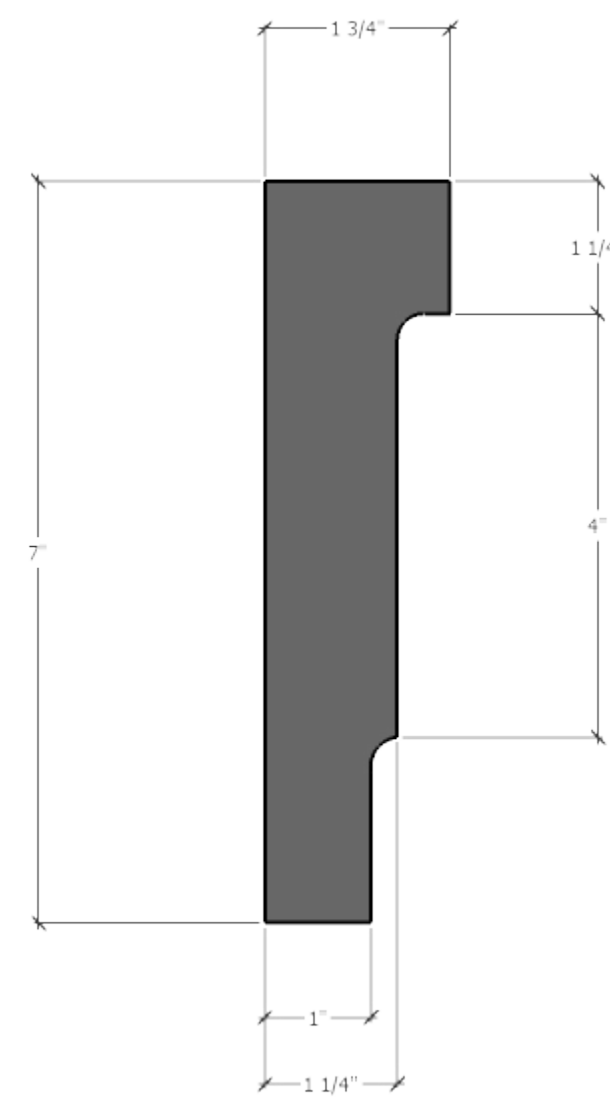
East Elevation

NTS



South Elevation

NTS

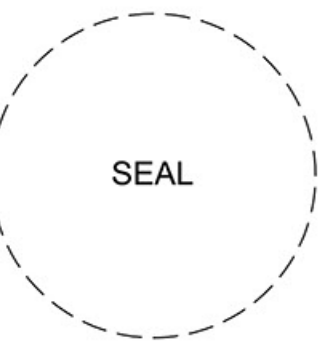


Cornice Profile

NTS



ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
813 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
FAX: 913-262-9044



1459 Grand Avenue
Des Moines, Iowa
50309
P:515-457-6247

#2300 - COMMERCE CITY, CO
SE CORNER OF E 72ND AVE &
VASQUEZ VLRD

EXTERIOR ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

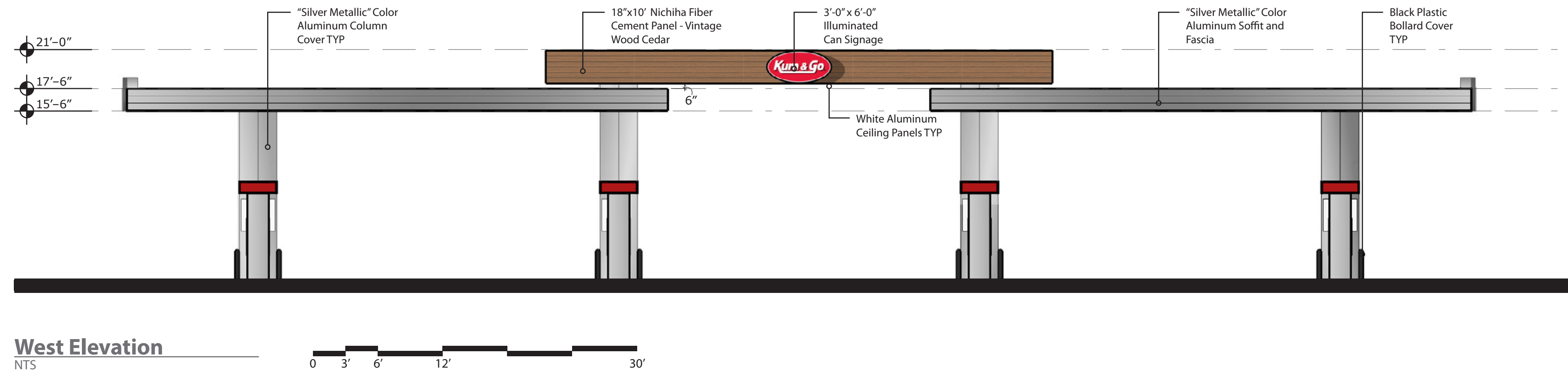
| REVISION DESCRIPTION | DATE | INITIAL SUBMITTAL |
|----------------------|------------|-------------------|
| | 07/07/2022 | |
| | | |
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| | | |

