

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 7, WHENCE THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30 BEARS NORTH 89°20'14" EAST, A DISTANCE OF 2659.56 FEET, WITH ALL BEARINGS HEREON REFERENCED THERETO;

THENCE NORTH 78°04'54" EAST, A DISTANCE OF 384.25 FEET TO THE SOUTHEAST CORNER OF REUNION VILLAGE 8 FILING NO. 1 RECORDED UNDER RECEPTION NO. _____ IN THE OFFICIAL RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, AND THE **POINT OF BEGINNING**;

THENCE ALONG THE EASTERLY BOUNDARY OF SAID REUNION VILLAGE 8 FILING NO. 1 THE FOLLOWING TWENTY (20) COURSES;

1. NORTH 87°46'09" WEST, A DISTANCE OF 118.85 FEET;
2. SOUTH 89°20'14" WEST, A DISTANCE OF 77.67 FEET;
3. NORTH 45°08'14" WEST, A DISTANCE OF 167.92 FEET;
4. NORTH 00°00'00" EAST, A DISTANCE OF 236.91 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 452.00 FEET;
5. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°51'10", AN ARC LENGTH OF 93.51 FEET;
6. NORTH 60°37'36" EAST, A DISTANCE OF 50.18 FEET;
7. NORTH 24°24'34" WEST, A DISTANCE OF 209.83 FEET;
8. NORTH 54°21'57" WEST, A DISTANCE OF 156.36 FEET;
9. NORTH 00°47'26" WEST, A DISTANCE OF 170.27 FEET;
10. NORTH 48°01'31" EAST, A DISTANCE OF 182.50 FEET;
11. NORTH 20°07'14" EAST, A DISTANCE OF 323.93 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 332.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 00°02'11" EAST;
12. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 42°41'35", AN ARC LENGTH OF 247.39 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 25.00 FEET;
13. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 74°46'35", AN ARC LENGTH OF 32.63 FEET;
14. SOUTH 57°52'49" EAST, A DISTANCE OF 5.28 FEET;
15. NORTH 32°07'11" EAST, A DISTANCE OF 65.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 20.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 37°30'22" EAST;
16. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 82°13'34", AN ARC LENGTH OF 28.70 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 332.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 60°31'38" WEST;
17. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°38'15", AN ARC LENGTH OF 67.43 FEET;
18. NORTH 74°45'00" WEST, A DISTANCE OF 64.08 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 268.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 71°32'48" WEST;
19. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 03°12'12", AN ARC LENGTH OF 14.98 FEET;

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

APPLICANT/OWNER

OAKWOOD HOMES
4908 TOWER ROAD
DENVER, CO 80249
(303) 486-8500
CONTACT: JIM HAYES
jhayes@oakwoodhomesco.com

OWNER

DIBC 96TH & POTOMAC LLC
FFP-DIA LLC
1125 17TH ST. UNIT 2500
DENVER, CO 80202
(303) 486-8500
CONTACT: JIM HAYES
jhayes@oakwoodhomesco.com

ENGINEER

CORE CONSULTANTS
1950 W LITTLETON BLVD. #109
LITTLETON, CO 80120
(303) 703-4444
CONTACT: KEVIN ROHRBOUGH
krohrbough@liveyourcore.com

SURVEYOR

JR ENGINEERING
7200 S ALTON WAY C400
CENTENNIAL, CO 80112
(303) 740-9393
CONTACT: DEREK VAGIAS
dvagias@jrengineering.com

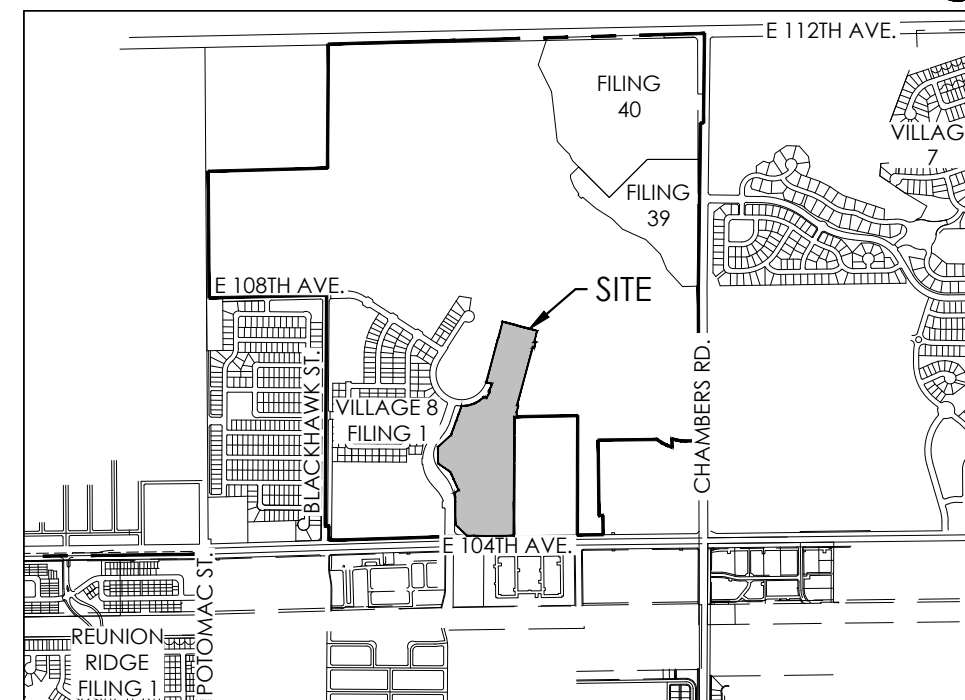
LANDSCAPE ARCHITECT

TERRACINA DESIGN
10200 E. GIRARD AVE
BLDG A, UNIT 314
DENVER, CO 80231
(303) 632-8867
CONTACT: SARAH MOLL
smoll@terracedesign.com

PLANNER

TERRACINA DESIGN
10200 E. GIRARD AVE
BLDG A, UNIT 314
DENVER, CO 80231
(303) 632-8867
CONTACT: JEFF MARCK
jmarck@terracedesign.com

VICINITY MAP



KEY MAP



LEGAL DESCRIPTION

20. NORTH 15°15'00" EAST, A DISTANCE OF 640.33 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY, SOUTH 74°47'42" EAST, A DISTANCE OF 372.41 FEET;

THENCE SOUTH 15°12'18" WEST, A DISTANCE OF 120.00 FEET;

THENCE SOUTH 74°49'28" EAST, A DISTANCE OF 15.00 FEET;

THENCE SOUTH 15°12'18" WEST, A DISTANCE OF 54.01 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 15°12'18" WEST;

THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°59'42", AN ARC LENGTH OF 23.56 FEET;

THENCE SOUTH 15°12'18" WEST, A DISTANCE OF 600.11 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 15.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 92°44'16", AN ARC LENGTH OF 24.28 FEET;

THENCE SOUTH 16°24'17" WEST, A DISTANCE OF 64.14 FEET;

THENCE SOUTH 01°01'04" EAST, A DISTANCE OF 52.03 FEET;

THENCE SOUTH 88°58'56" WEST, A DISTANCE OF 25.21 FEET;

THENCE SOUTH 00°24'02" WEST, A DISTANCE OF 1,239.43 FEET TO THE NORTHERLY RIGHT-OF-WAY OF 104TH AVENUE RECORDED AT RECEPTION NO. 2007000099511 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, SOUTH 89°20'14" WEST, A DISTANCE OF 289.42 FEET TO THE **POINT OF BEGINNING**;

CONTAINING AN AREA OF 27.359 ACRES, (1,191,743 SQUARE FEET), MORE OR LESS.

GENERAL NOTES

LIGHTING NOTE:

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE:

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE:

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE:

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

FENCING NOTE:

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE:

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICANS WITH DISABILITIES NOTE:

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE:

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET INDEX

ORDER	SHEET NUMBER	SHEET NAME
1-2	L1.0-L1.1	COVER
3	L1.2	EXISTING CONDITIONS
4	L1.3	OVERALL SITE PLAN
5	L1.4	OVERALL LANDSCAPE PLAN
6-8	L1.5-L1.7	LANDSCAPE PLANS
9-10	L1.8-L1.9	LANDSCAPE NOTES & DETAILS
11-17	L2.1-L2.7	PRODUCT TYPICALS
18-19	L3.1-L3.2	FENCING PLAN
20-21	L4.1-L4.2	FACADE PLAN
22-23	L5.1-L5.2	PARKING PLAN
24-25	L6.1-L6.2	SETBACK PLAN

NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

06/24/2022

REVISION DATES

SHEET TITLE

COVER

SHEET NUMBER

L1.0

SHEET 1 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

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EXISTING ZONING

REUNION PUD RES-2 AND REUNION PUD MIXED USE

SITE DATA TABLE

SITE DATA	
TOTAL PLAT ACREAGE	27.359
GROSS ACREAGE	27.359
NET ACREAGE	20.455
NUMBER OF LOTS	116
NUMBER OF TRACTS	7
GROSS DENSITY (DU/AC)	4.2
NET DENSITY (DU/AC)	5.7

NOTES:

- GROSS ACREAGE IS THE TOTAL PLAT ACREAGE MINUS FUTURE DEVELOPMENT TRACTS. THERE ARE NO FUTURE DEVELOPMENT TRACTS IN THIS PUD.
- NET ACREAGE IS THE ACREAGE OF THE LOTS ONLY (SEE TRACT TABLE).
- THIS DEVELOPMENT HAS 116 RESIDENTIAL LOTS, AND ONE (1) LOT DESIGNATED FOR FUTURE DEVELOPMENT. DENSITY CALCULATIONS ABOVE ARE BASED ON THE 116 RESIDENTIAL LOTS.

OPEN SPACE TABLE

OPEN SPACE DATA	
GROSS SITE ACREAGE	27.359
OPEN SPACE REQUIRED (ACRES)	0.821
OPEN SPACE PROVIDED (ACRES)	1.252

NOTES:

- REQUIRED OPEN SPACE IS CALCULATED AS 3% OF THE GROSS ACREAGE IN THE SITE DATA CHART ABOVE.

TRACT TABLE

TRACT	AREA (S.F.±)	AREA (AC)	OPEN SPACE (AC)	USE	OWNERSHIP	MAINTAINED BY
A	4,756	0.109	0.109	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
B	8,093	0.186	0.186	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
C	3,973	0.091	0.091	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
D	4,200	0.096	0.096	OPEN SPACE, DRAINAGE, UTILITIES, ACCESS	RMD	RMD
E	21,445	0.492	0.492	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
F	12,101	0.278	0.278	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
G	226,583	5.202	0.000	ACCESS, UTILITIES, DRAINAGE, PRIVATE ROW	RMD	RMD
TOTAL OPEN SPACE			1.252			
TOTAL TRACT AREA	281,151	6.904				
TOTAL LOT AREA	910,592	20.455				
PUBLIC ROW AREA	0	0.000				
TOTAL SITE AREA	1,191,743	27.359				

RMD = REUNION METROPOLITAN DISTRICT
 CLAYTON = CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION
 CCC=CITY OF COMMERCE CITY

THIS SUBDIVISION PLAT CONTAINS 117 LOTS AND 7 TRACTS

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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SHEET TITLE

COVER

SHEET NUMBER

L1.1

SHEET 2 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

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EXISTING CONDITIONS

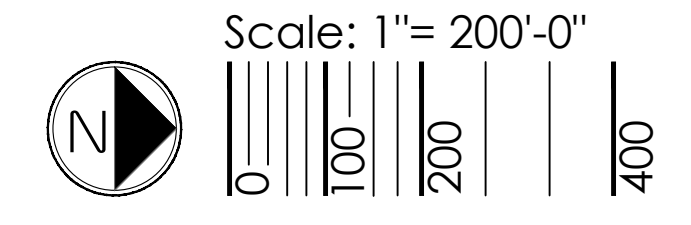
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L1.2

SHEET 3 OF 25

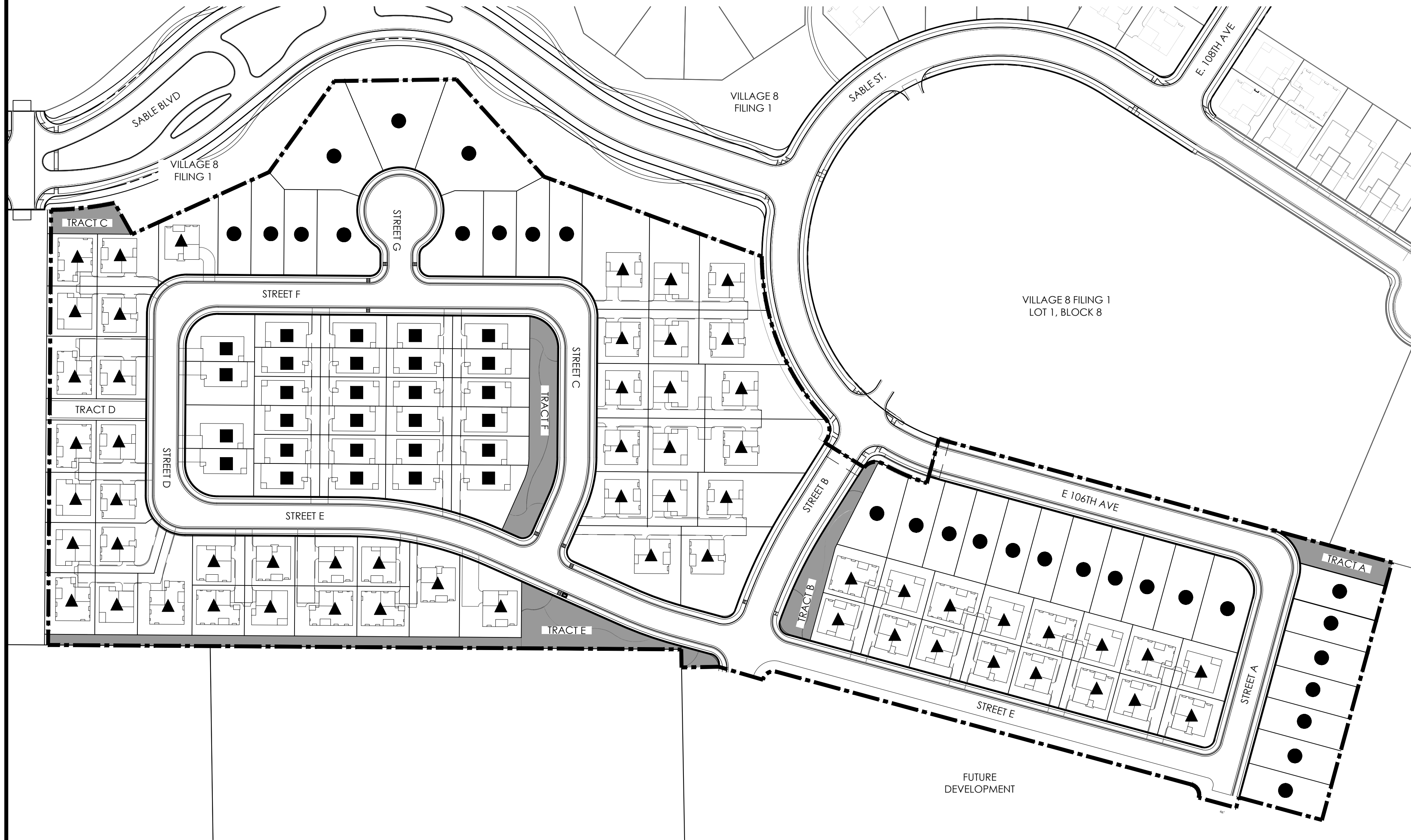
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT



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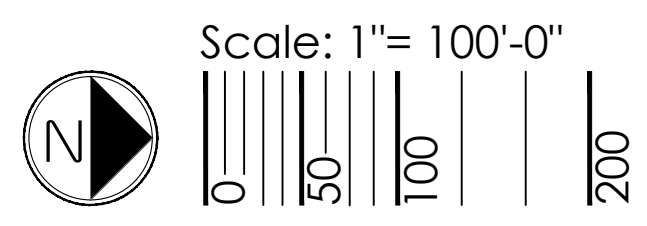
SHEET TITLE

OVERALL
SITE
PLAN

SHEET NUMBER

L1.3

SHEET 4 OF 25



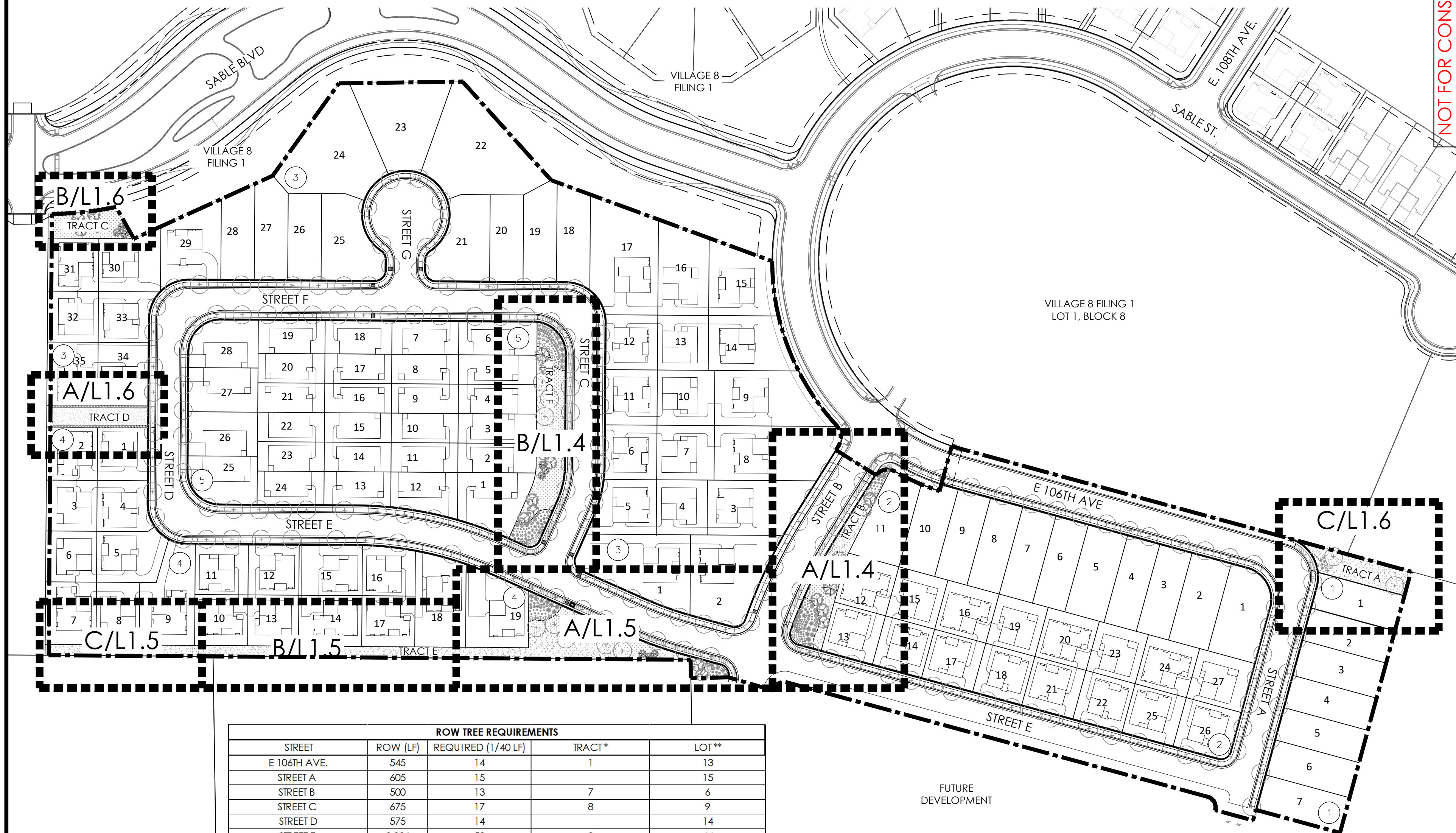
- LEGEND**
- ▲ BUNGALOW
 - FAIRMOUNT
 - SINGLE FAMILY
 - - - PROPERTY LINE
 - PRIVATE OPEN SPACE

CITY STAFF CERTIFICATE
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ROW TREE REQUIREMENTS				
STREET	ROW (LF)	REQUIRED (1/40 LF)	TRACT*	LOT**
E 106TH AVE.	545	14	1	13
STREET A	605	15		15
STREET B	500	13	7	6
STREET C	675	17	8	9
STREET D	575	14		14
STREET E	2,086	52	8	44
STREET F	1,120	28	1	27
STREET G	330	8		8
SUB-TOTAL		161		
		TOTAL REQUIRED	TOTAL PROPOSED	
		161	161	

- ROW CALCULATION EXCLUDES DRIVEWAYS AND SIDEWALKS WHERE THEY INTERSECT WITH ROW, INTERSECTIONS, AND ROW WITH EXISTING TREES.
- CERTAIN TREES MAY NOT BE IN THE ROW DUE TO SITE RESTRICTIONS, (LIGHTS/HYDRANTS/UTILITIES). SUCH TREES ARE LOCATED AS CLOSE TO THE ROW AS POSSIBLE.
- DECIDUOUS SHADE TREES, DECIDUOUS ORNAMENTAL TREES AND EVERGREEN TREES ARE INCLUDED IN TOTAL COUNTS.
- FINAL LOCATION AND SPECIES OF ROW TREES ADJACENT TO SINGLE FAMILY CLUSTER LOTS, WILL BE DETERMINED AND INSTALLED BY THE VERTICAL HOMEBUILDER/HOMEOWNER.

*TRACT TREES ARE THOSE THAT ARE ADJACENT TO REUNION METRO DISTRICT TRACTS AND WILL BE INSTALLED BY DEVELOPER.
 **LOT TREES ARE THOSE ADJACENT TO RESIDENTIAL LOTS AND WILL BE SPECIFIED AND PLANTED BY VERTICAL HOMEBUILDER (NOT INCLUDED IN MONOCULTURE TABLES.)