DATE: 06/28/2022

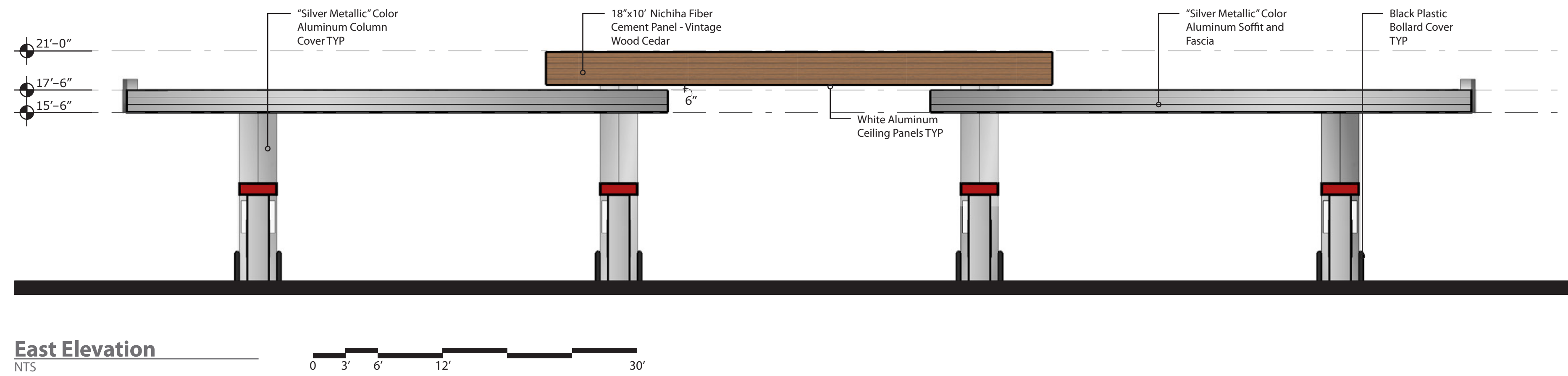
SHEET NUMBER:

Proposed Canopy Signage

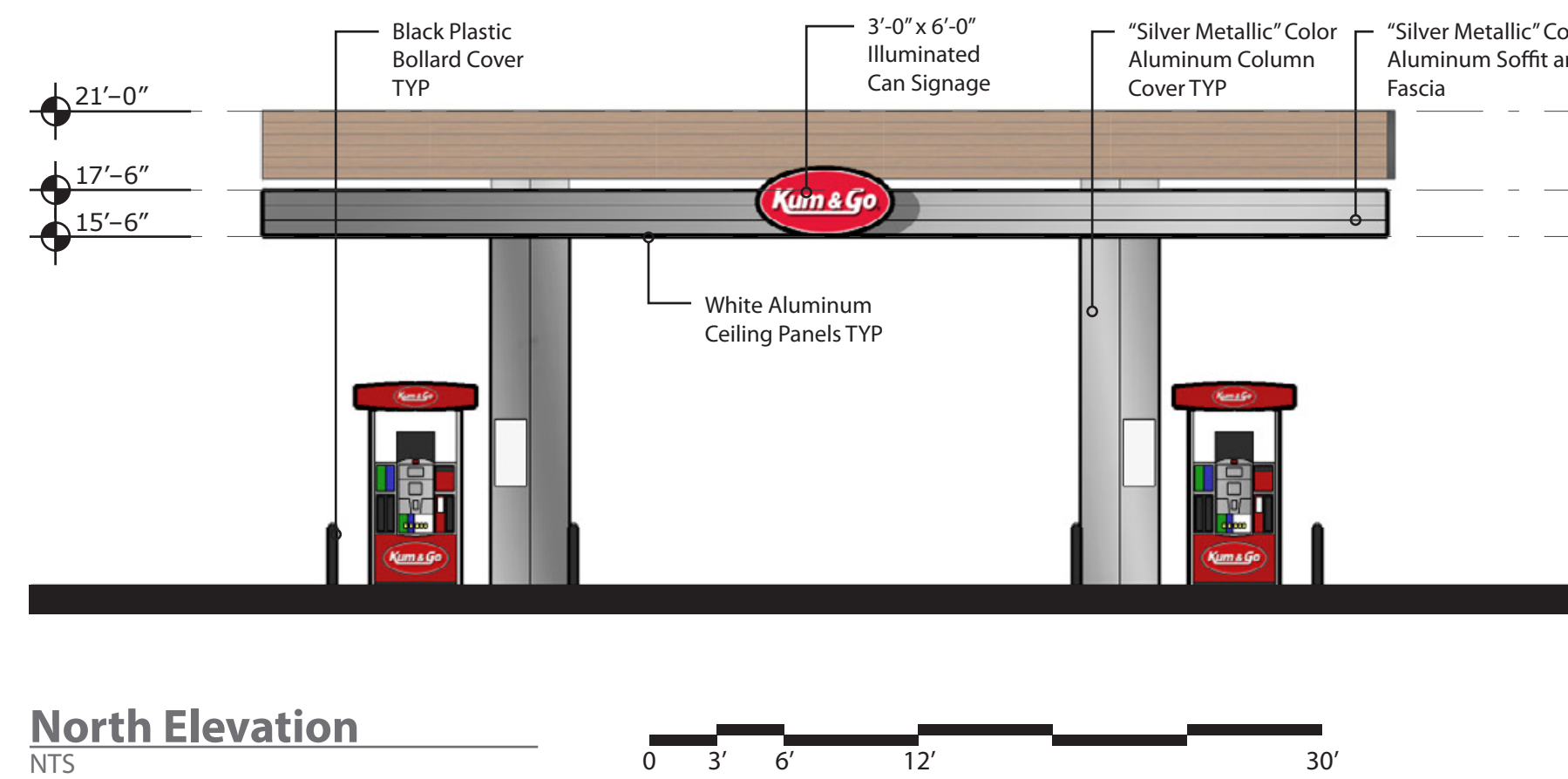
| Location | Sign | Size | Area |
|-----------------|-----------------|---------|--------------|
| West Elevation | "Kum & Go" Sign | 3' x 6' | 18 SF |
| East Elevation | No Signage | --- | 0 SF |
| North Elevation | "Kum & Go" Sign | 3' x 6' | 18 SF |
| South Elevation | "Kum & Go" Sign | 3' x 6' | 18 SF |
| Total | | | 54 SF |