OTHER TREES AND SHRUBS	
OTHER TREES AND SHRUBS	PROPOSED
TREES	40
SHRUBS	125

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ISSUE DATE
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REVISION DATES

SHEET TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

L1.4

SHEET 5 OF 25

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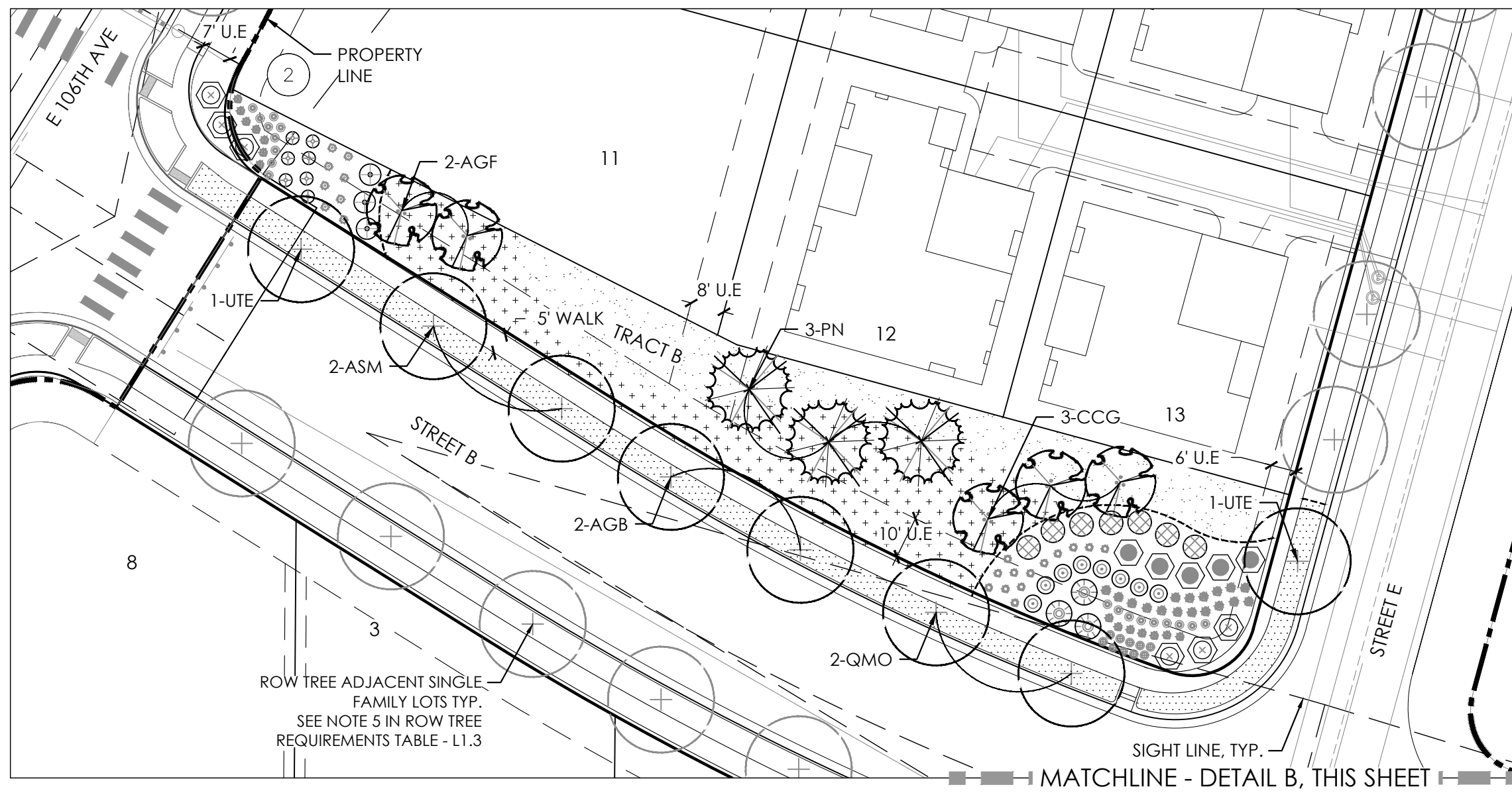
SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.5

SHEET 6 OF 25



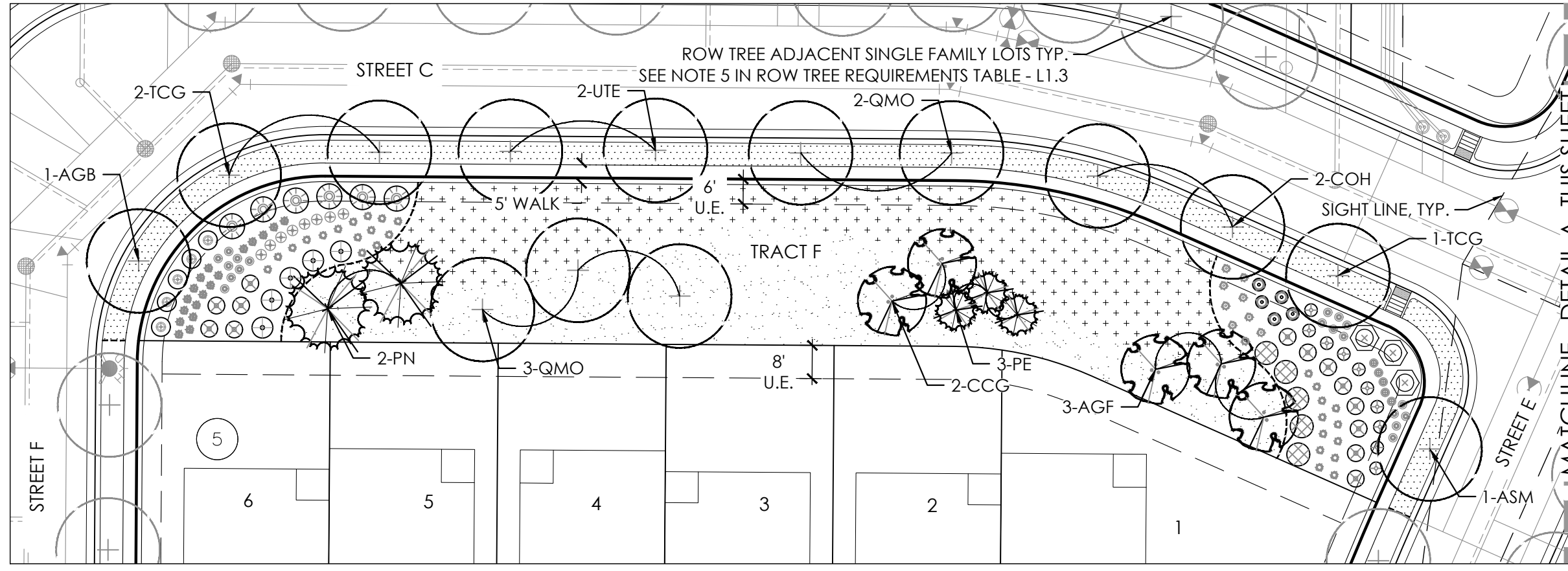
LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DROUGHT TOLERANT SOD
- NATIVE SEED
- LOW GROW NATIVE SEED
- ROCK MULCH
- CONCRETE
- STEEL EDGER
- STREET LIGHT
- FIRE HYDRANT
- MAIL KIOSK

TREE SCHEDULE

KEY	COMMON NAME
DECIDUOUS SHADE TREES	
AGB	BUCKEYE, OHIO
ASM	MAPLE, GREEN MOUNTAIN
COH	HACKBERRY, WESTERN
GTI	HONEYLOCUST, IMPERIAL
QMO	OAK, BUR
TCG	LINDEN, GREENSPIRE
UTE	ELM, TRIUMPH
EVERGREEN TREES	
PE	PINE, PINON
PN	PINE, AUSTRIAN
PP	PINE, PONDEROSA
ORNAMENTAL SHADE TREES	
AGF	MAPLE, GINNALA 'FLAME'
CCG	HAWTHORN, THORNLESS COCKSPUR
MIM	CRABAPPLE, INDIAN SUMMER

A

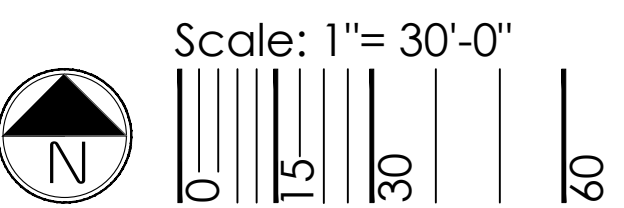
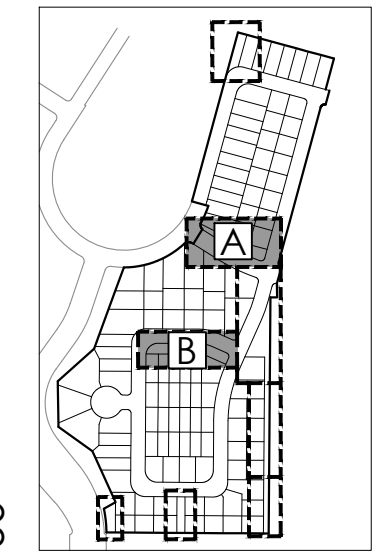


B

UNDERSTORY LEGEND

- | | |
|--|---|
| DECIDUOUS SHRUBS | EVERGREEN SHRUBS |
| <ul style="list-style-type: none"> ⊙ (ACL) LEADPLANT ⊙ (BTB) BARBERRY, BURGUNDY CAROUSEL ⊙ (CAT) COTTONEASTER, TOM'S THUMB ⊙ (CCM) SMOKE TREE, WITCHCRAFT BLACK ⊙ (ENR) RABBITBRUSH, DWARF BLUE ⊙ (FAP) APACHE PLUME ⊙ (PAR) SAGE, RUSSIAN ⊙ (PBP) SAND CHEERY, PAWNEE BUTTES ⊙ (RNW) ROSE, NEARLY WILD | <ul style="list-style-type: none"> ⊙ (JHB) JUNIPER, BAR HARBOUR ⊙ (JMP) JUNIPER, COMPACT PFITZER |
| PERENNIALS | ORNAMENTAL GRASSES |
| <ul style="list-style-type: none"> ⊙ (ARS) HYSSOP, SUNSET ⊙ (GLW) WHIRLING BUTTERFLIES ⊙ (SSM) SALIVIA, MAY NIGHT | <ul style="list-style-type: none"> ⊙ (CAK) FEATHER REED GRASS ⊙ (PVH) SWITCHGRASS, HEAVY METAL ⊙ (SHP) PRAIRIE DROPSEED ⊙ (SSB) LITTLE BLUESTEM GRASS |

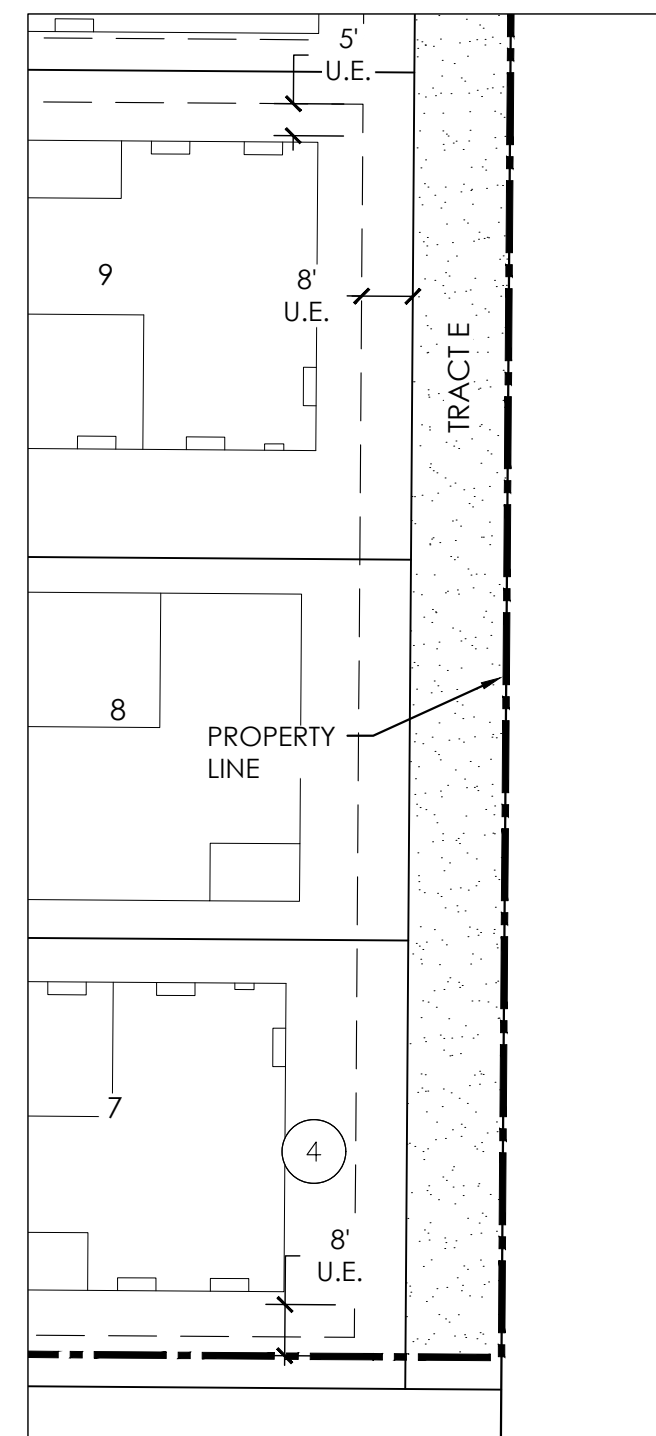
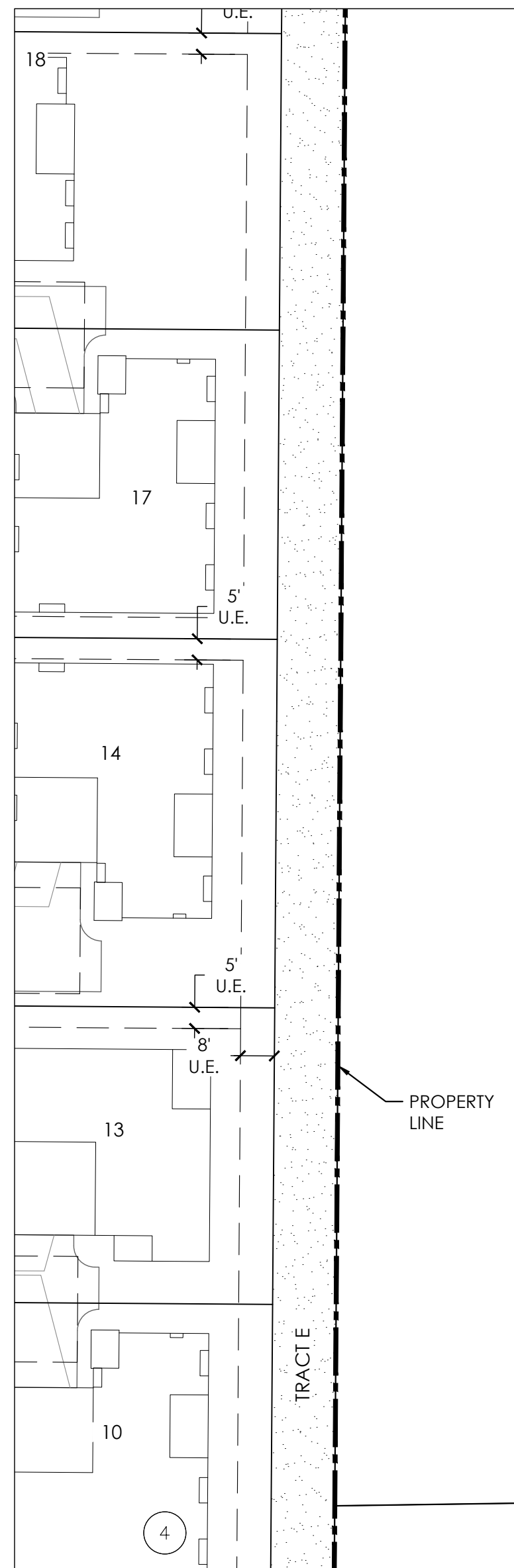
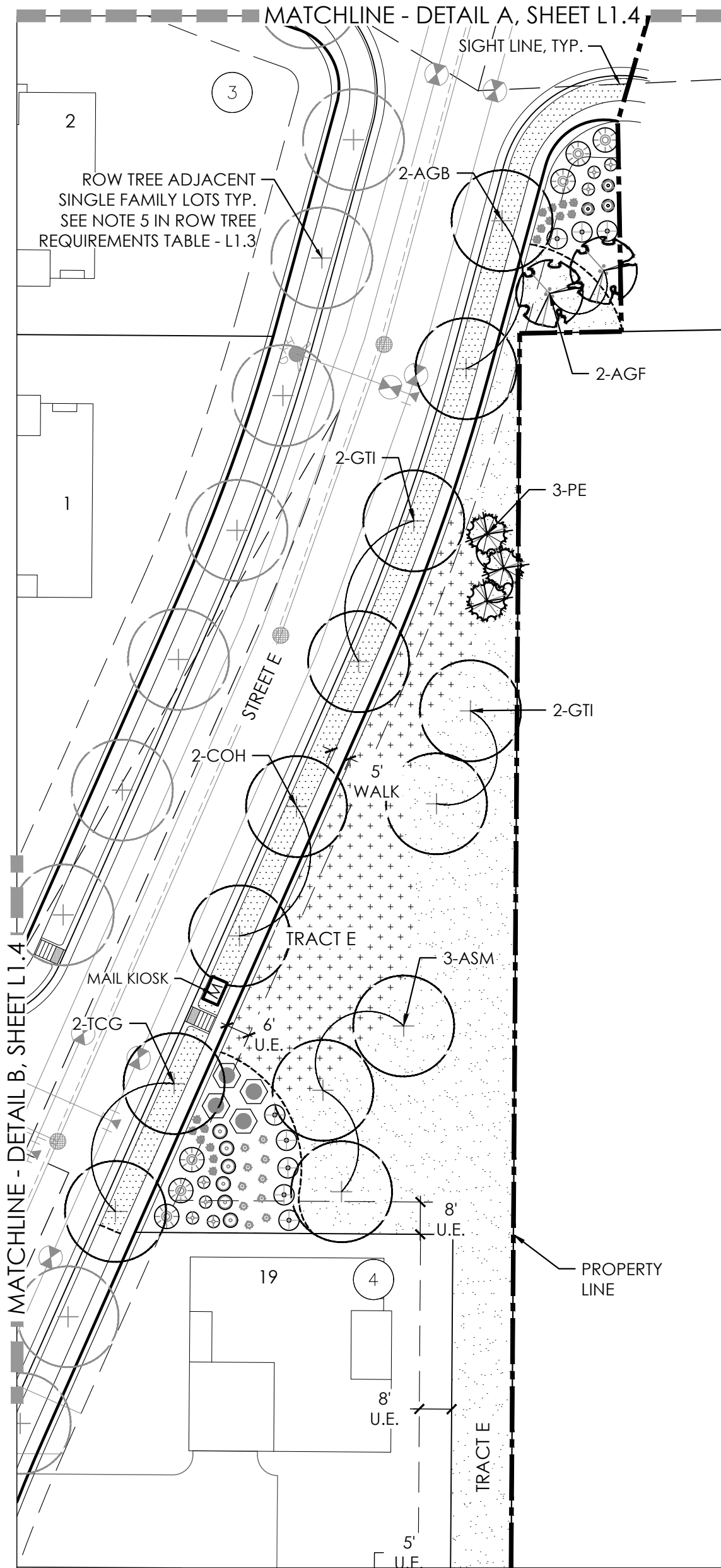
KEY MAP



CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.
DEPARTMENT OF COMMUNITY DEVELOPMENT

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DROUGHT TOLERANT SOD
- NATIVE SEED
- LOW GROW NATIVE SEED
- ROCK MULCH
- CONCRETE
- STEEL EDGER
- STREET LIGHT
- FIRE HYDRANT
- MAIL KIOSK

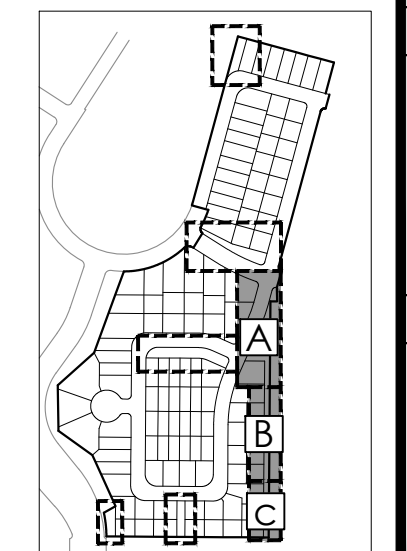
TREE SCHEDULE

KEY	COMMON NAME
DECIDUOUS SHADE TREES	
AGB	BUCKEYE, OHIO
ASM	MAPLE, GREEN MOUNTAIN
COH	HACKBERRY, WESTERN
GTI	HONEYLOCUST, IMPERIAL
QMO	OAK, BUR
TCG	LINDEN, GREENSPIRE
UTE	ELM, TRIUMPH
EVERGREEN TREES	
PE	PINE, PINON
PN	PINE, AUSTRIAN
PP	PINE, PONDEROSA
ORNAMENTAL SHADE TREES	
AGF	MAPLE, GINNALA 'FLAME'
CCG	HAWTHORN, THORNLESS COCKSPUR
MIM	CRABAPPLE, INDIAN SUMMER

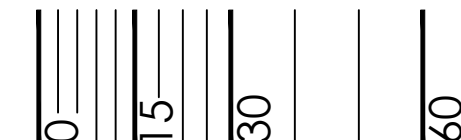
UNDERSTORY LEGEND

- | | |
|---------------------------------|----------------------------------|
| DECIDUOUS SHRUBS | EVERGREEN SHRUBS |
| ⊙ (ACL) LEADPLANT | ⊙ (JHB) JUNIPER, BAR HARBOUR |
| ⊙ (BTB) BARBERRY, | ⊙ (JMP) JUNIPER, COMPACT PFITZER |
| ⊙ (BUR) BURGUNDY CAROUSEL | PERENNIALS |
| ⊙ (CAT) COTTONEASTER, | ⊙ (ARS) HYSSOP, SUNSET |
| ⊙ (TOM) TOM'S THUMB | ⊙ (GLW) WHIRLING BUTTERFLIES |
| ⊙ (CCM) SMOKE TREE, | ⊙ (SSM) SALVIA, MAY NIGHT |
| ⊙ (WIT) WITCHCRAFT BLACK | ORNAMENTAL GRASSES |
| ⊙ (ENR) RABBITBRUSH, DWARF BLUE | ⊙ (CAK) FEATHER REED GRASS |
| ⊙ (FAP) APACHE PLUME | ⊙ (PVH) SWITCHGRASS, HEAVY METAL |
| ⊙ (PAR) SAGE, RUSSIAN | ⊙ (SHP) PRAIRIE DROPSIDE |
| ⊙ (PBP) SAND CHEERY, | ⊙ (SSB) LITTLE BLUESTEM GRASS |
| ⊙ (PAW) PAWNEE BUTTES | |
| ⊙ (RNW) ROSE, NEARLY WILD | |

KEY MAP



Scale: 1" = 30'-0"



NOT FOR CONSTRUCTION



ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

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ISSUE DATE
06/24/2022

REVISION DATES

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.6

SHEET 7 OF 25

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Know what's below. Call before you dig.

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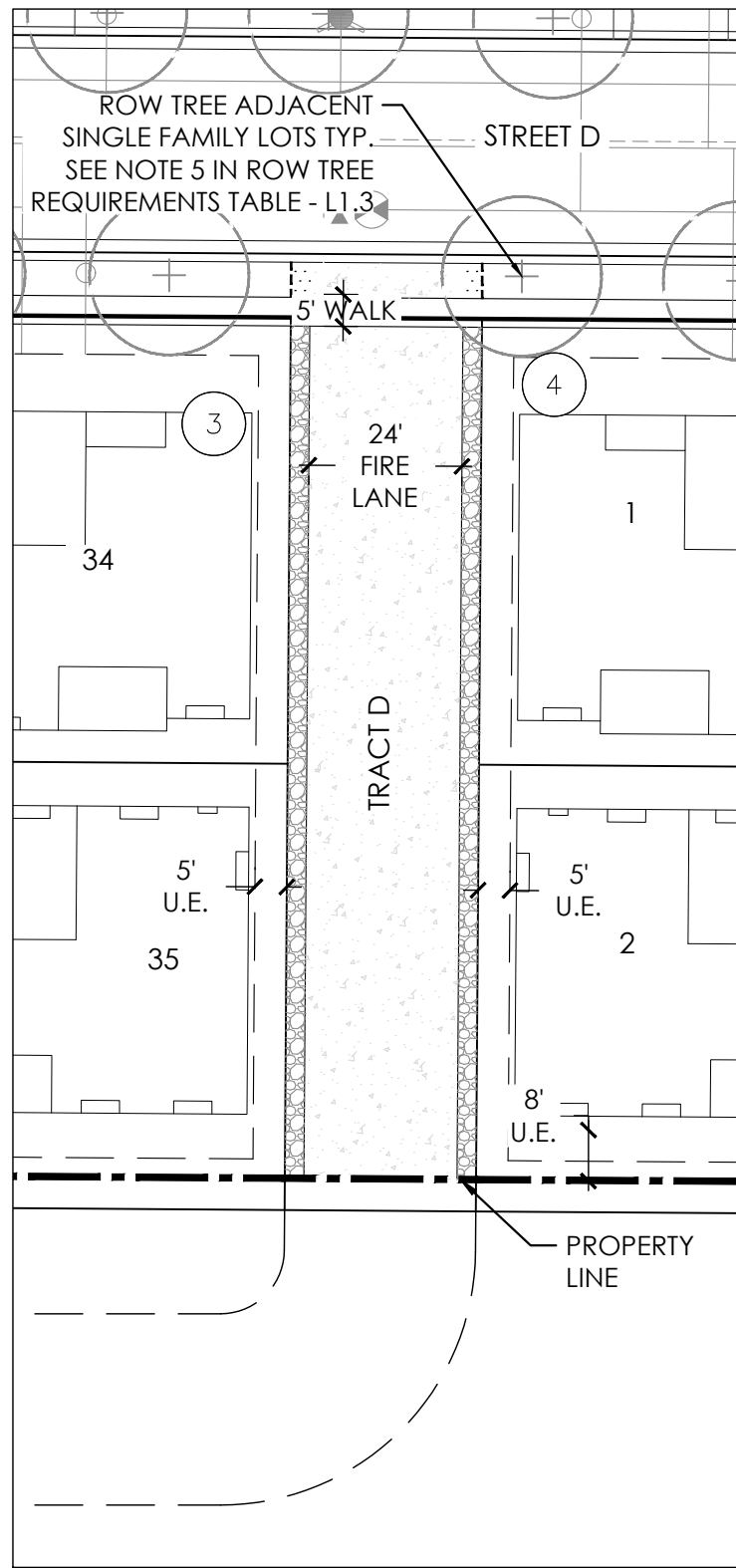
SHEET TITLE

LANDSCAPE PLAN

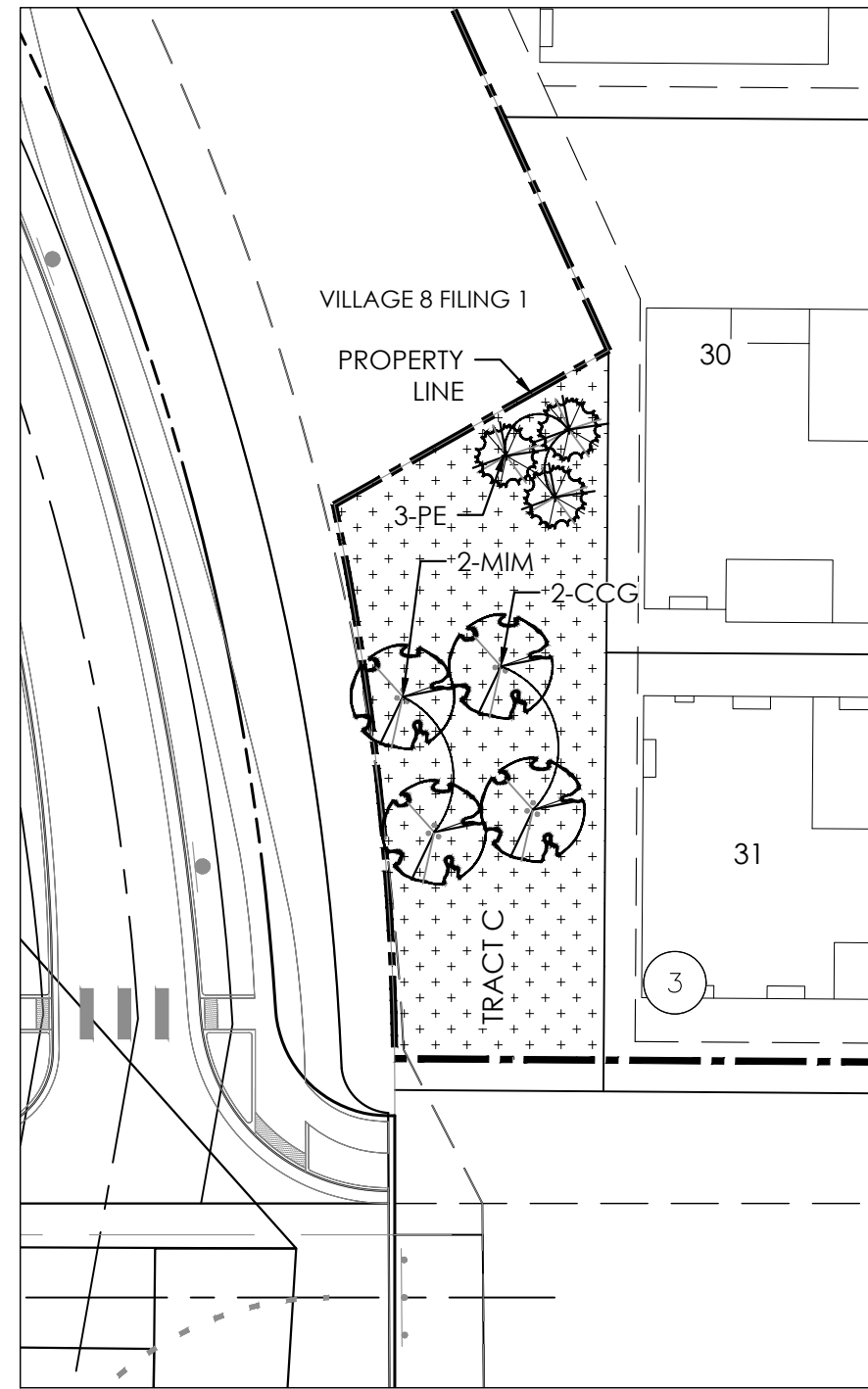
SHEET NUMBER

L1.7

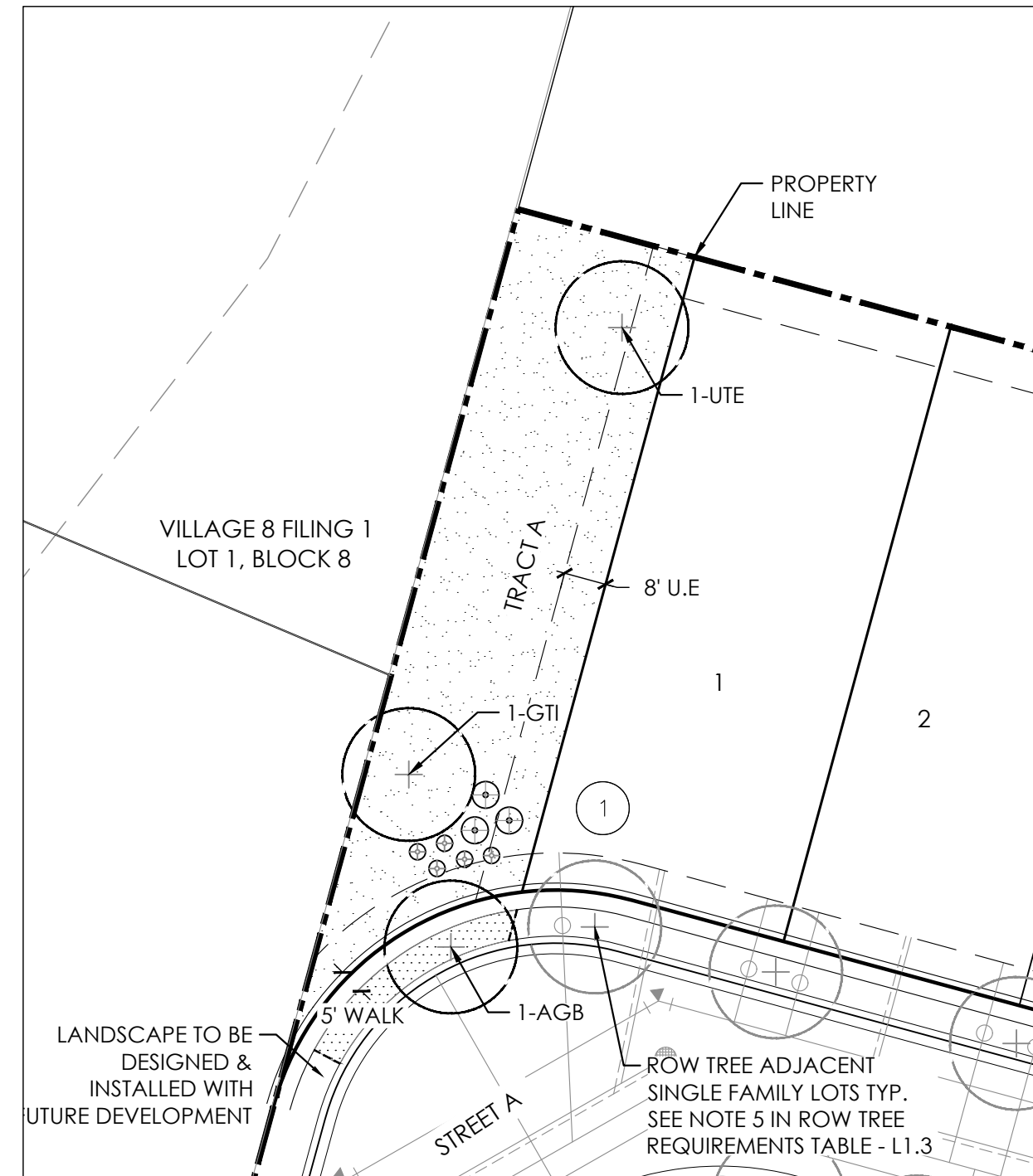
SHEET 8 OF 25



A



B



C

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DROUGHT TOLERANT SOD
- NATIVE SEED
- LOW GROW NATIVE SEED
- ROCK MULCH
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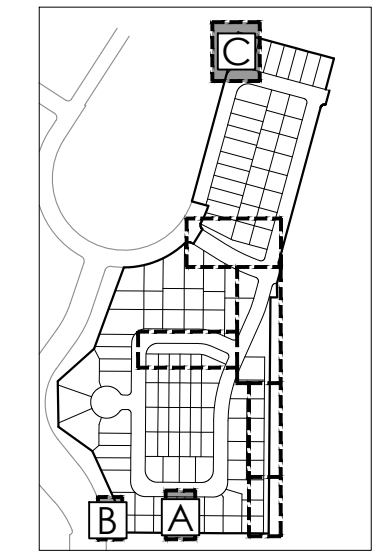
TREE SCHEDULE

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ASM	MAPLE, GREEN MOUNTAIN
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QMO	OAK, BUR
TCG	LINDEN, GREENSPIRE
UTE	ELM, TRIUMPH
EVERGREEN TREES	
PE	PINE, PINON
PN	PINE, AUSTRIAN
PP	PINE, PONDEROSA
ORNAMENTAL SHADE TREES	
AGF	MAPLE, GINNALA 'FLAME'
CGG	HAWTHORN, THORNLESS COCKSPUR
MIM	CRABAPPLE, INDIAN SUMMER

UNDERSTORY LEGEND

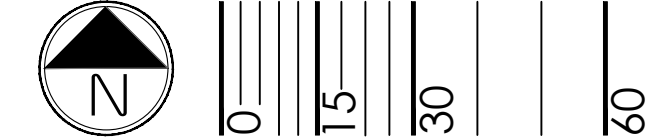
- | | |
|--|--|
| DECIDUOUS SHRUBS | EVERGREEN SHRUBS |
| <ul style="list-style-type: none"> ⊙ (ACL) LEADPLANT ⊙ (BTB) BARBERRY, ⊙ BURGUNDY CAROUSEL ⊙ (CAT) COTTONEASTER, ⊙ TOM'S THUMB ⊙ (CCM) SMOKE TREE, ⊙ WITCHCRAFT BLACK ⊙ (ENR) RABBITBRUSH, DWARF BLUE ⊙ (FAP) APACHE PLUME ⊙ (PAR) SAGE, RUSSIAN ⊙ (PBP) SAND CHEERY, ⊙ PAWNEE BUTTES ⊙ (RNW) ROSE, NEARLY WILD | <ul style="list-style-type: none"> ⊙ (JHB) JUNIPER, BAR HARBOUR ⊙ (JMP) JUNIPER, COMPACT PFITZER |
| PERENNIALS | |
| <ul style="list-style-type: none"> ⊙ (ARS) HYSOPO, SUNSET ⊙ (GLW) WHIRLING BUTTERFLIES ⊙ (SSM) SALIVIA, MAY NIGHT | |
| ORNAMENTAL GRASSES | |
| <ul style="list-style-type: none"> ⊙ (CAK) FEATHER REED GRASS ⊙ (PVH) SWITCHGRASS, HEAVY METAL ⊙ (SHP) PRAIRIE DROPS EED ⊙ (SSB) LITTLE BLUESTEM GRASS | |

KEY MAP



N.T.S.

Scale: 1"= 30'-0"



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PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	MONOCULTURE PERCENTAGE	SIZE	TYPE
DECIDUOUS SHADE TREES				</=33% REQUIRED		
6	AGB	AESCULUS GLABRA	BUCKEYE, OHIO	9%	2.0" CAL	B&B
6	ASM	ACER SACCHARUM 'GREEN MOUNTAIN'	MAPLE, SUGAR GREEN MOUNTAIN	9%	2.0" CAL	B&B
4	COH	CELTIS OCCIDENTALIS	HACKBERRY, WESTERN	6%	2.0" CAL	B&B
5	GTI	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL	HONEYLOCUST, IMPERIAL	7%	2.0" CAL	B&B
7	QMO	QUERCUS MACROCARPA	OAK, BUR	10%	2.0" CAL	B&B
5	TCG	TILIA CORDATA GREENSPIRE	LINDEN, GREENSPIRE	7%	2.0" CAL	B&B
5	UTE	ULMUS X TRIUMPH	ELM, TRIUMPH	7%	2.0" CAL	B&B
EVERGREEN TREES						
9	PE	PINUS PONDEROSA	PINE, PONDEROSA	13%	6' HT	B&B
5	PN	PINUS NIGRA	PINE, AUSTRIAN	7%	6' HT	B&B
ORNAMENTAL SHADE TREES						
7	AGF	ACER GINNALA 'FLAME'	MAPLE, FLAME AMUR OR GINNALA	10%	6-8' HT	MULTI
7	CCG	CRATAEGUS CRUS-GALLI INRMIS	HAWTHORN, THORNLESS COCKSPUR	10%	6-8' HT	MULTI
2	MIM	MALUS, 'INDIAN SUMMER'	CRAB APPLE, INDIAN SUMMER	3%	6-8' HT	MULTI
68	TOTAL					
EVERGREEN SHRUBS						
9	JHB	JUNIPERUS HORIZONTALIS 'BAR HARBOUR'	JUNIPER, BAR HARBOUR	3%	#5	CONT
9	JMP	JUNIPERUS X MEDIA 'PFITZERIANA COMPACTA'	JUNIPER, PFITZER	3%	#5	CONT
DECIDUOUS SHRUBS						
6	ACL	AMORPHA CANESCENS	LEADPLANT	2%	#5	CONT
8	BTB	BERBERIS THUNBERGII 'BURGUNDY CAROUSEL'	BARBERRY, 'BURGUNDY CAROUSEL'	3%	#5	CONT
5	CAT	COTONEASTER ADPRESSUS, TOM'S THUMB	COTONEASTER, TOM'S THUMB	2%	#5	CONT
12	CCM	COTINUS COGGYGRIA 'WITCHCRAFT BLACK'	SMOKE TREE, WITCHCRAFT BLACK	4%	#5	CONT
24	ENR	ERICAMERA NAUSEOSA VAR. NAUSEOSA	RABBITBRUSH, DWARF BLUE	8%	#5	CONT
16	FAP	FALLUGIA PARADOXA	APACHE PLUME	5%	#5	CONT
13	PAR	PEROVSKIA ATRIPLICIFOLIA	SAGE, RUSSIAN	4%	#5	CONT
15	PBP	PRUNUS PUMILA BESSEYI 'PAWNEE BUTTES'	SAND CHERRY, PAWNEE BUTTES	5%	#5	CONT
8	RNW	ROSA NEARLY WILD	ROSE, NEARLY WILD	3%	#5	CONT
PERENNIALS						
8	ARS	AGASTACHE RUPESTRIS	HYSSOP, SUNSET	3%	F15	CONT
37	GLW	GAURA LINDHEIMERI	WHIRLING BUTTERFLY	12%	F15	CONT
15	SSM	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	5%	F15	CONT
ORNAMENTAL GRASSES						
27	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	9%	#1	CONT
40	PVH	PANICUM VIRGATUM 'HEAVY METAL'	SWITCHGRASS, HEAVY METAL	13%	#1	CONT
48	SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	16%	#1	CONT
17	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUE GRASS, THE BLUES	6%	#1	CONT
305	TOTAL					

NOTE:
FINAL SPECIES COUNTS MAY VARY BASED ON AVAILABILITY AT TIME OF CONSTRUCTION. FINAL MONOCULTURES NOT TO EXCEED PERCENTAGES ON LIST.

 TURF- RTF SOD

CITY OF COMMERCE LANDSCAPE NOTES

- MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/4" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES).
- MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
- THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
- THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE SHALL NOT CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT LINES. INFORMATION ON THE SIGHT LINES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.

ADDITIONAL LANDSCAPE NOTES

- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK OVER WEED CONTROL FABRIC.
- FURNISH AND INSTALL GREEN RYERSON METAL EDGING WITH STAKES IN BETWEEN ALL PLANTING BEDS AND TURF AREAS AND AS SHOWN ON THE PLANS OR APPROVED EQUAL.
- ROUGH GRADE TO ONE TENTHS (.1) OF ONE FOOT BY OTHERS. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADES WHILE MAINTAINING POSITIVE DRAINAGE. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY POORLY DRAINED AREAS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG SIDEWALK TO ACCOMMODATE SOD, SEED OR MULCH.
- ALL PLANT MATERIAL IS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALLS, OR WALKWAYS AND OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO PLANTING, CONTRACTOR IS TO APPLY HERBICIDE TO ELIMINATE ALL WEED GROWTH WITHIN LANDSCAPE AREAS PER.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. HAVE ALL FINE GRADING APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO REMOVE DIRT PILED ON TOP OF ROOTBALL AT NURSERY PRIOR TO PLACEMENT TO MAINTAIN PROPER PLANTING DEPTH. ALL TREES TO BE PLANTED WITH THE ROOT FLARE ONE TO TWO INCHES ABOVE FINAL GRADE.
- FRONT YARD LANDSCAPING AND FENCING MUST BE COMPLETED WITHIN 180 DAYS AFTER A CLOSING ON THE PROPERTY IF THE CLOSING OCCURS DURING A GROWING SEASON (APRIL 1 THROUGH OCTOBER 1 IN THE SAME YEAR) OR DURING THE NEXT GROWING SEASON IF THE PROPERTY CLOSES OUTSIDE OF THIS CYCLE.

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SHEET TITLE

LANDSCAPE
NOTES &
DETAILS

SHEET NUMBER

L1.8

SHEET 9 OF 25

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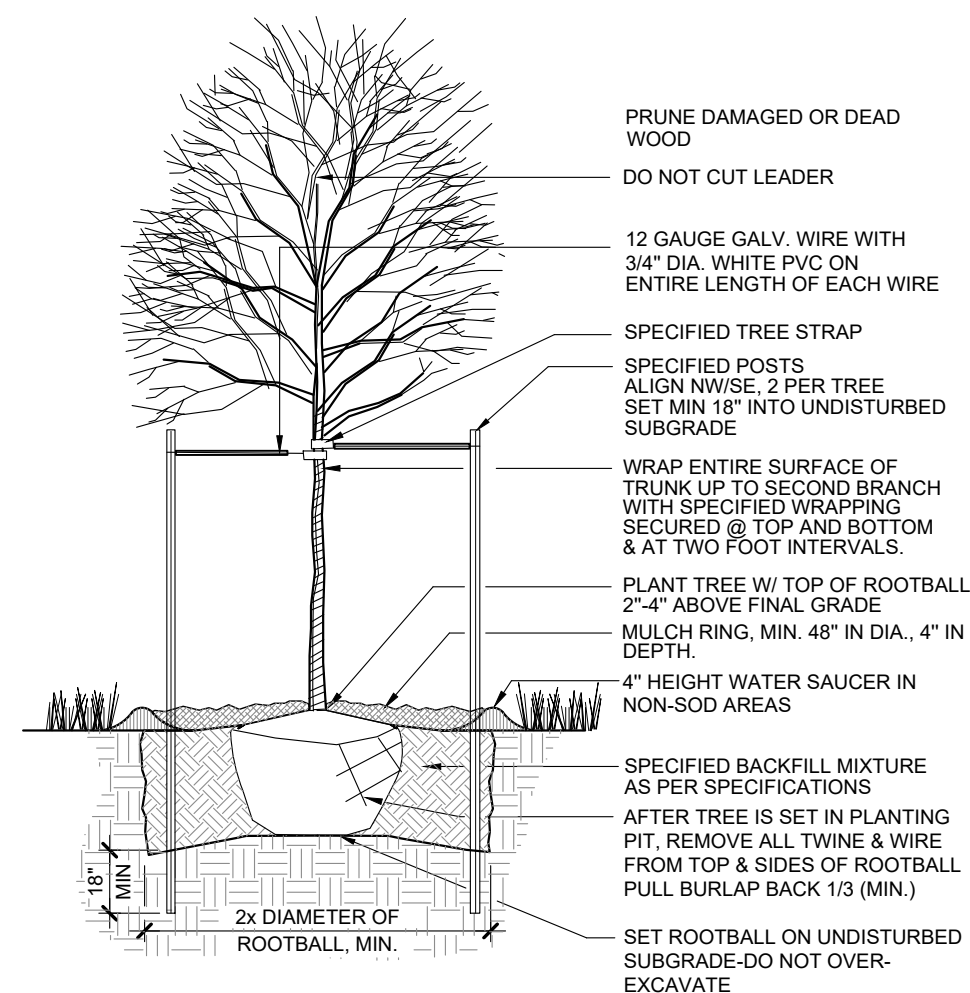
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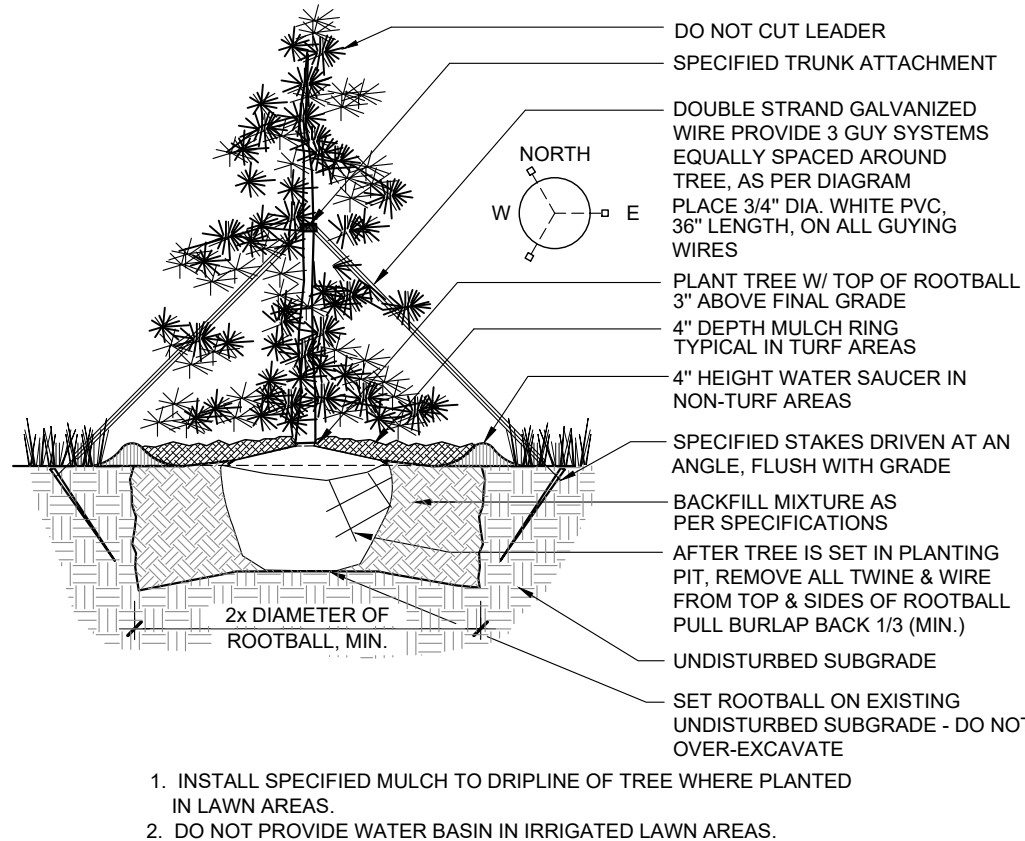
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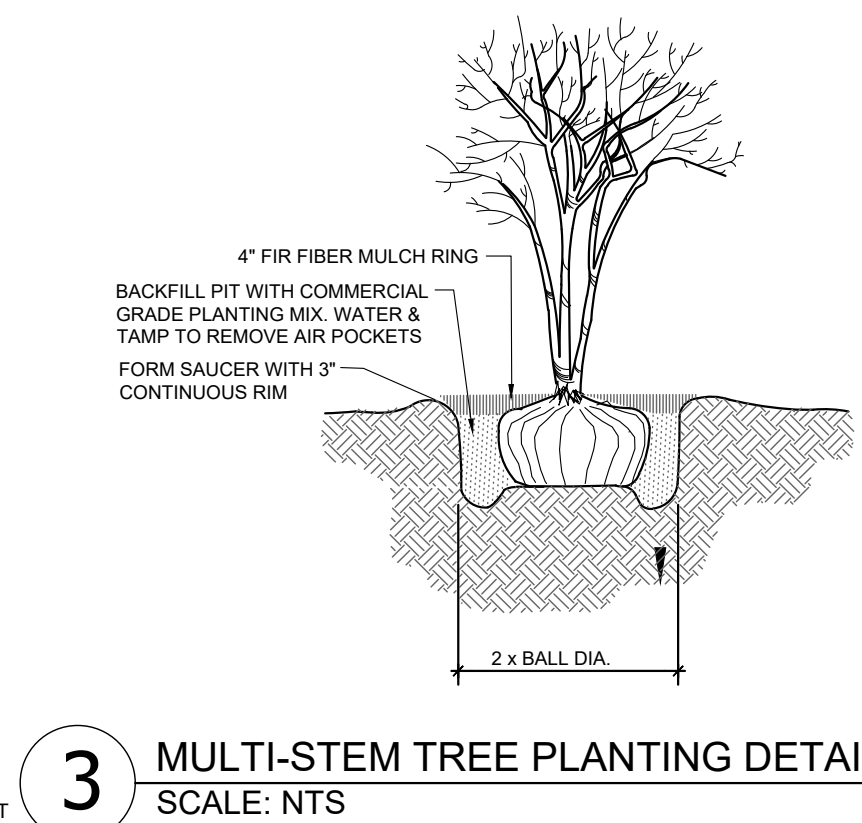
SHEET 10 OF 25