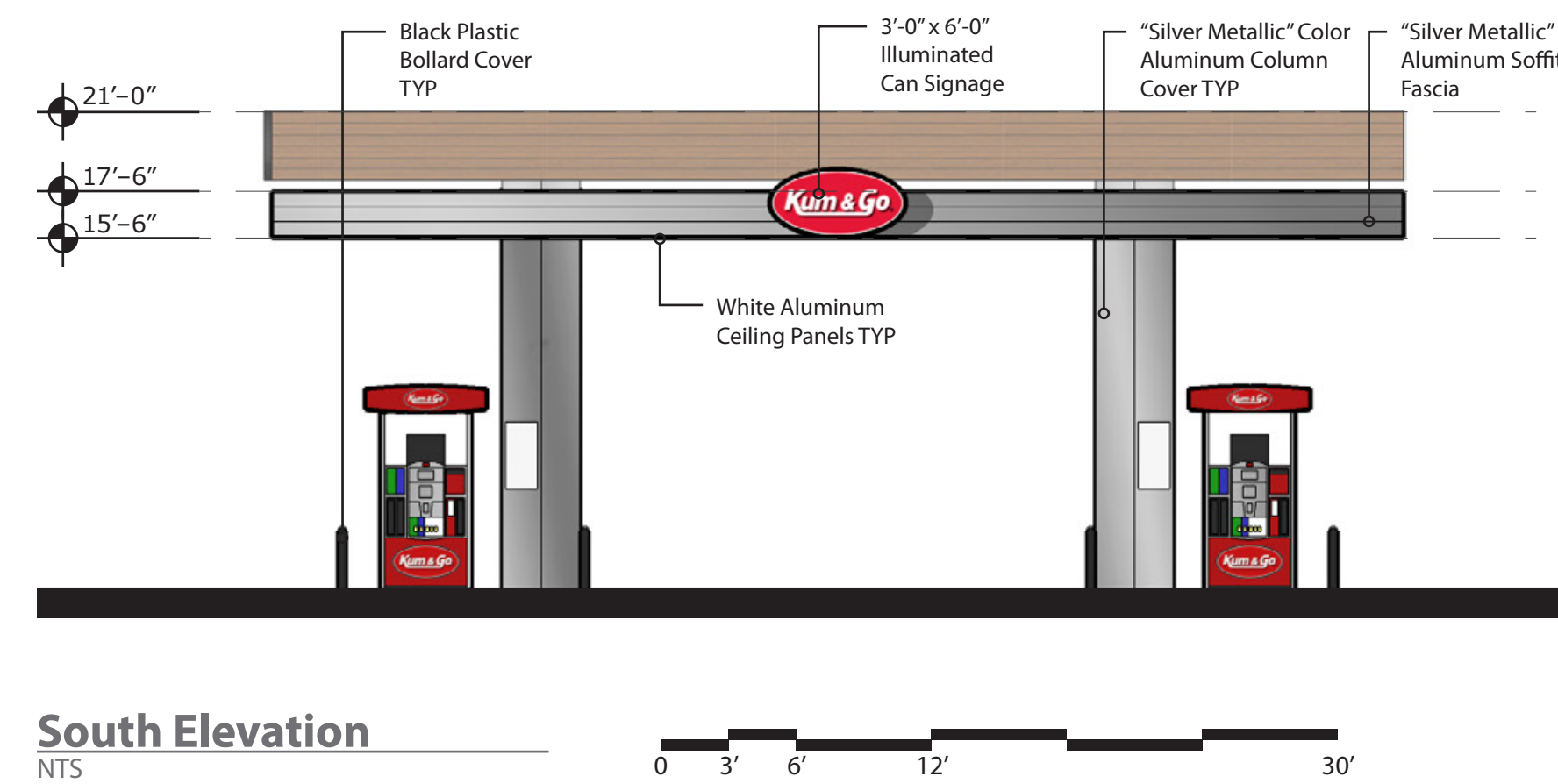
West Elevation
NTS



East Elevation
NTS



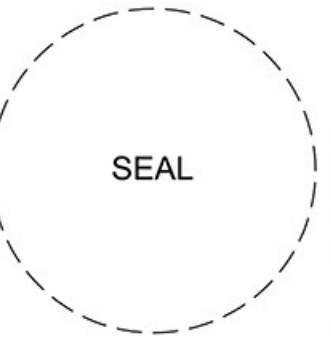
North Elevation
NTS



South Elevation
NTS

brr

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Des Moines, Iowa
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P:515-457-6247

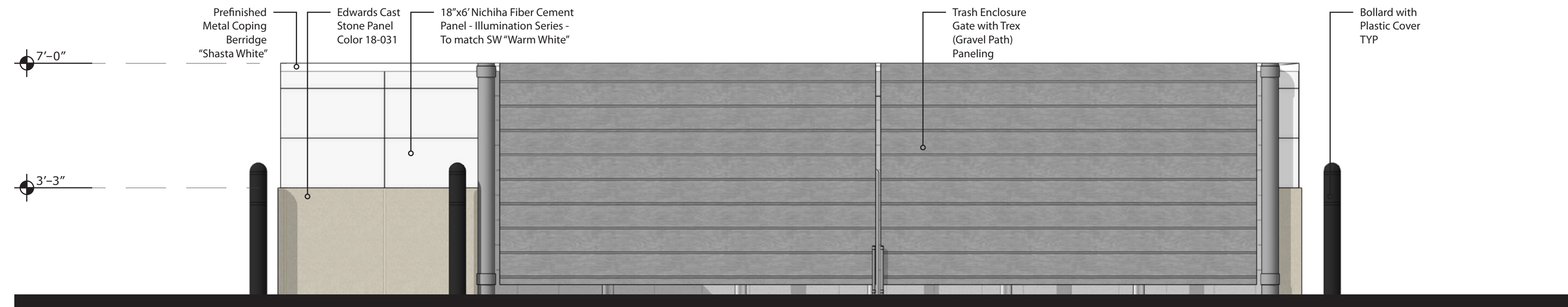