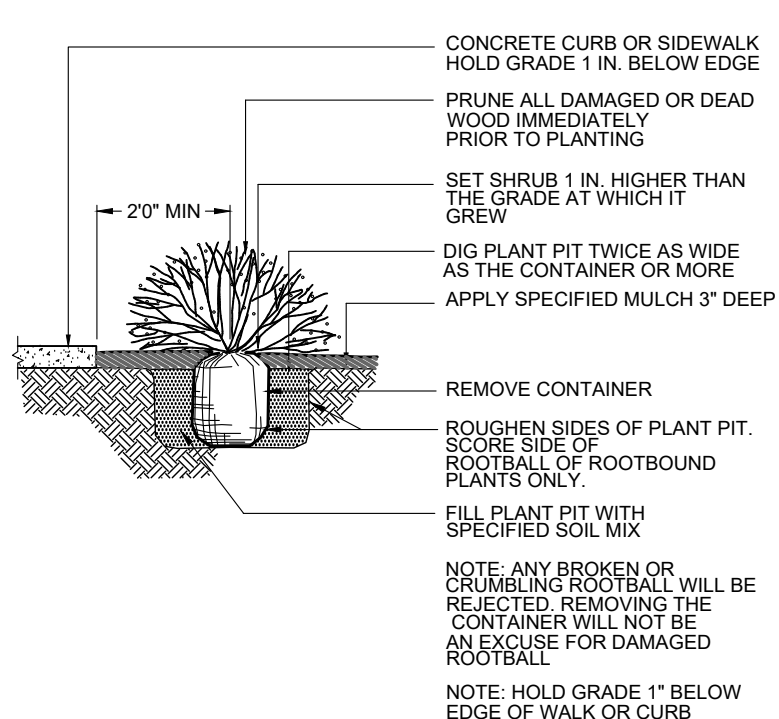
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



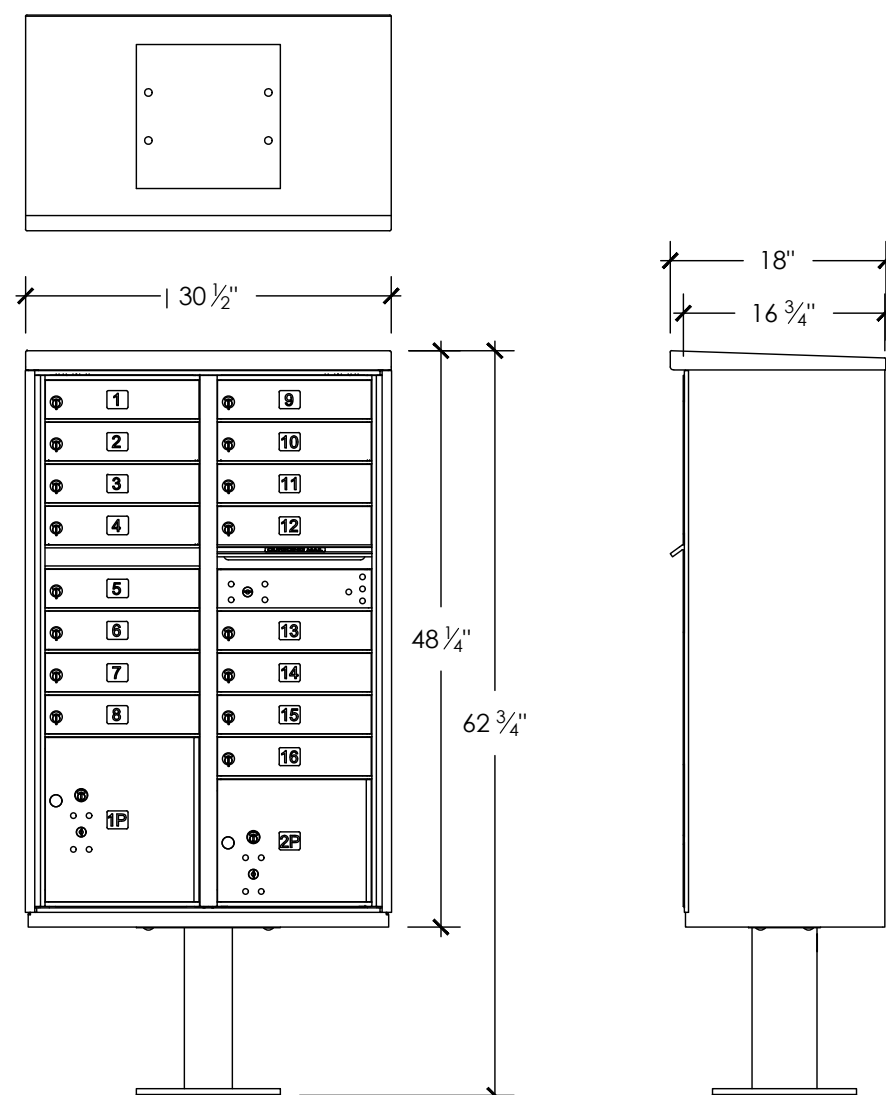
2 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



3 MULTI-STEM TREE PLANTING DETAIL
SCALE: NTS

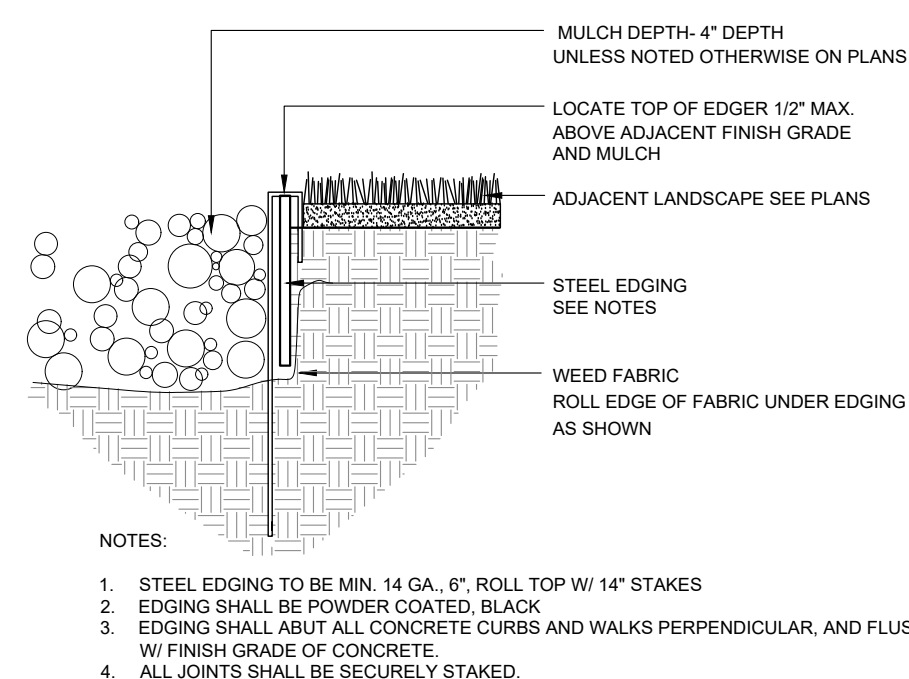


4 TYPICAL SHRUB PLANTING DETAIL
SCALE: NTS



NOTES:
1) MODEL # 3300 SERIES "F" CBU OR APPROVED EQUAL
2) COLOR TO BE SANDSTONE
3) (16) MAILBOXES, (1) OUTGOING, (2) PARCEL LOCKERS
4) MANUFACTURER: SALSBUURY INDUSTRIES
1010 E. 62ND STREET
LOS ANGELES, CA 90001
P: (800) 624-5269
ENGINEERING@MAILBOXES.COM

5 MAIL KIOSK
SCALE: NTS



6 STEEL EDGER
SCALE: NTS

NOTE:
DETAILS SHOWN ARE PRELIMINARY.
FINAL DETAILS TO BE PROVIDED AT
CONSTRUCTION DOCUMENTS.

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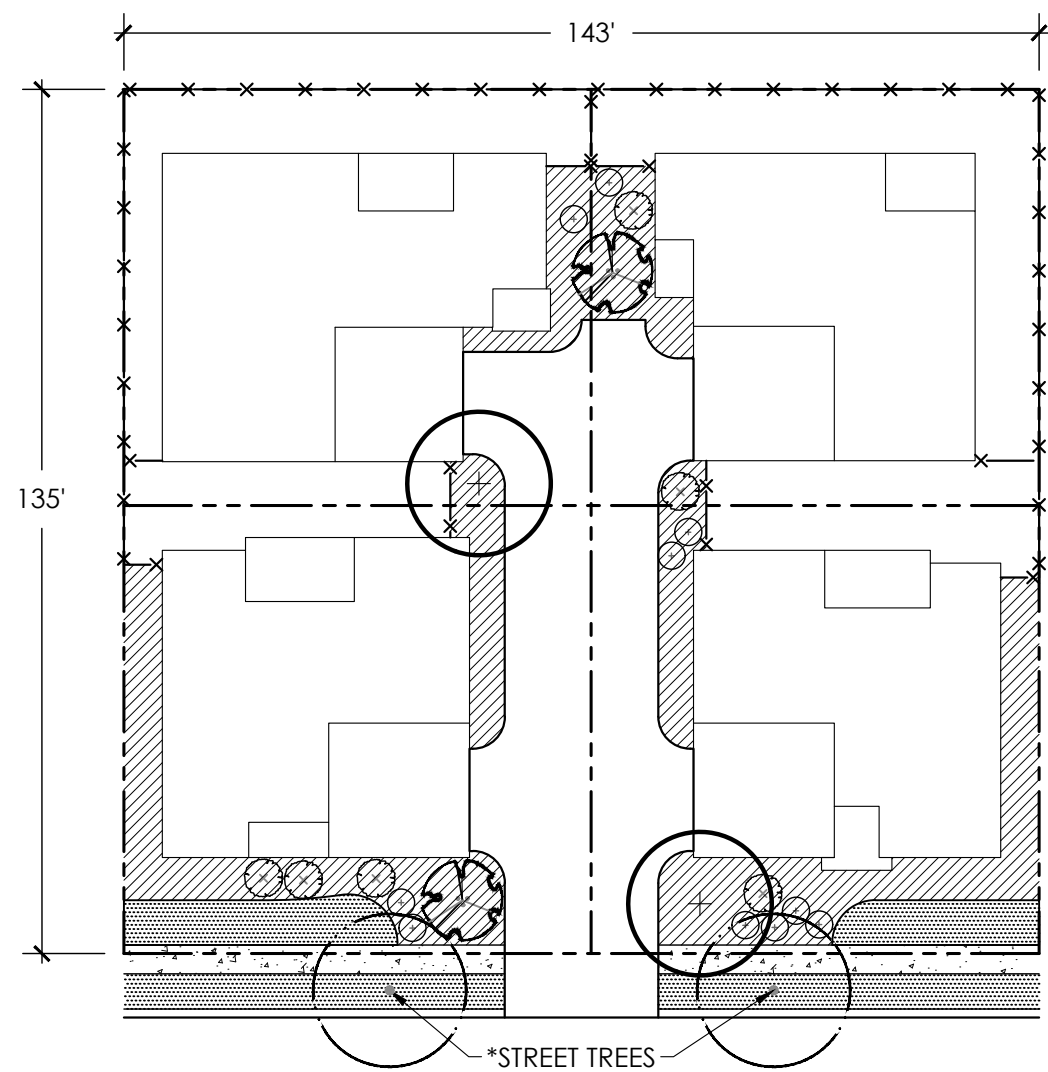
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COVER

SHEET NUMBER

L2.1

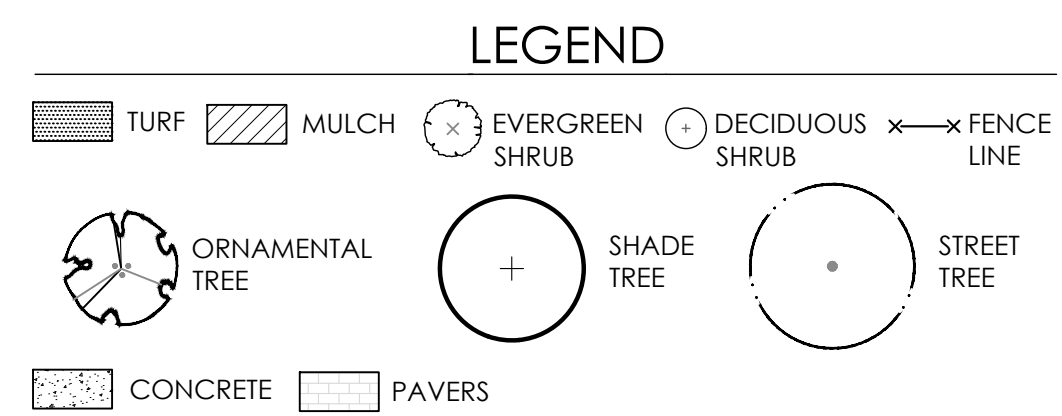
SHEET 11 OF 25



**STANDARD 4 PACK BUNGALOW CLUSTER
TYPICAL LANDSCAPE**

PROVIDE A MINIMUM OF:
EACH CLUSTER SHALL HAVE ONE (1) TREE/HOME
EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

- NOTES:
1. STREET TREES NOT COUNTED TOWARD THE LANDSCAPE REQUIREMENT.
2. LANDSCAPE REQUIREMENTS MAY BE MET ON ANY OR ALL LOTS IN A CLUSTER.



ARCHITECTURAL STANDARDS

HOUSING MODELS

- INCORPORATE THE FOLLOWING MATERIALS FOR ALL MODELS AS APPROPRIATE: STONE, VERTICAL SIDING, WINDOW GRIDS, SHUTTERS, GABLE BRACKETS

GARAGES

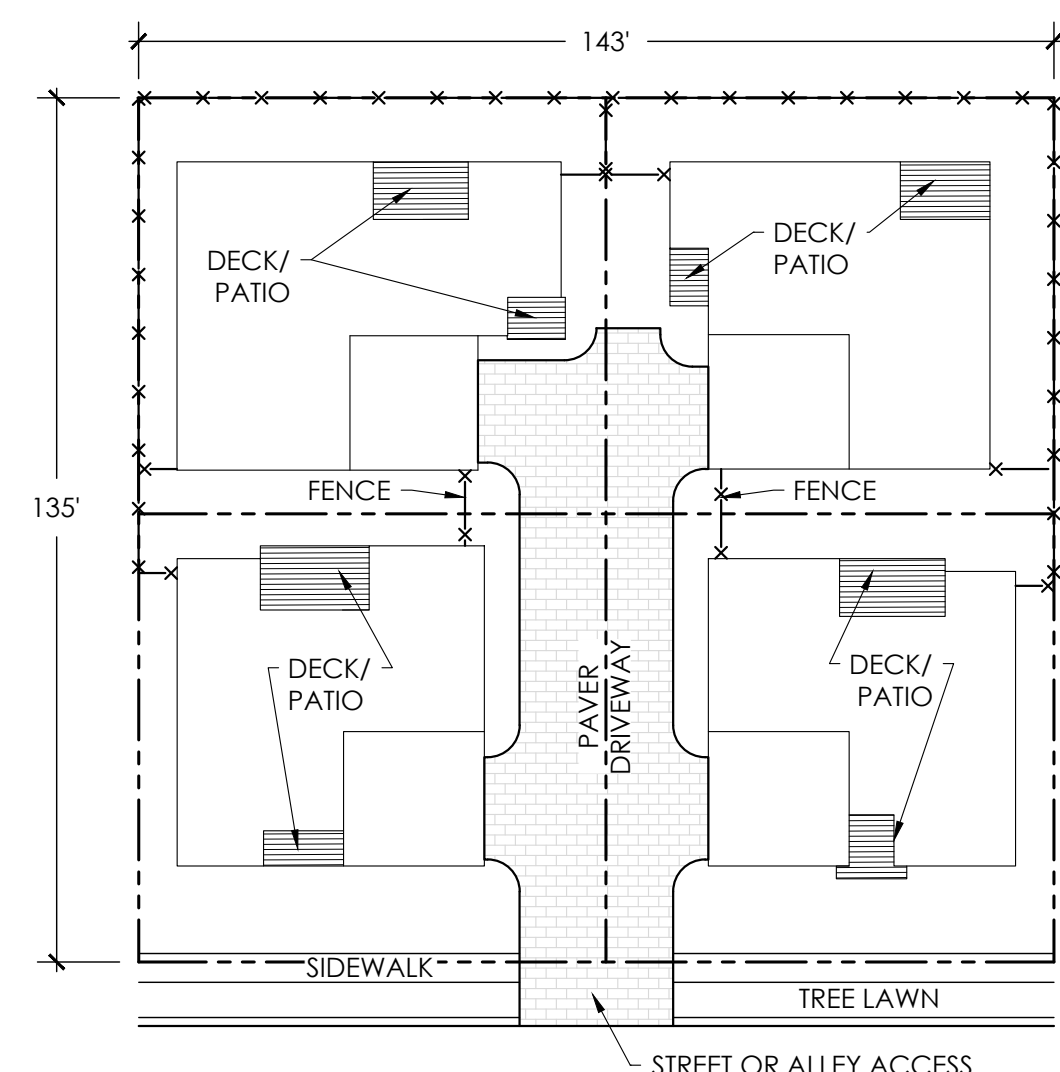
- GARAGES THAT ACCESS OFF A MOTOR COURT SHALL BE CONSIDERED PREFERRED DESIGN.

HOUSING FACADES

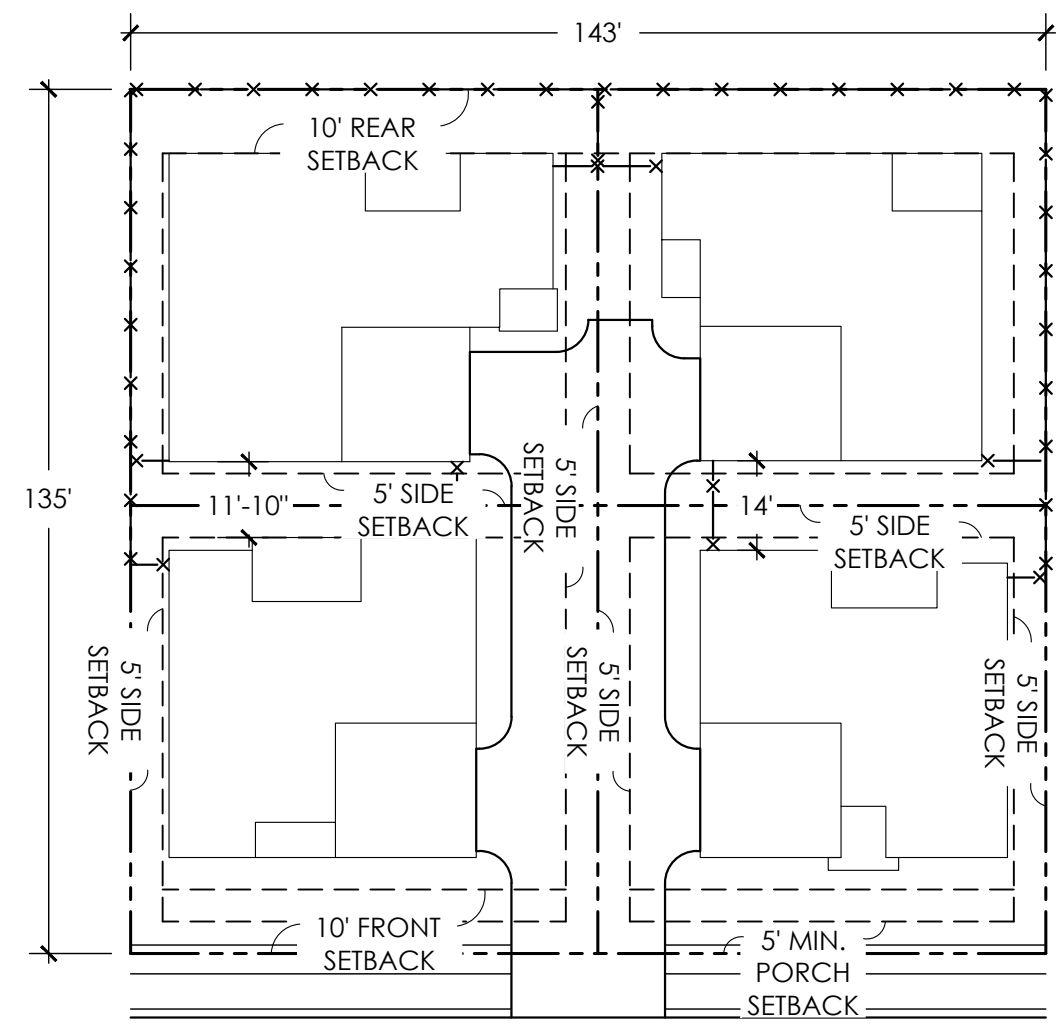
- EACH HOME SHALL ADHERE TO THE FOLLOWING FACADE REQUIREMENTS. A MAXIMUM OF ONE FACADE ON EACH HOME MAY BE CONSIDERED AN INTERNAL FACADE. REFER TO SHEETS L4.1-L4.2 FOR INTERNAL FACADE LOCATIONS.
- INTERNAL FACADES DO NOT REQUIRE A PLANE BREAK.

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

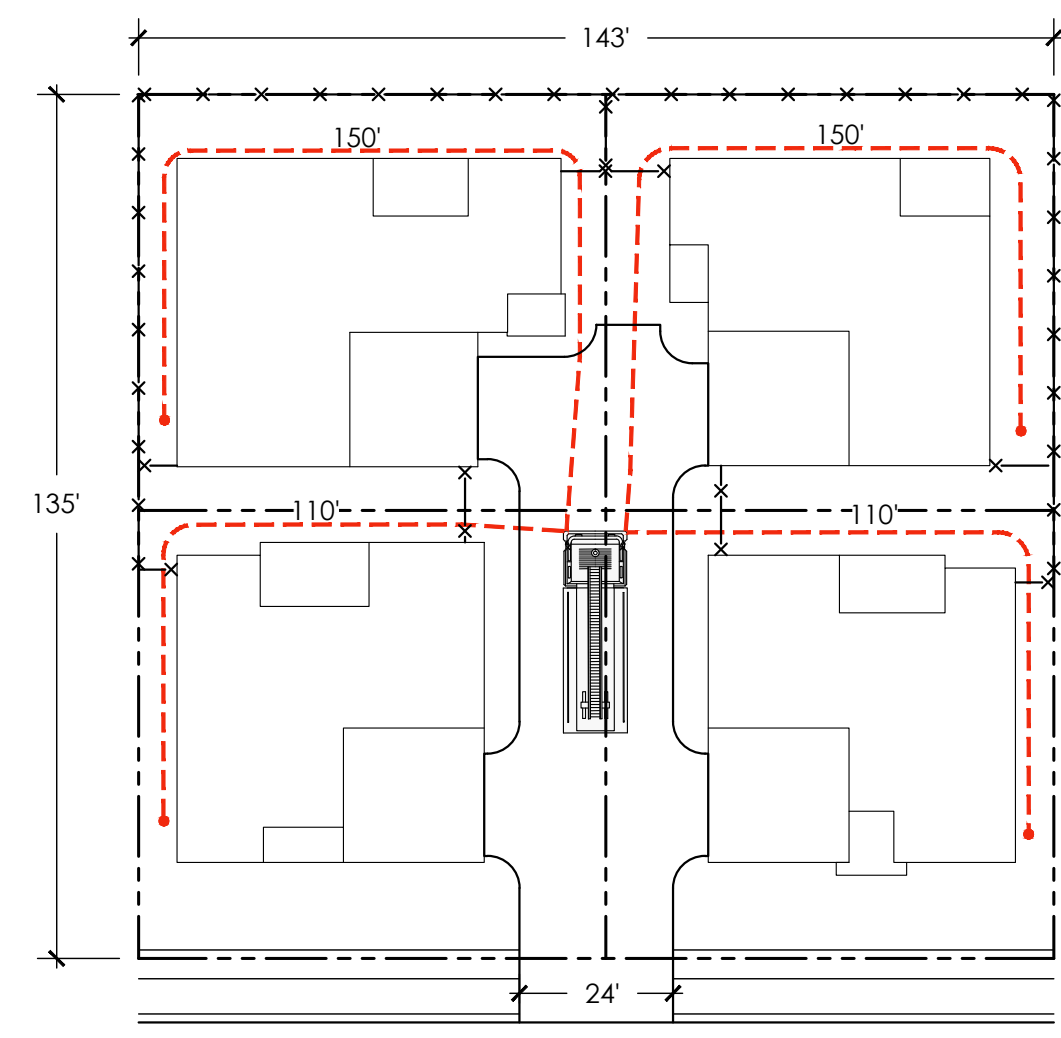
DEPARTMENT OF COMMUNITY DEVELOPMENT



**STANDARD 4 PACK BUNGALOW CLUSTER
SITE FEATURES**



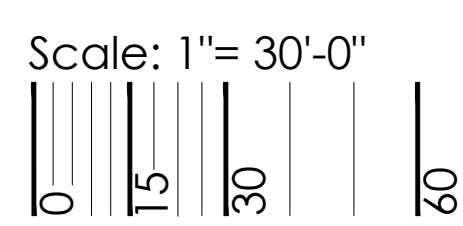
**STANDARD 4 PACK BUNGALOW CLUSTER
SETBACKS**



**STANDARD 4 PACK BUNGALOW CLUSTER
HOSEPULL**

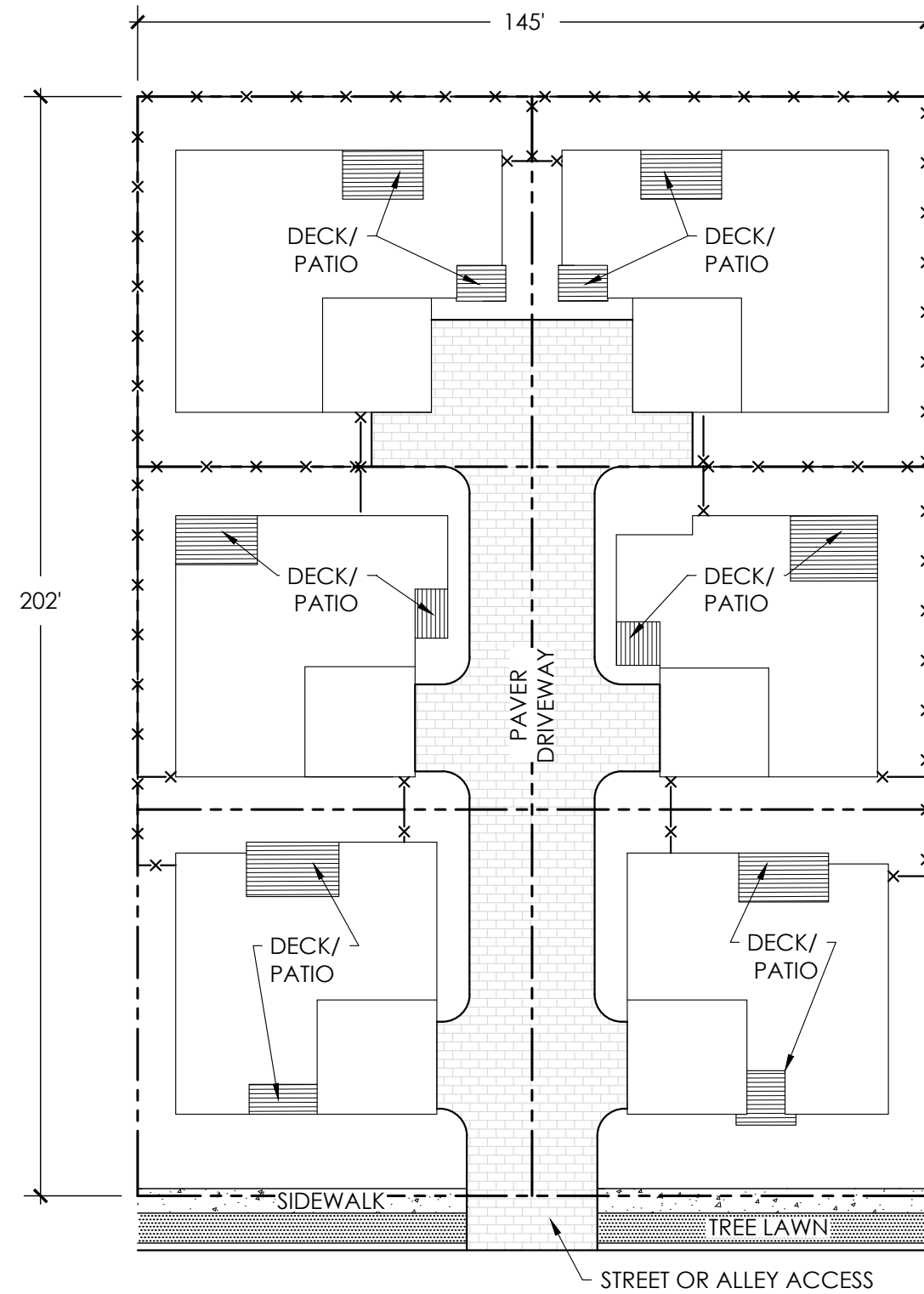
BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street setback	15 feet
Rear Setback Minimum	10 feet
Setback from E 104th Ave	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	Cluster Home = 2,200 SQ. FT. Single Family Attached = N/A
Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

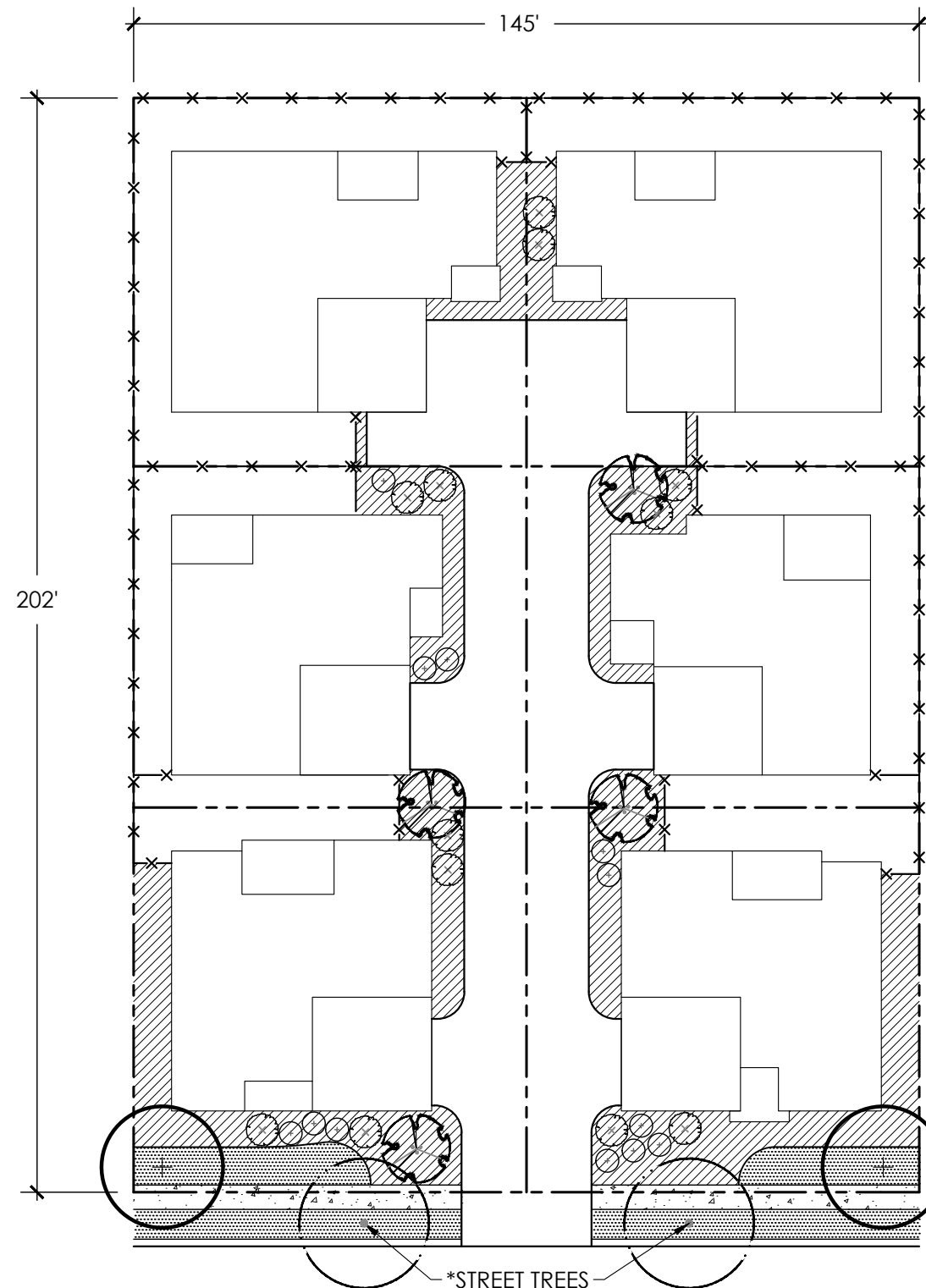


VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



STANDARD 6 PACK BUNGALOW CLUSTER
SITE FEATURES

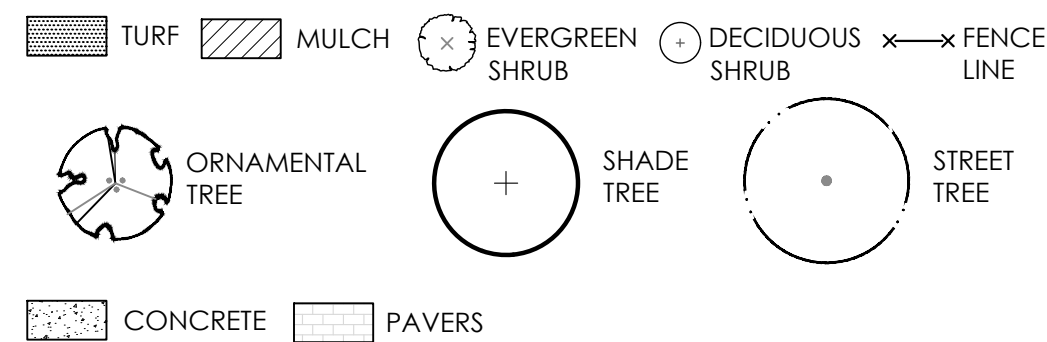


STANDARD 6 PACK BUNGALOW CLUSTER
TYPICAL LANDSCAPE

PROVIDE A MINIMUM OF:
EACH CLUSTER SHALL HAVE ONE (1) TREE/HOME
EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

- NOTES:
1. STREET TREES NOT COUNTED TOWARD THE LANDSCAPE REQUIREMENT.
2. LANDSCAPE REQUIREMENTS MAY BE MET ON ANY OR ALL LOTS IN A CLUSTER.

LEGEND



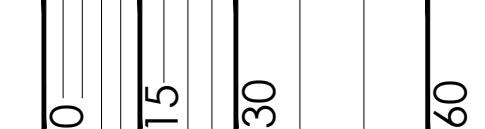
BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
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Parking Required	2 spaces per unit

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

Scale: 1"= 30'-0"



NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF
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STATE OF COLORADO

ISSUE DATE
06/24/2022

REVISION DATES

SHEET TITLE

COVER

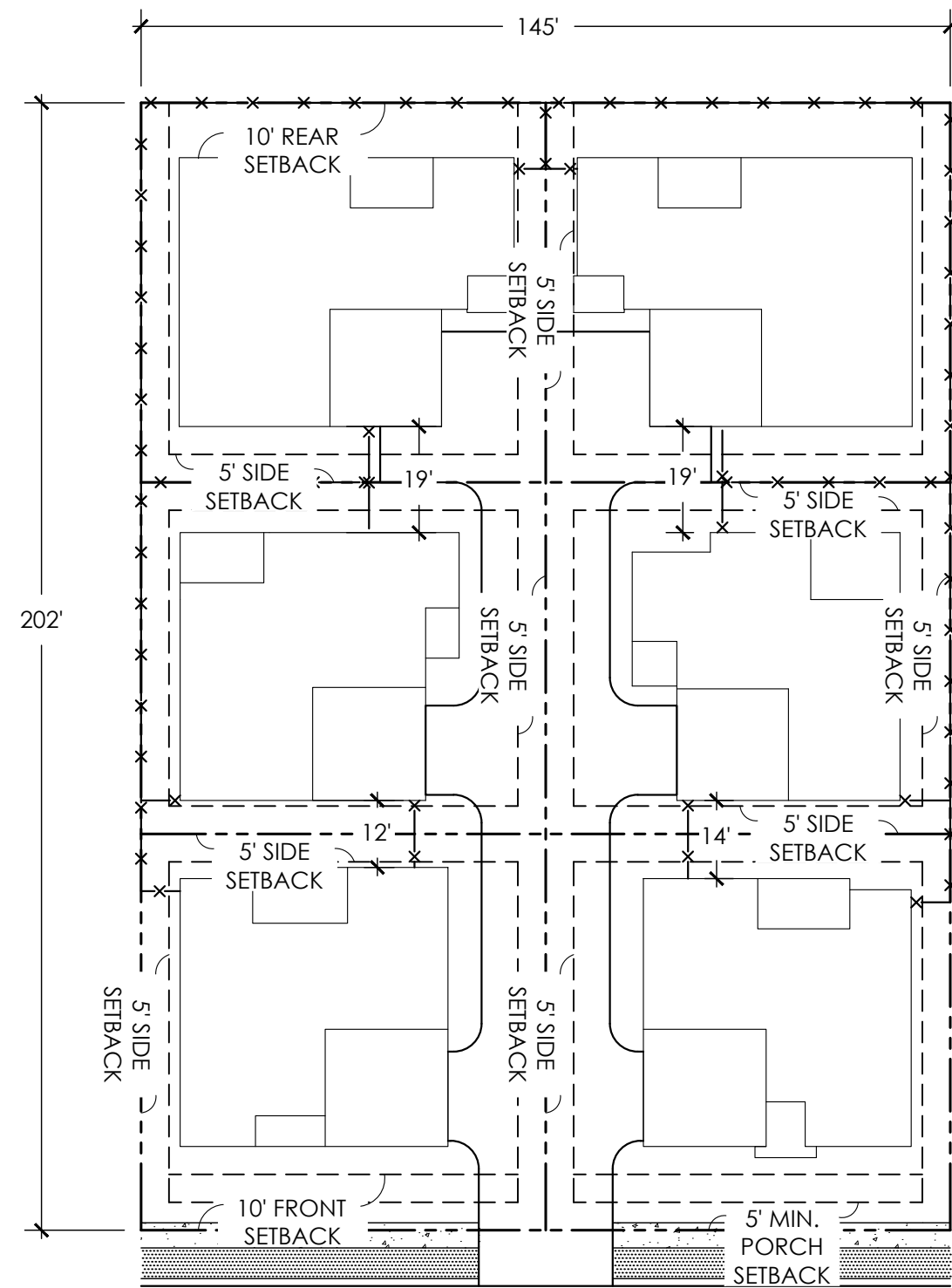
SHEET NUMBER

L2.2

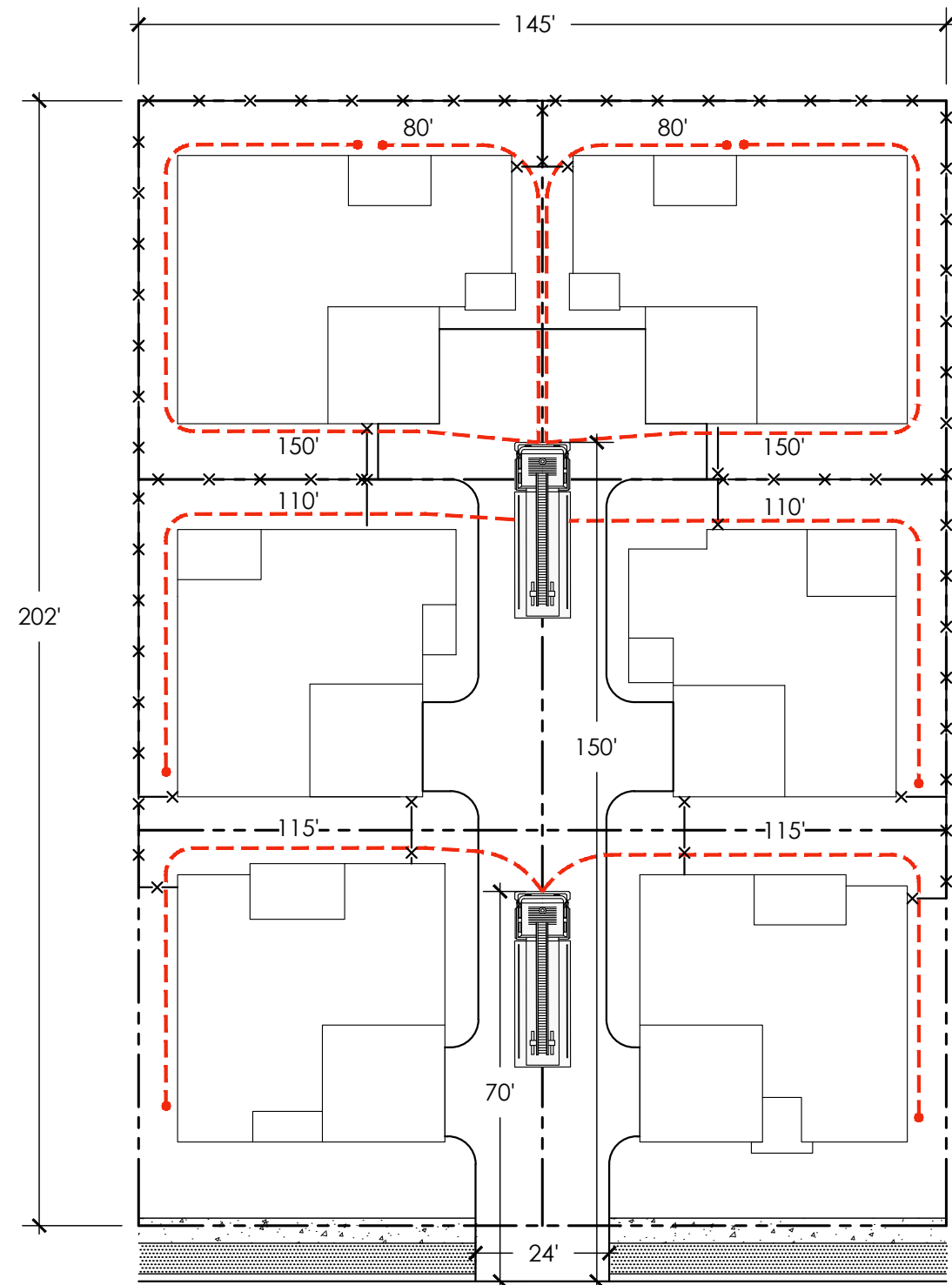
SHEET 12 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



STANDARD 6 PACK BUNGALOW CLUSTER SETBACKS

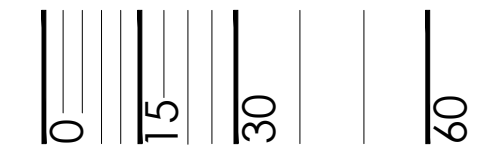


STANDARD 6 PACK BUNGALOW CLUSTER HOSEPULL

BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
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Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