#2300 - COMMERCE CITY, CO
SE CORNER OF E 72ND AVE &
VASQUEZ V/LBD
CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

| REVISION DESCRIPTION | INITIAL | DATE |
|----------------------|---------|------------|
| INITIAL SUBMITTAL | | 07/07/2022 |
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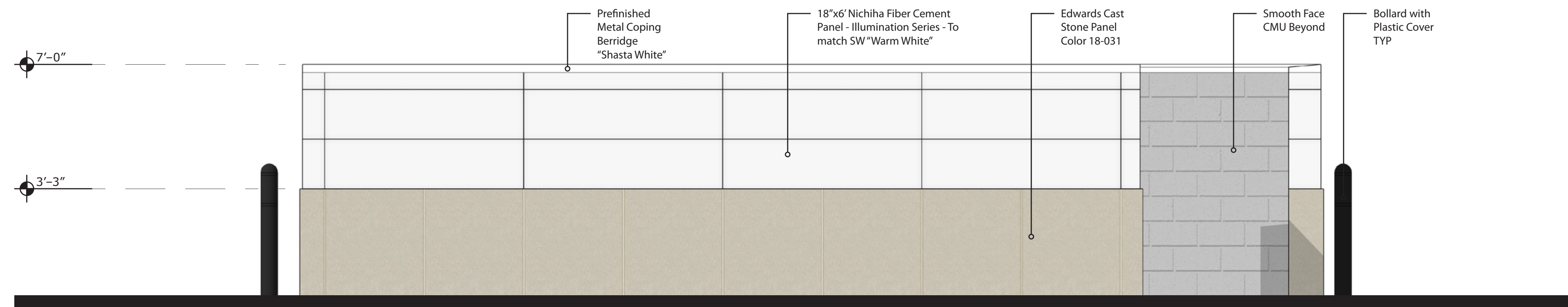
DATE: 06/28/2022

SHEET NUMBER:



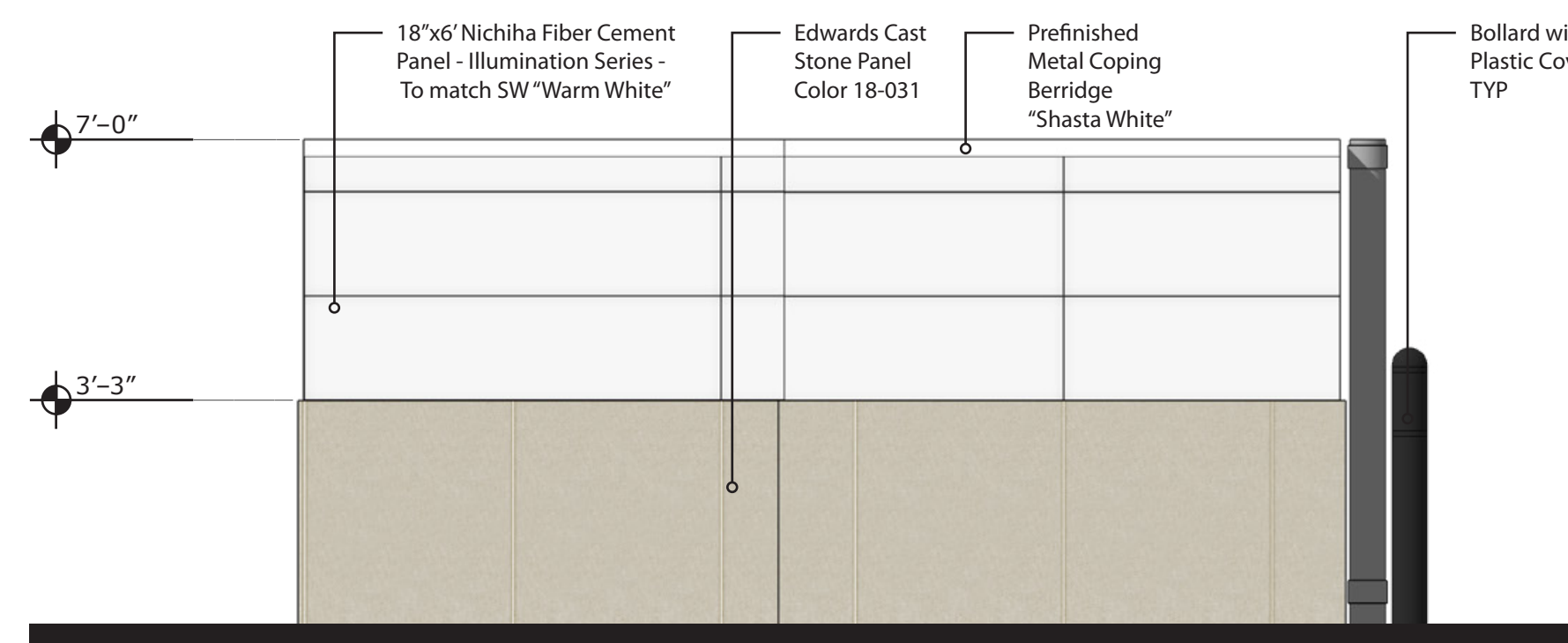
West Elevation

NTS



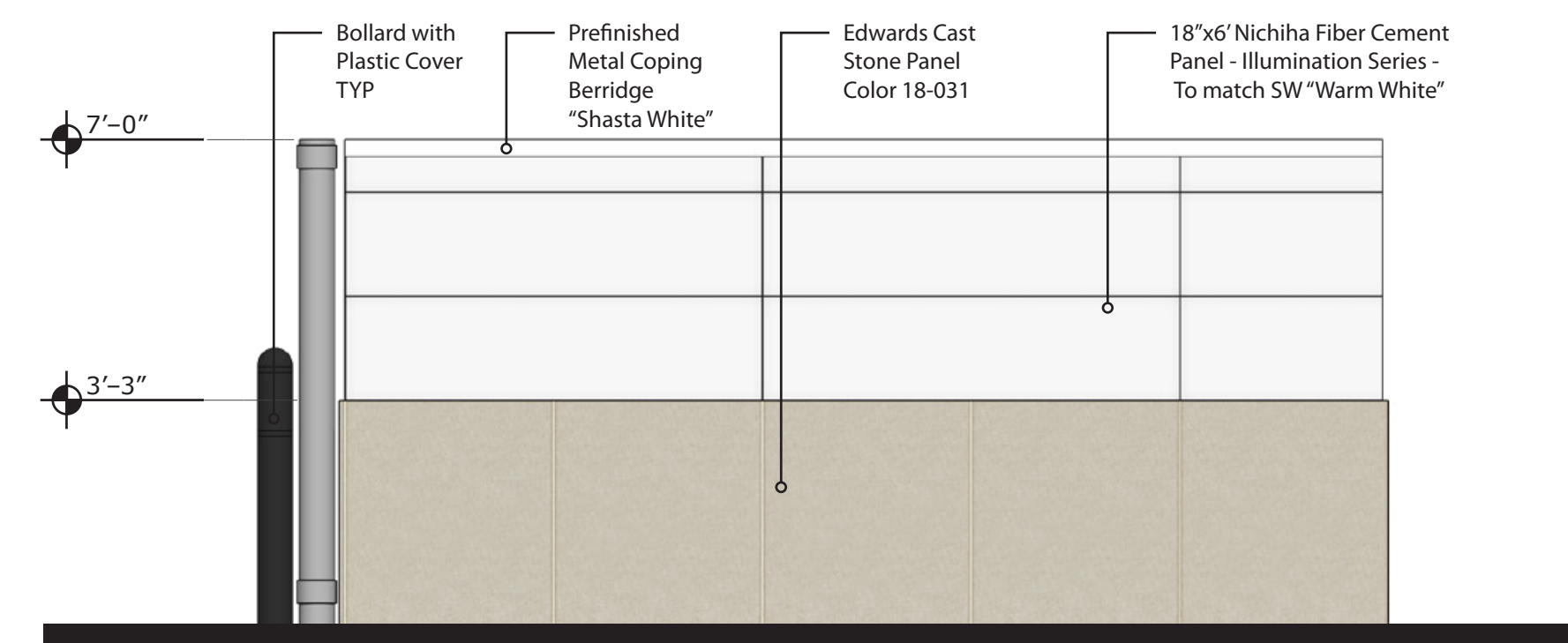
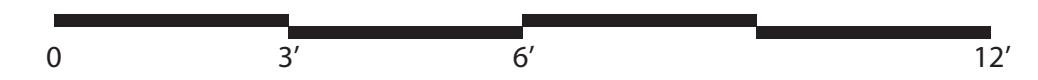
East Elevation