Scale: 1" = 30'-0"



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SHEET TITLE

COVER

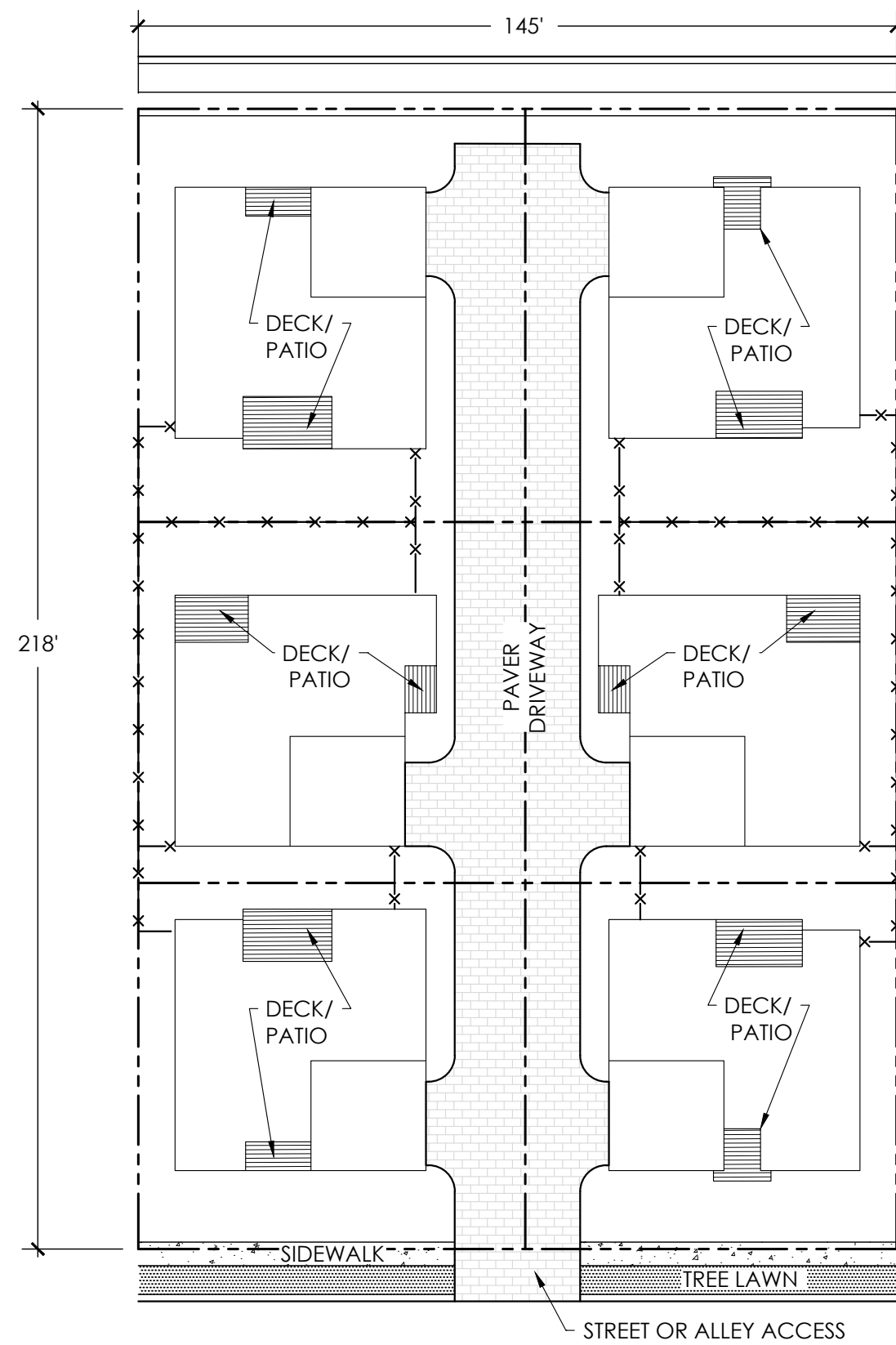
SHEET NUMBER

L2.3

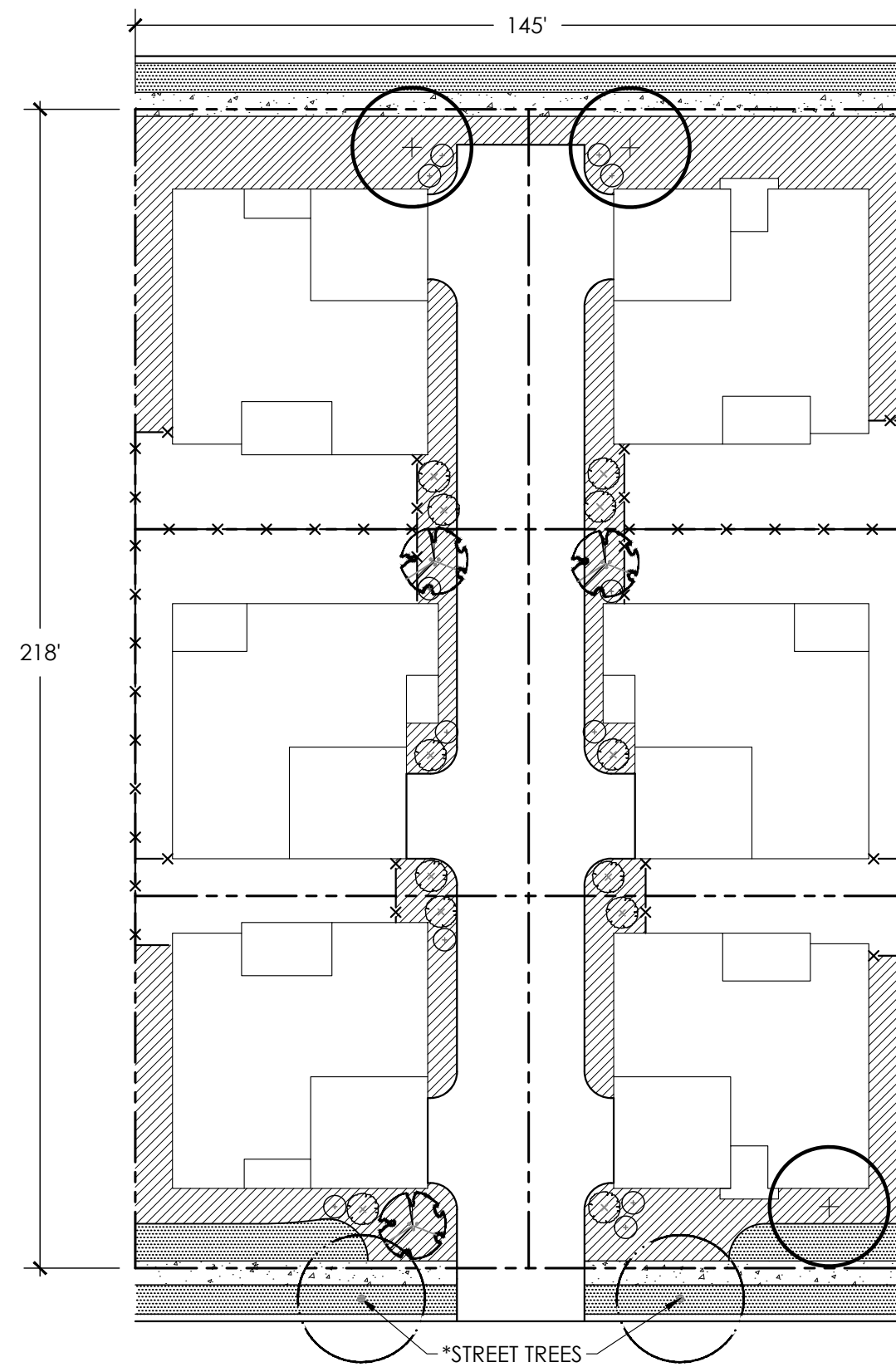
SHEET 13 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



DOUBLE FRONTAGE 6 PACK BUNGALOW CLUSTER
SITE FEATURES



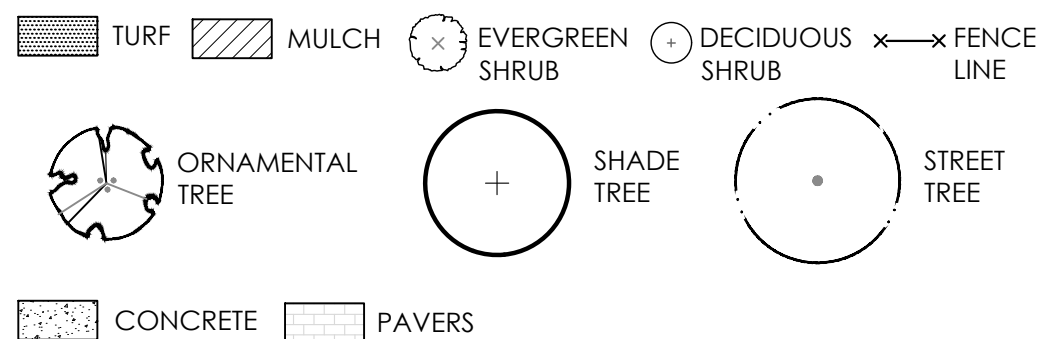
DOUBLE FRONTAGE 6 PACK BUNGALOW CLUSTER
TYPICAL LANDSCAPE

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EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

NOTES:

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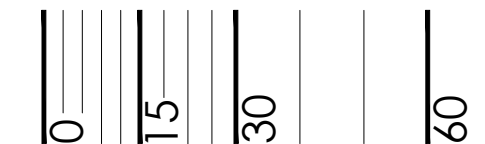
LEGEND



BUNGALOW & DUPLEX BULK STANDARDS

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Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
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Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

Scale: 1"= 30'-0"



CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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DEPARTMENT OF COMMUNITY DEVELOPMENT

NOT FOR CONSTRUCTION



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ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
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ISSUE DATE
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REVISION DATES

SHEET TITLE

COVER

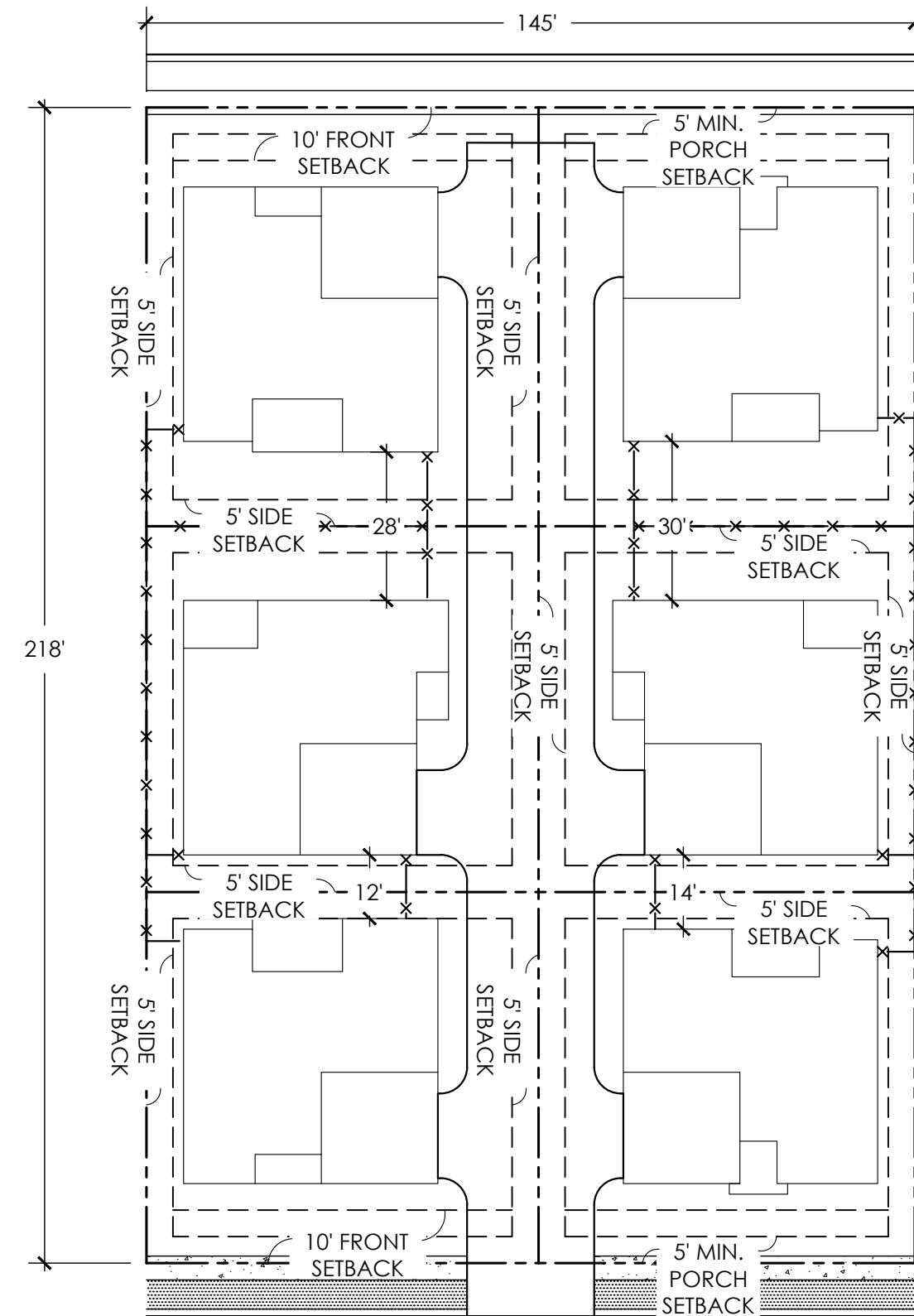
SHEET NUMBER

L2.4

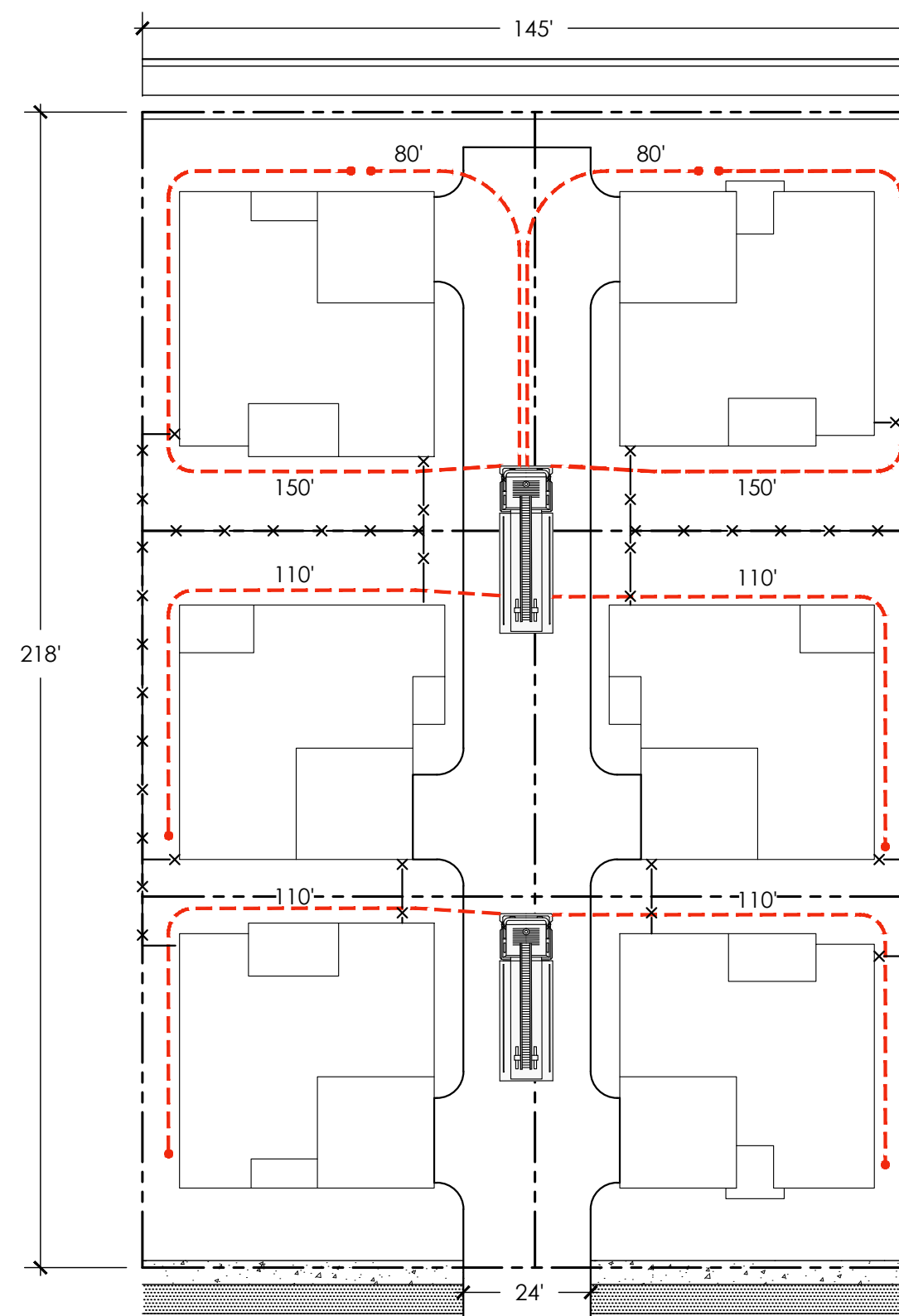
SHEET 14 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



DOUBLE FRONTAGE 6 PACK BUNGALOW CLUSTER SETBACKS



DOUBLE FRONTAGE 6 PACK BUNGALOW CLUSTER HOSEPULL

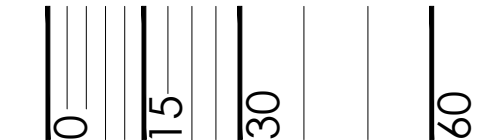
BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
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Scale: 1" = 30'-0"



NOT FOR CONSTRUCTION



ASSESSOR'S PARCEL IDENTIFICATION NUMBER:
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VILLAGE 8 FILING 2 P.U.D. PERMIT
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ISSUE DATE
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SHEET TITLE

COVER

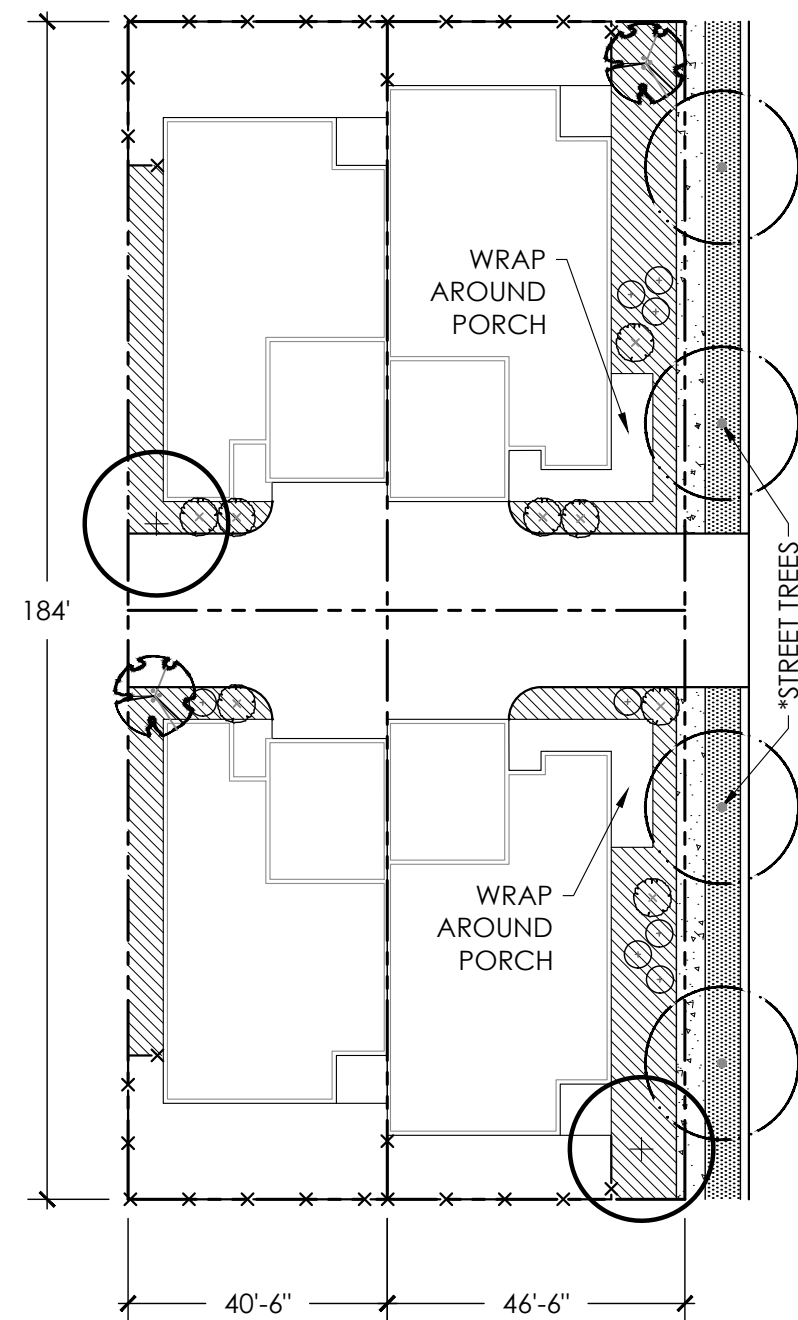
SHEET NUMBER

L2.5

SHEET 15 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



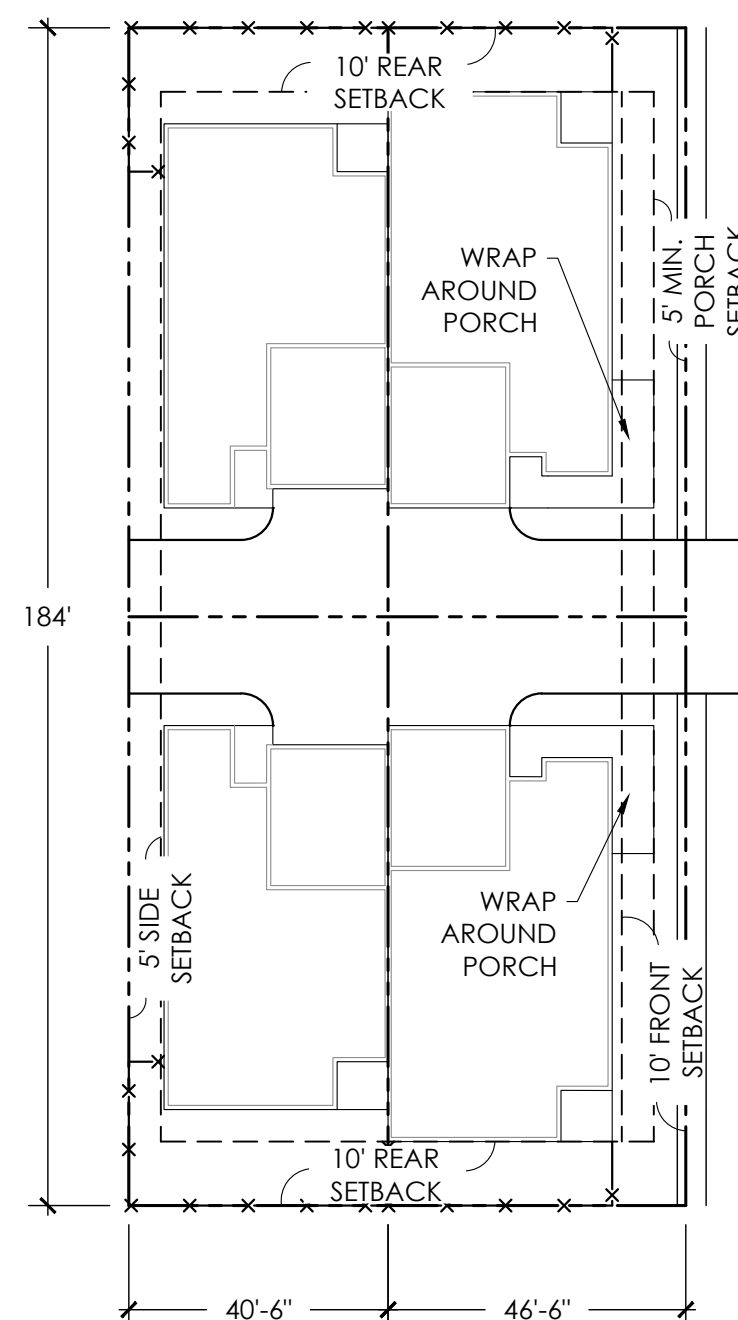
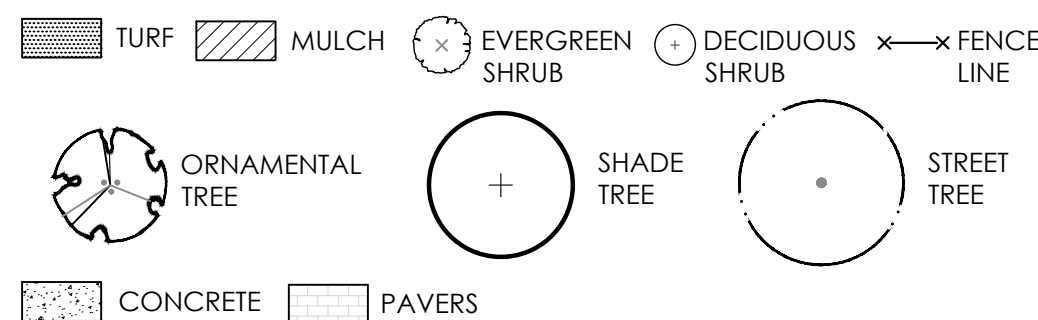
**DUPLEX CLUSTER
TYPICAL LANDSCAPE**

PROVIDE A MINIMUM OF:
EACH CLUSTER SHALL HAVE ONE (1) TREE/HOME
EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

NOTES:

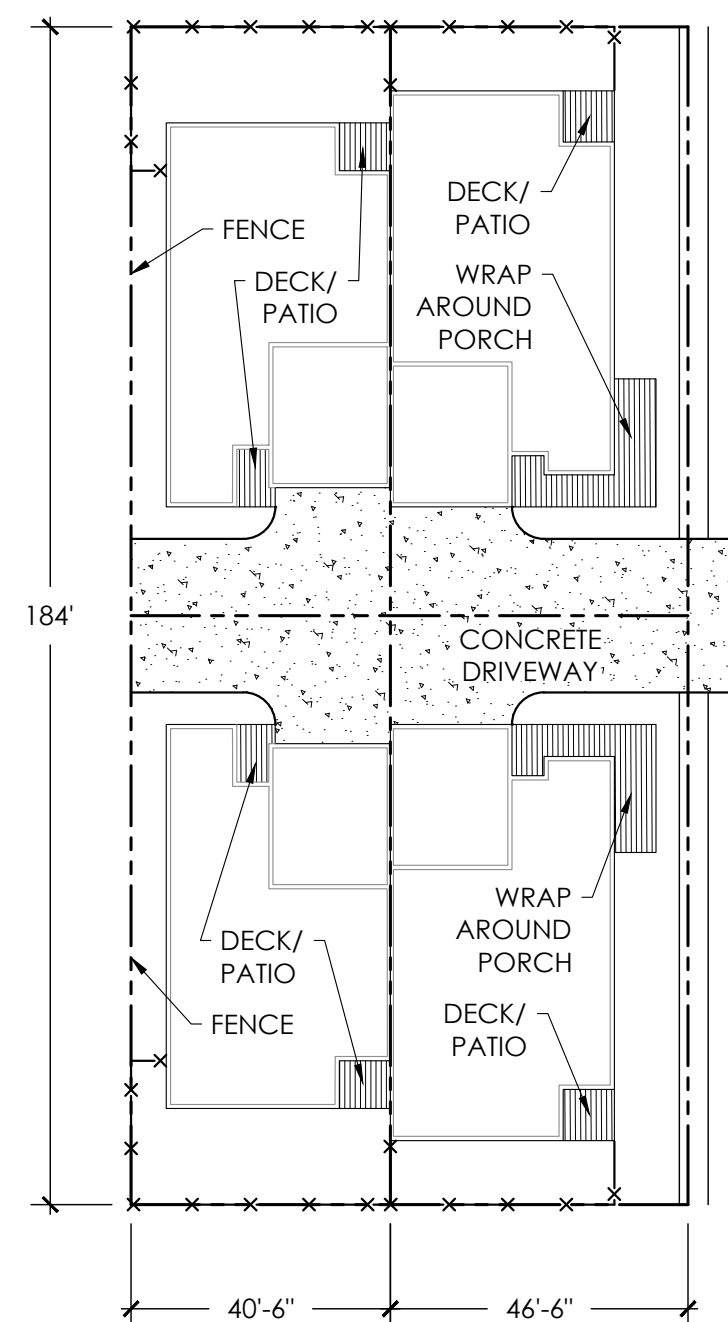
- STREET TREES NOT COUNTED TOWARD THE LANDSCAPE REQUIREMENT.
- LANDSCAPE REQUIREMENTS MAY BE MET ON ANY OR ALL LOTS IN A CLUSTER.

LEGEND

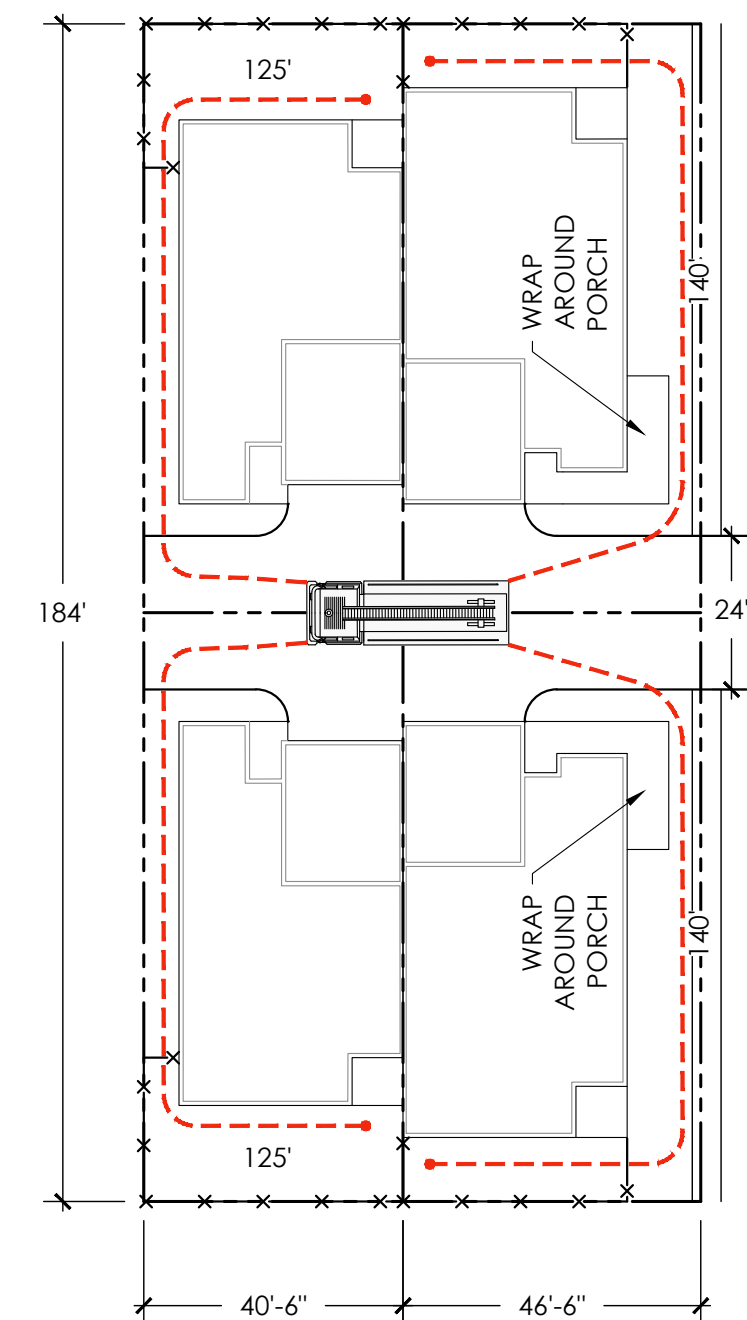


**DUPLEX CLUSTER
SETBACKS**

FOR FRONT SETBACK STANDARDS TO APPLY TO THE R.O.W. SIDE, A WRAP-AROUND PORCH MUST BE INCLUDED ON THE R.O.W. SIDE. IF NO WRAP-AROUND PORCH IS PROVIDED, IT WILL BE CONSIDERED A "SIDE ON STREET" CONDITION.



**DUPLEX CLUSTER
SITE FEATURES**

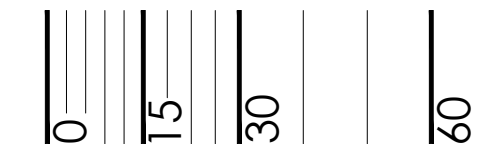


**DUPLEX CLUSTER
HOSEPULL**

BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street setback	15 feet
Rear Setback Minimum	10 feet
Setback from E 104th Ave	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	Cluster Home = 2,200 SQ. FT. Single Family Attached = N/A
Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

Scale: 1" = 30'-0"



NOT FOR CONSTRUCTION



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
06/24/2022

REVISION DATES

SHEET TITLE

COVER

SHEET NUMBER

L2.6

SHEET 16 OF 25

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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NOT FOR CONSTRUCTION



Know what's below. Call before you dig.

ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
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REVISION DATES

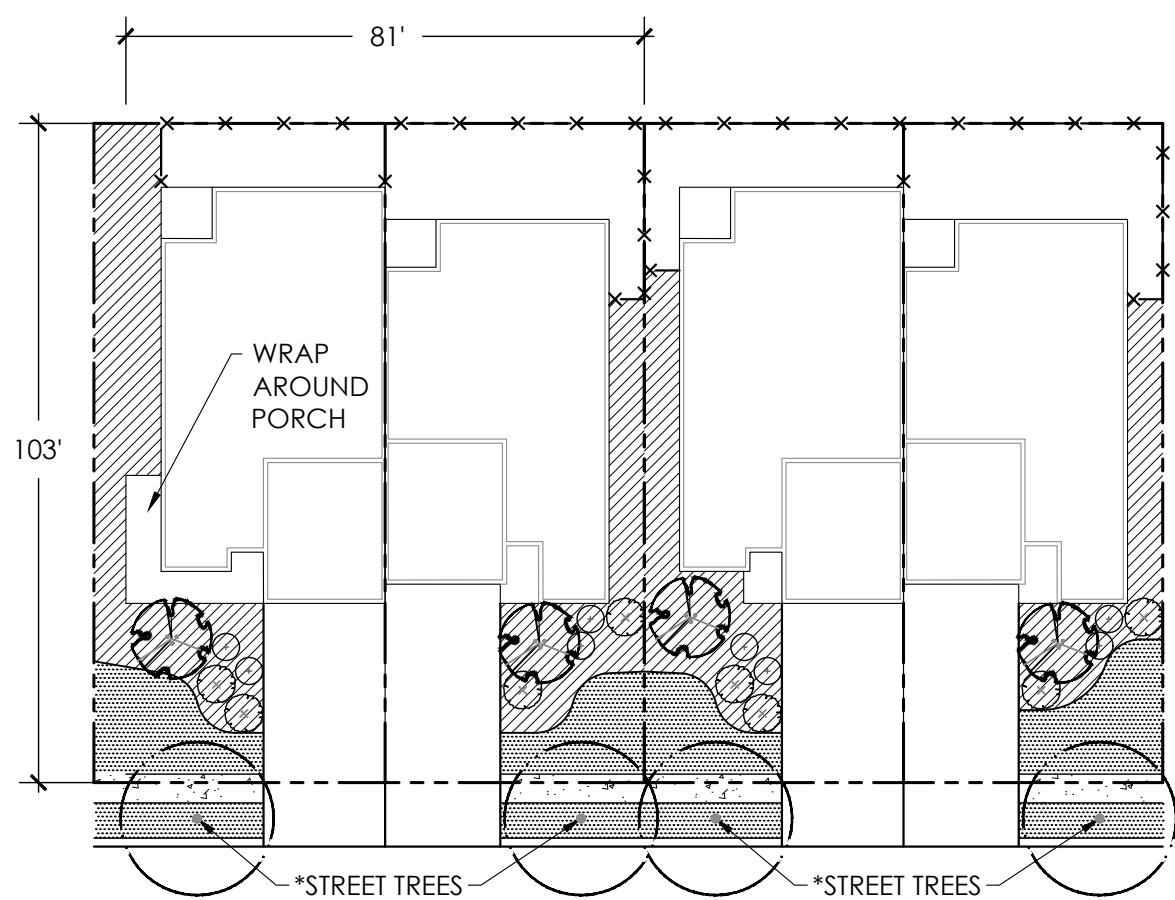
SHEET TITLE

COVER

SHEET NUMBER

L2.7

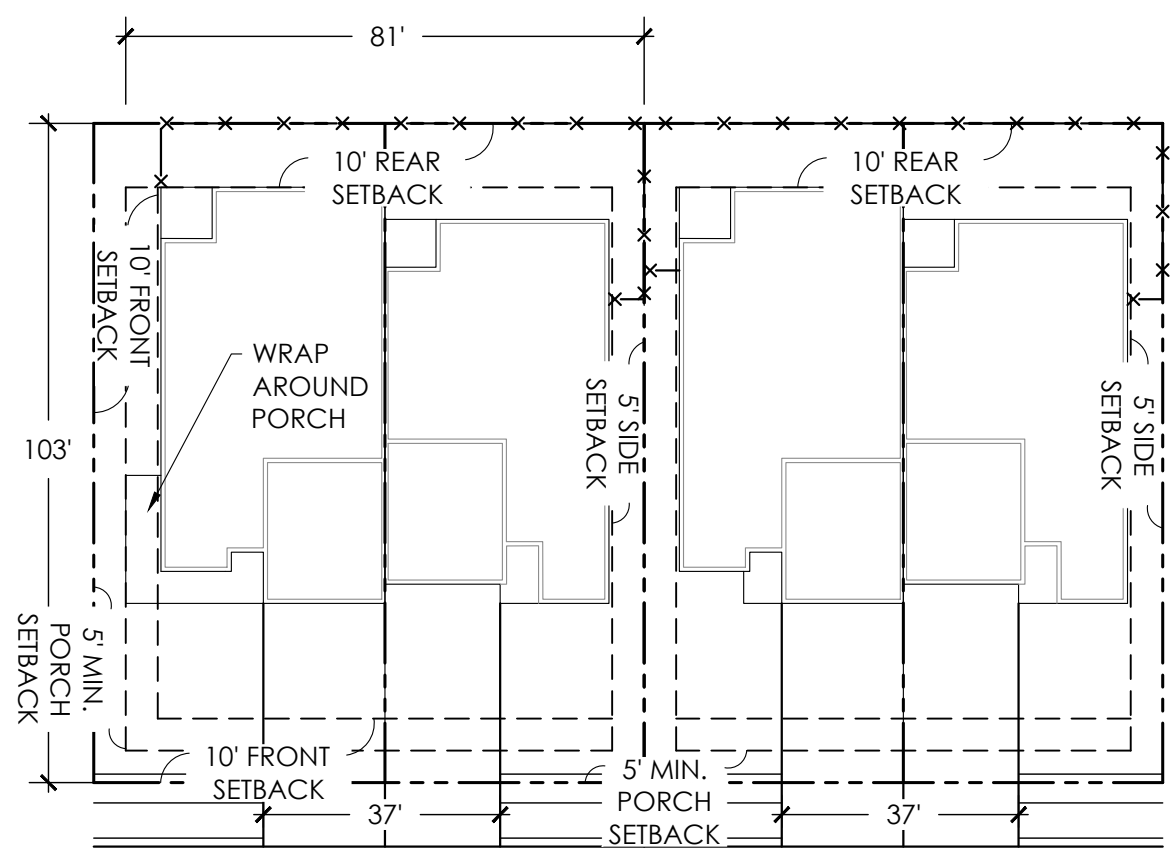
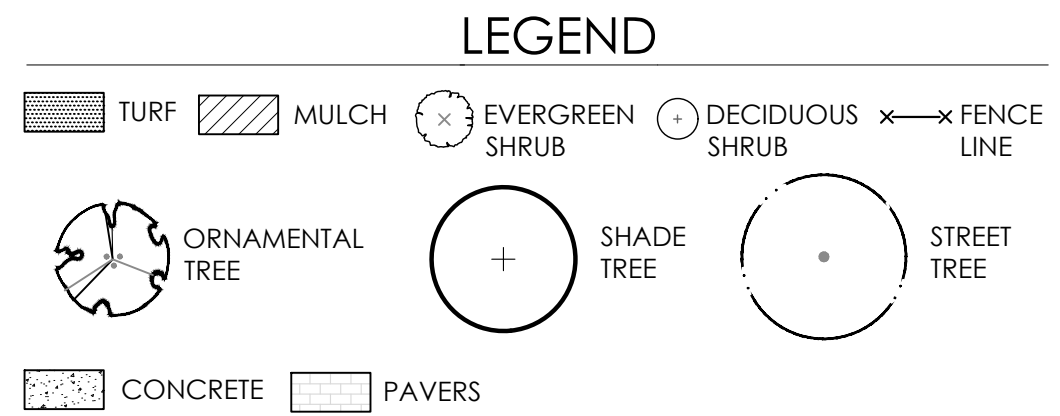
SHEET 17 OF 25



DUPLEX TYPICAL LANDSCAPE

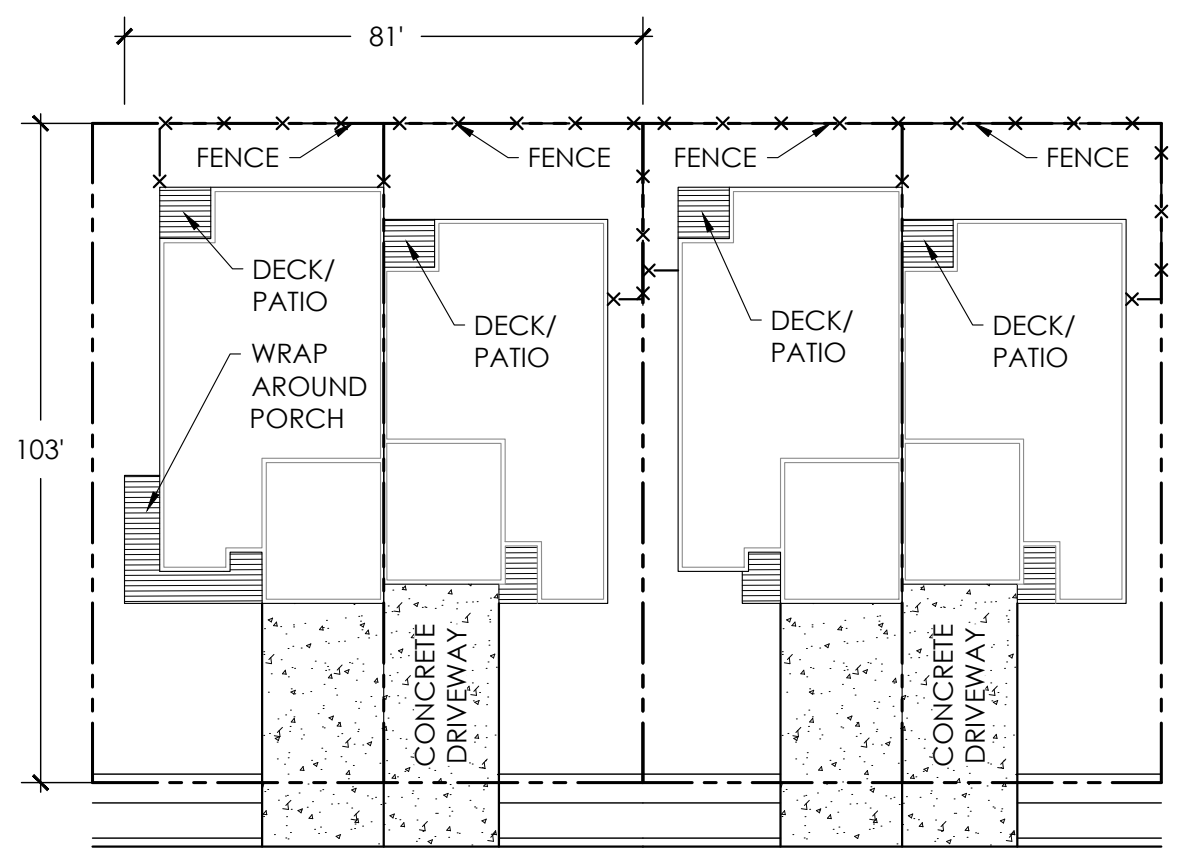
PROVIDE A MINIMUM OF:
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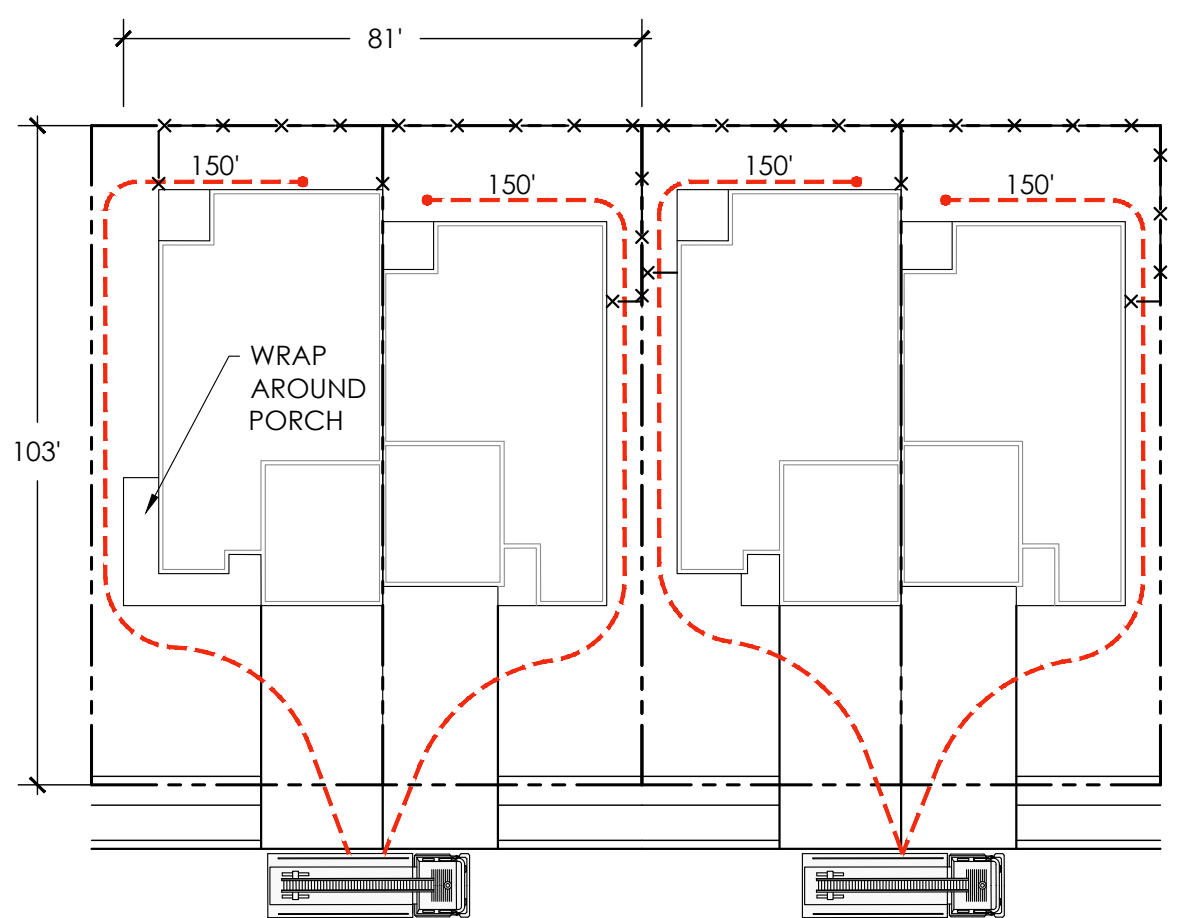