NTS



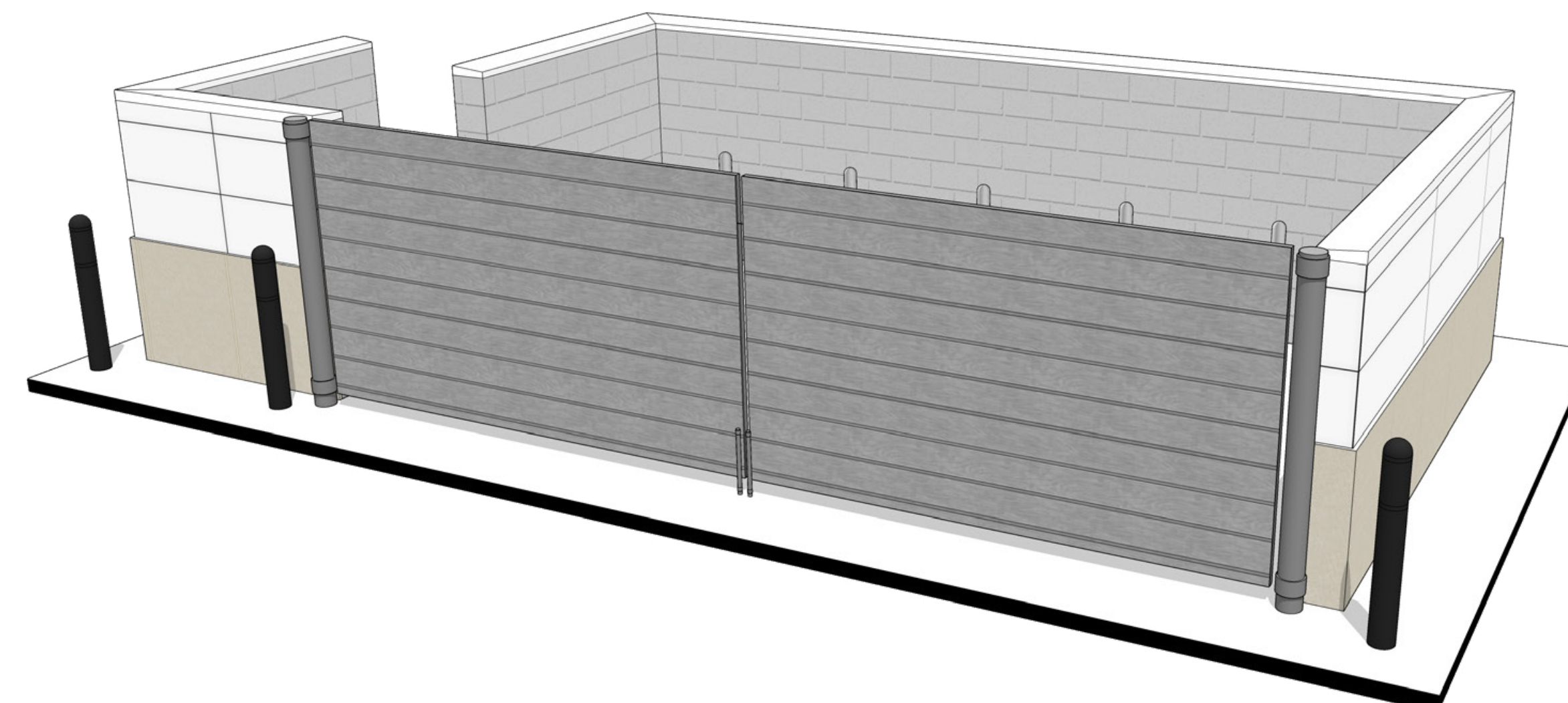
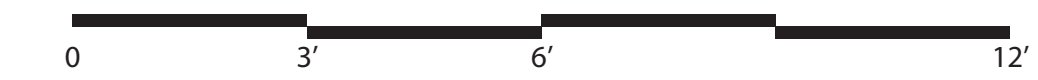
North Elevation

NTS



South Elevation

NTS

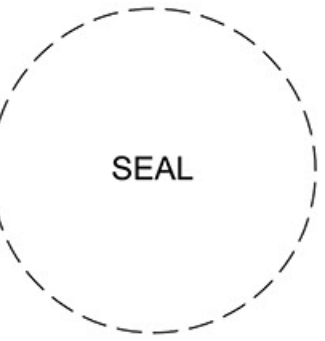


Perspective

NTS

brr

ARCHITECT OF RECORD:
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P:515-457-6247

#2300 - COMMERCE CITY, CO
SE CORNER OF E 72ND AVE &
VASQUEZ V/LBD

TRASH ENCLOSURE ELEVATIONS

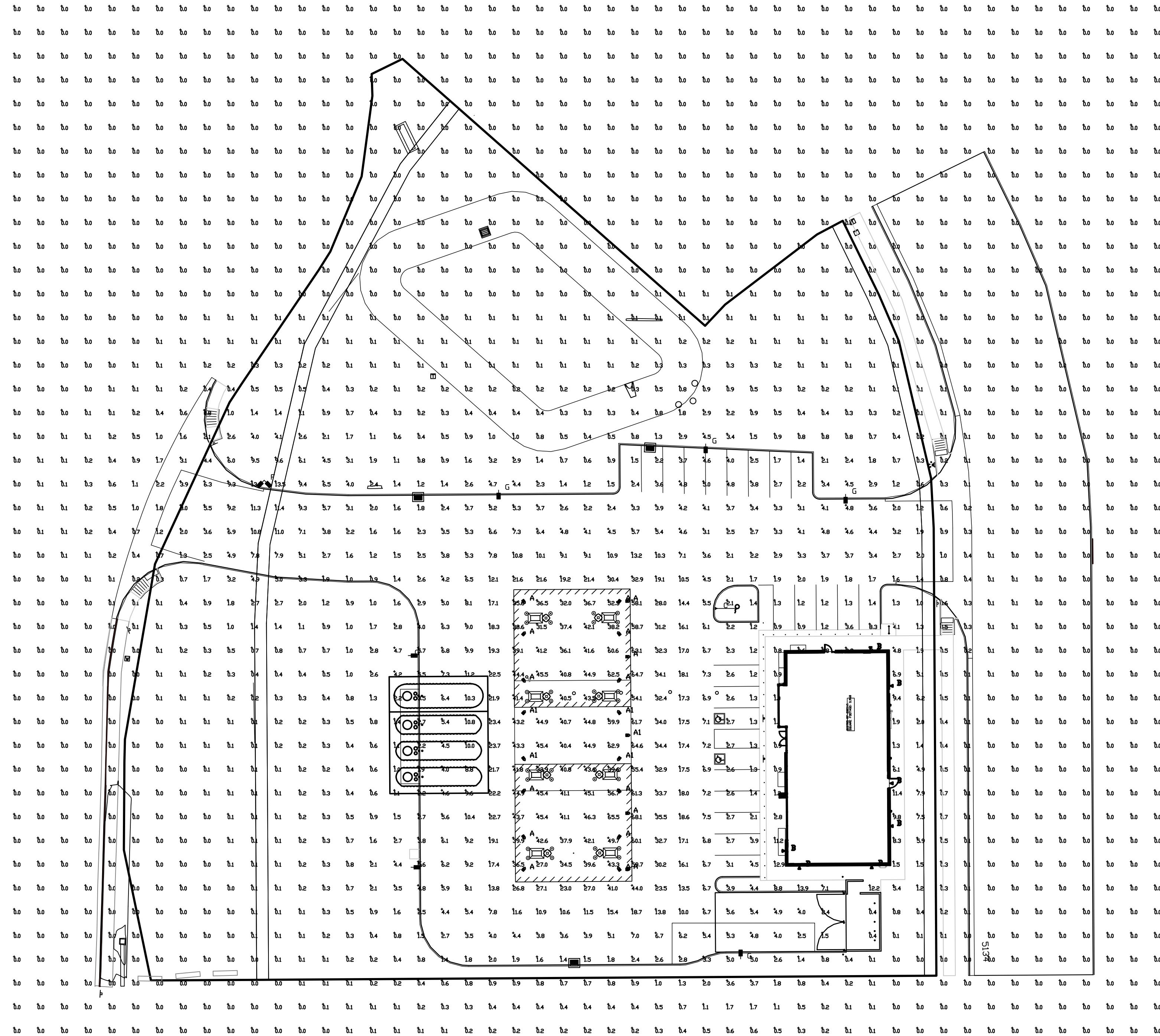
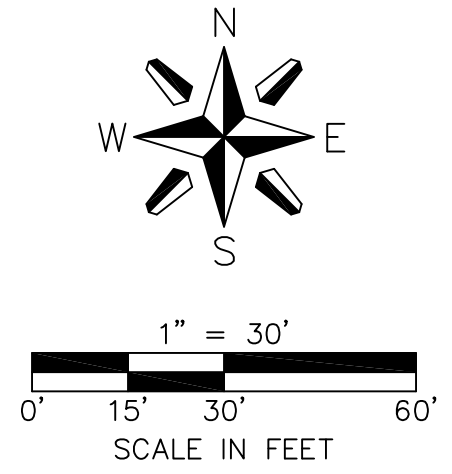
KG PROJECT TEAM:
RDM:
SDM:
CPM:

| REVISION DESCRIPTION | DATE | INITIALS |
|----------------------|------------|----------|
| INITIAL SUBMITTAL | 07/07/2022 | |
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| | | |
| | | |

DATE: 06/28/2022

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**DEVELOPMENT PLAN
KUM & GO GAS AND C-STORE
PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67
WEST OF THE 6th P.M., CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO**



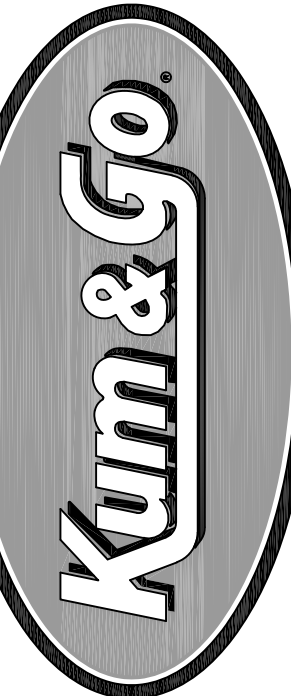
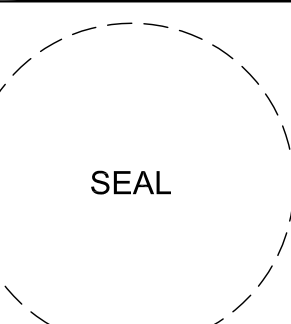
| Luminaire Schedule | | | | | | | | | |
|--------------------|-----|-------|----------------|---|-------|-------|-------|------------------|------------|
| Symbol | Qty | Label | Arrangement | Description | LLD | LDD | LLF | Arr. Lum. Lumens | Arr. Watts |
| | 16 | A | SINGLE | SCV-LED-23L-SCFT-50-15.5' MT HGT | 1.000 | 1.000 | 1.000 | 23101 | 188 |
| | 5 | A1 | SINGLE | SCV-LED-23L-SCFT-50-17.5' MT HGT | 1.000 | 1.000 | 1.000 | 23101 | 188 |
| | 7 | B | SINGLE | WST LED P2 40K VW MVOLT - 11' MH - FIXTURE BY LITHONIA LIGHTING | 1.000 | 1.000 | 1.000 | 3512 | 25 |
| | 1 | C | SINGLE | TLFL-LED-20L- 4' MH | 1.000 | 1.000 | 1.000 | 18768 | 187.91 |
| | 1 | F | 2 @ 90 DEGREES | SLM-LED-18L-SIL-FT-50-70CRI-D90-16'POLE+2.5'BASE | 1.000 | 1.000 | 1.000 | 37808 | 270 |
| | 6 | G | SINGLE | SLM-LED-12L-SIL-FT-50-70CRI-SINGLE-16'POLE+2.5'BASE | 1.000 | 1.000 | 1.000 | 12861 | 85 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|-------|------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ALL CALC POINTS | Illuminance | Fc | 3.03 | 68.1 | 0.0 | N.A. | N.A. |
| CANOPY | Illuminance | Fc | 46.15 | 68.1 | 27.0 | 1.71 | 2.52 |
| INSIDE CURB | Illuminance | Fc | 7.99 | 44.0 | 0.9 | 8.88 | 48.89 |

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



6400 Westown Parkway
West Des Moines, Iowa
50266
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#2300 - COMMERCE CITY, CO
72nd & VASQUEZ
LO-156134 PHOTOMETRIC PLAN

KG PROJECT TEAM:
RDR:
SDM:
CPM:

REVISIONS

DATE: 07/07/2022

DATE: 06-20-22

SHEET NUMBER:

12 OF 12