DUPLEX SETBACKS

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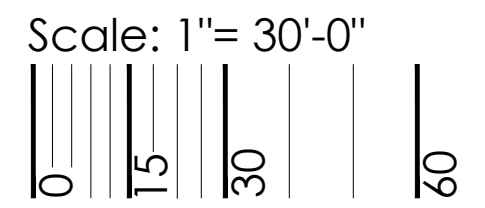
DUPLEX SITE FEATURES



DUPLEX HOSEPULL

BUNGALOW & DUPLEX BULK STANDARDS

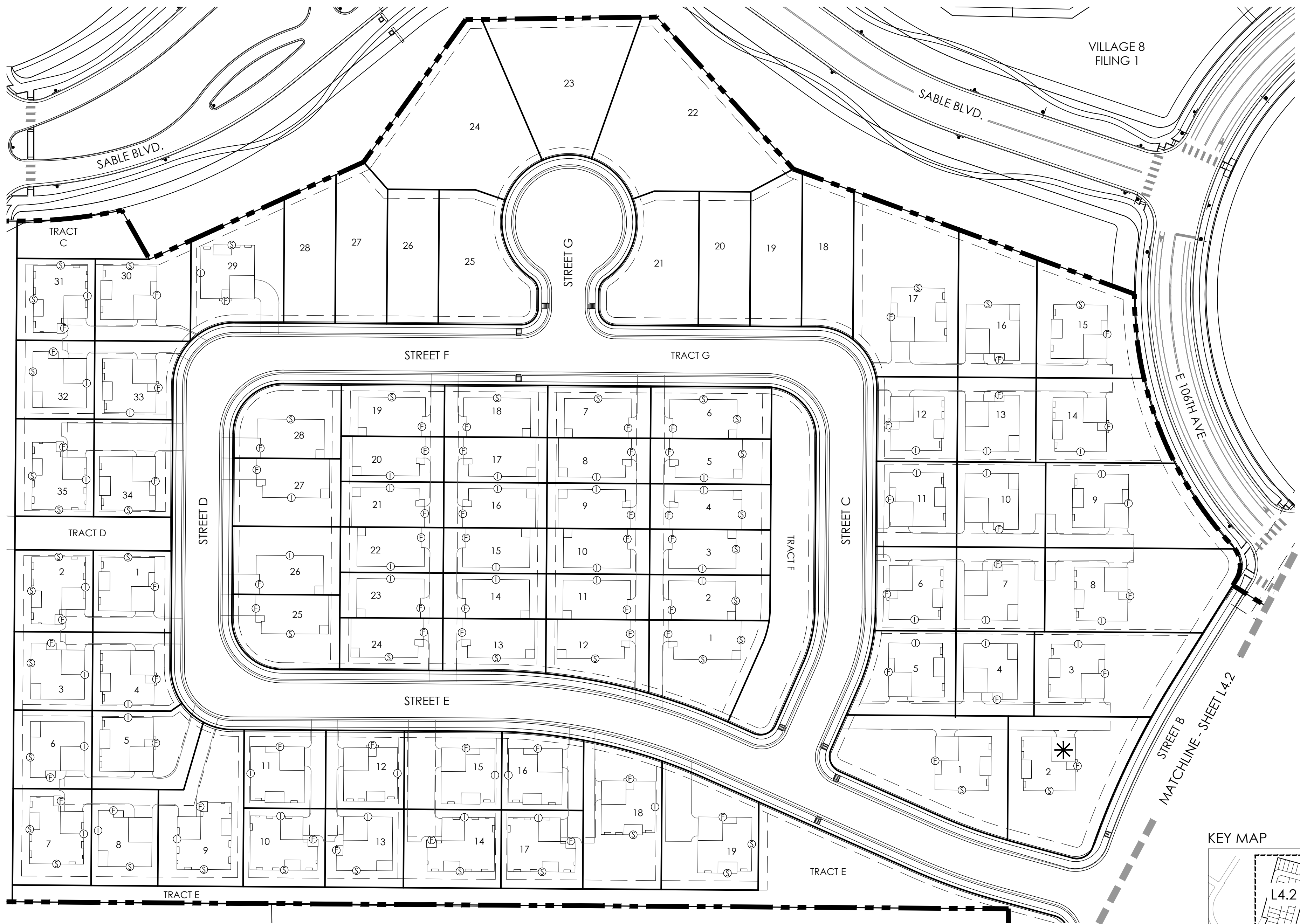
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CITY STAFF CERTIFICATE
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DEPARTMENT OF COMMUNITY DEVELOPMENT

VILLAGE 8 FILING 2 P.U.D. PERMIT

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NOT FOR CONSTRUCTION



ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

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ISSUE DATE
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REVISION DATES

SHEET TITLE

FACADE PLAN

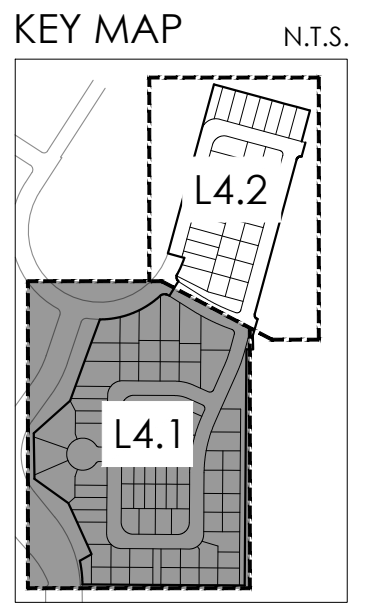
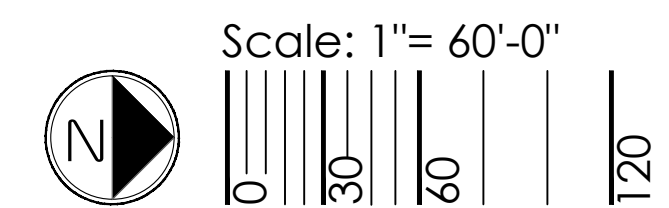
SHEET NUMBER

L4.1

SHEET 3 OF 25

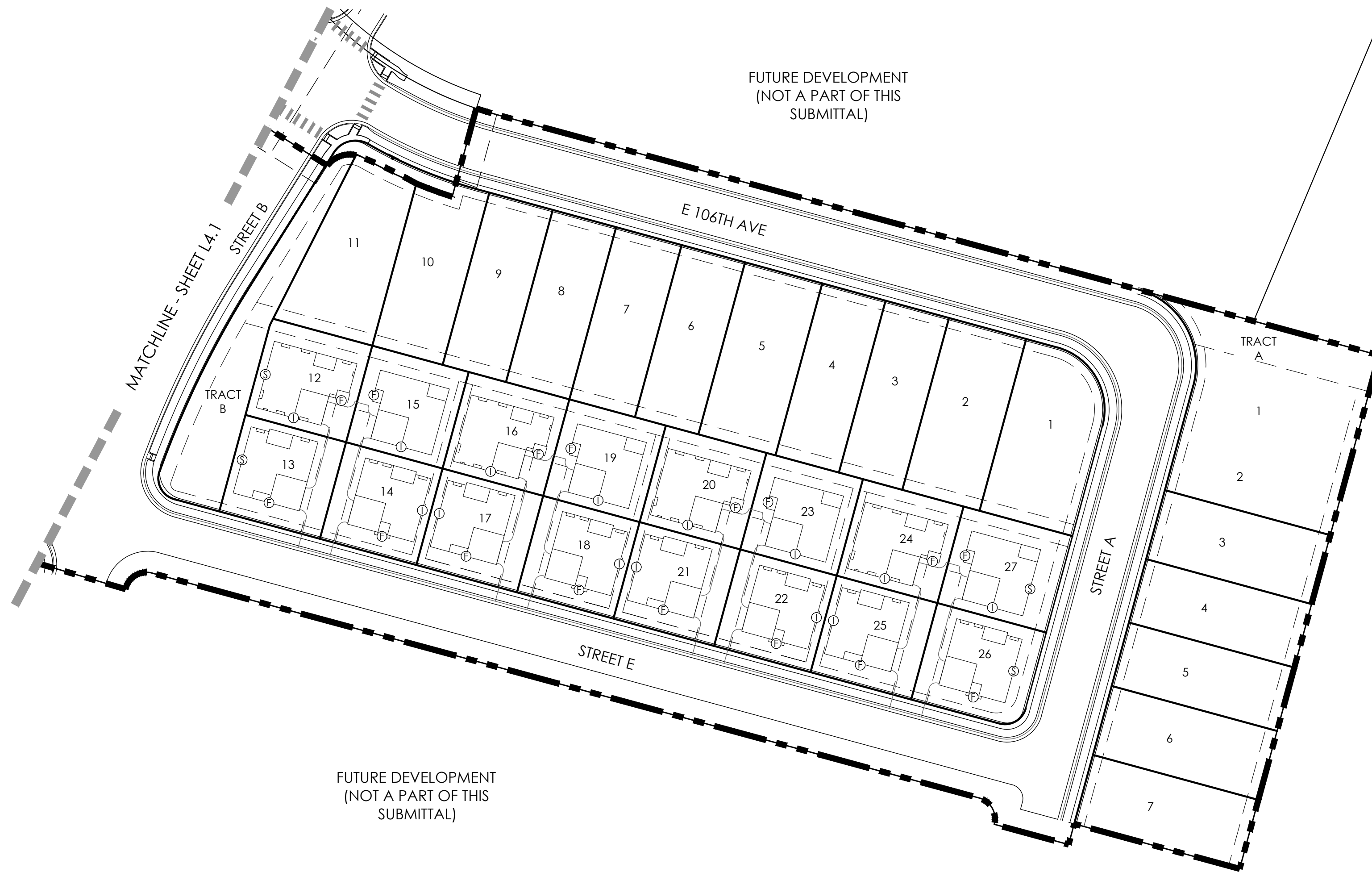
CITY STAFF CERTIFICATE
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- LEGEND**
- Ⓢ STREET-SIDE FACADE
 - Ⓜ INTERNAL FACADE
 - ⓕ FRONT DOOR FACADE
 - ✳ LIMITED TO 2-STORIES



VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



NOT FOR CONSTRUCTION



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
06/24/2022

REVISION DATES

SHEET TITLE

FACADE
PLAN

SHEET NUMBER

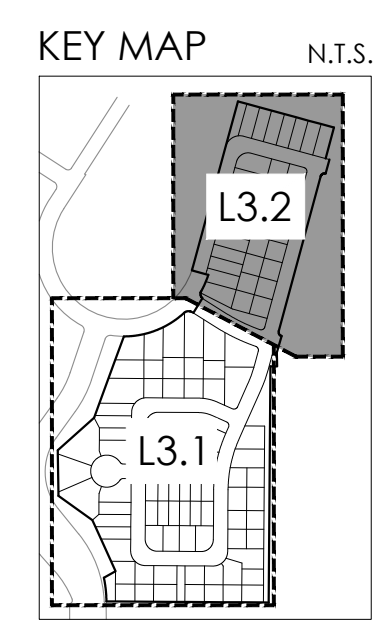
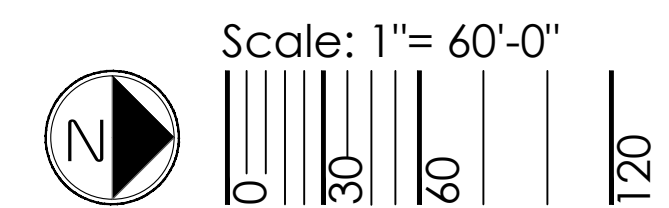
L4.2

SHEET 3 OF 25

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

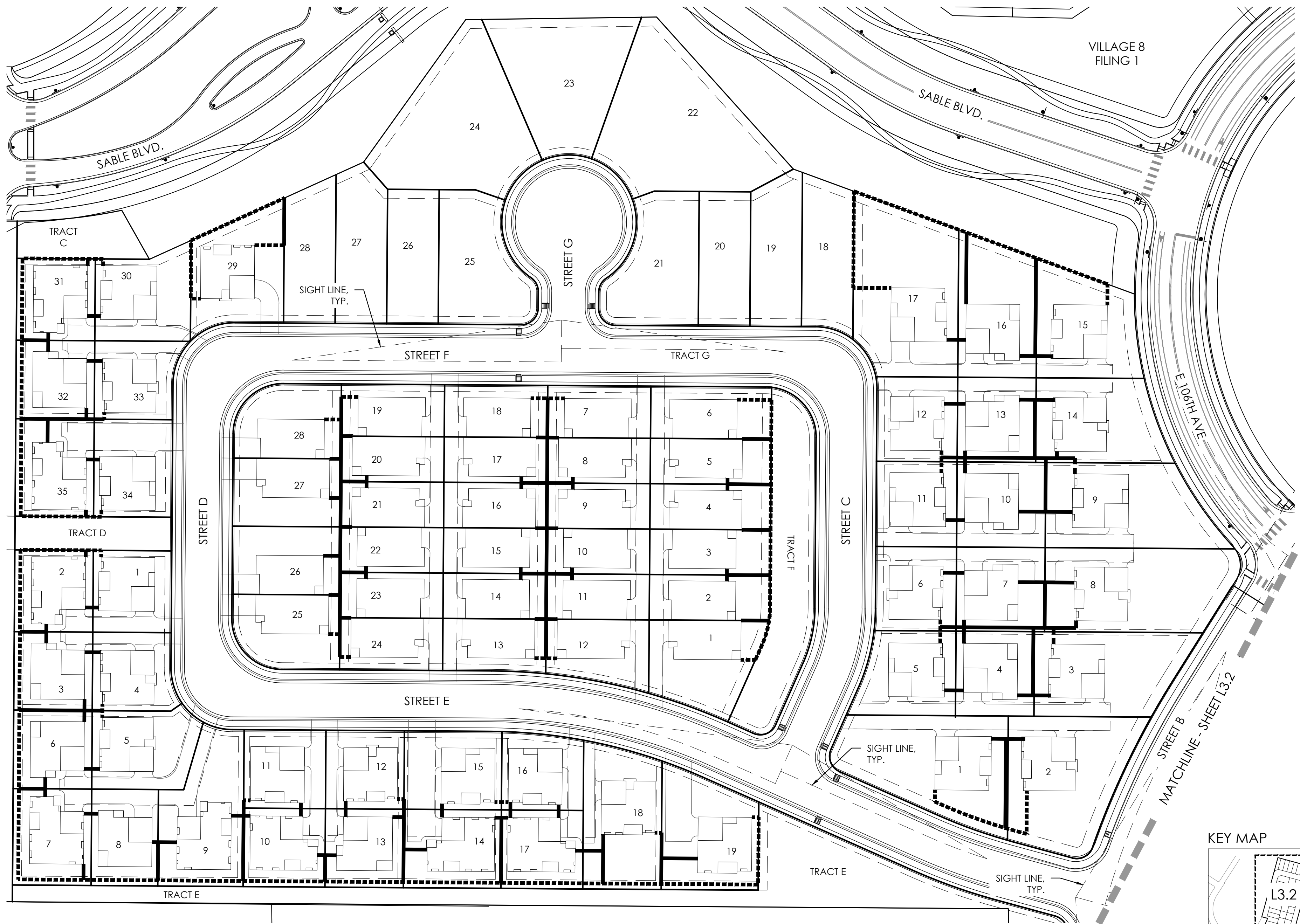
DEPARTMENT OF COMMUNITY DEVELOPMENT

- LEGEND**
- Ⓢ STREET-SIDE FACADE
 - Ⓣ INTERNAL FACADE
 - ⓕ FRONT DOOR FACADE
 - ✳ LIMITED TO 2-STORIES



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ISSUE DATE
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REVISION DATES

SHEET TITLE

FENCING
PLAN

SHEET NUMBER

L3.1

SHEET 3 OF 25

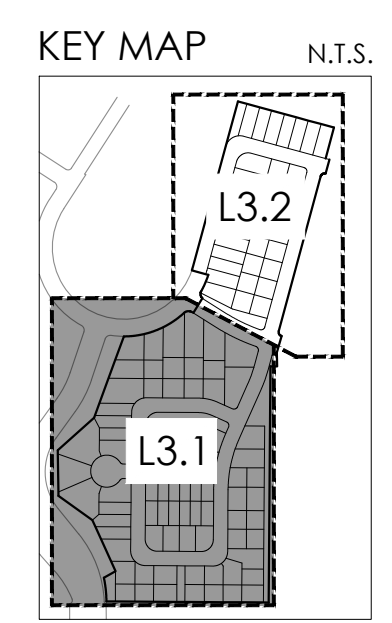
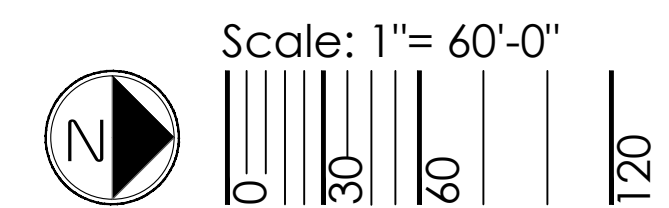
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

LEGEND

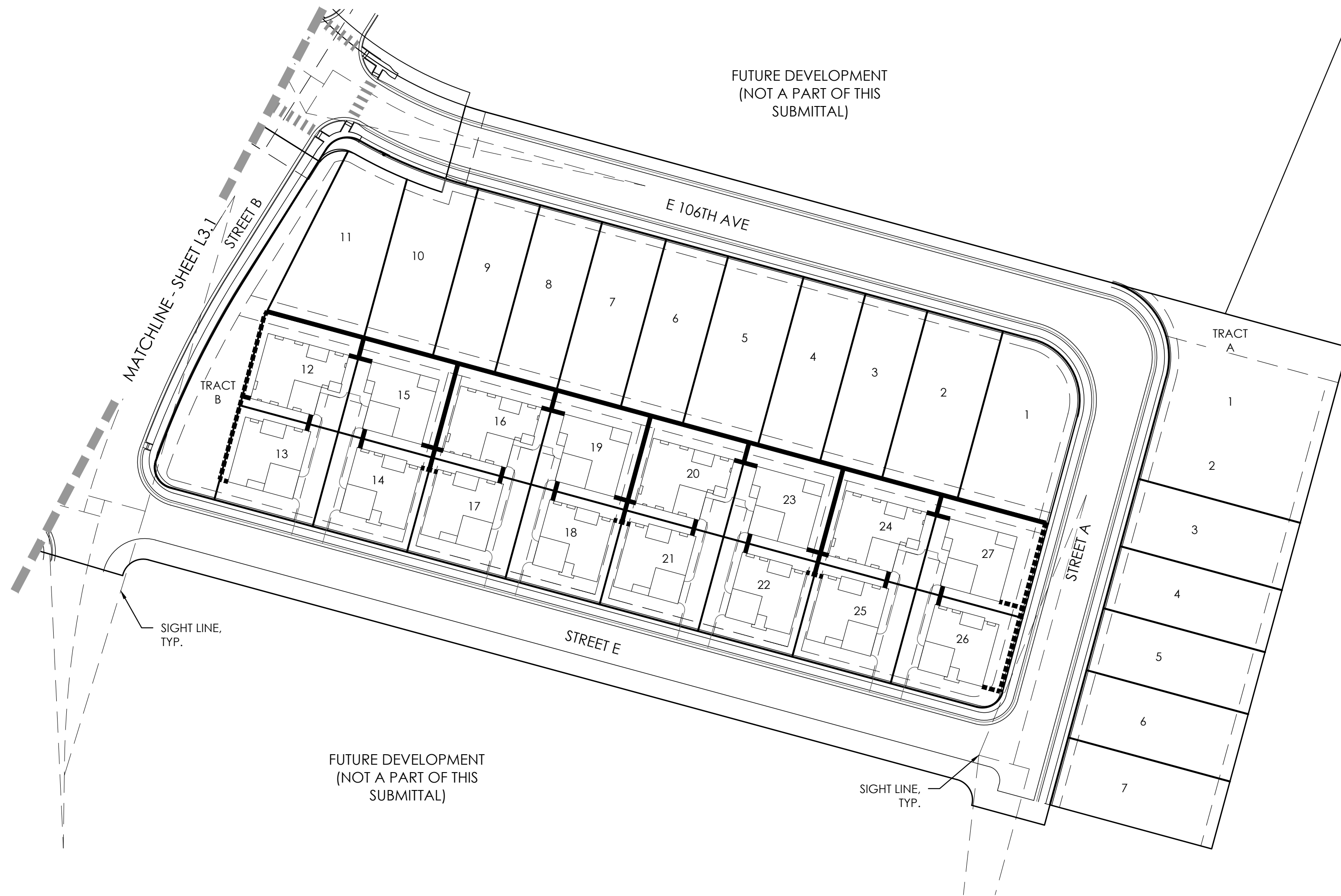
————— 60" OPAQUE FENCE

----- 48" OPEN RAIL FENCE



VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



NOT FOR CONSTRUCTION



ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

VILLAGE 8 FILING 2 P.U.D. PERMIT
A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
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SHEET TITLE

FENCING PLAN

SHEET NUMBER

L3.2

SHEET 3 OF 25

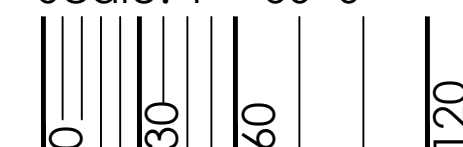
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

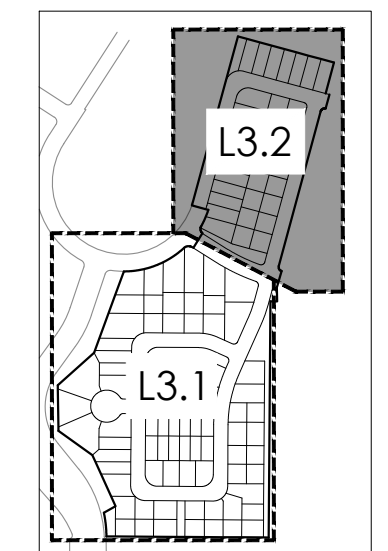
LEGEND

- 60" OPAQUE FENCE
- 48" OPEN RAIL FENCE

Scale: 1" = 60'-0"

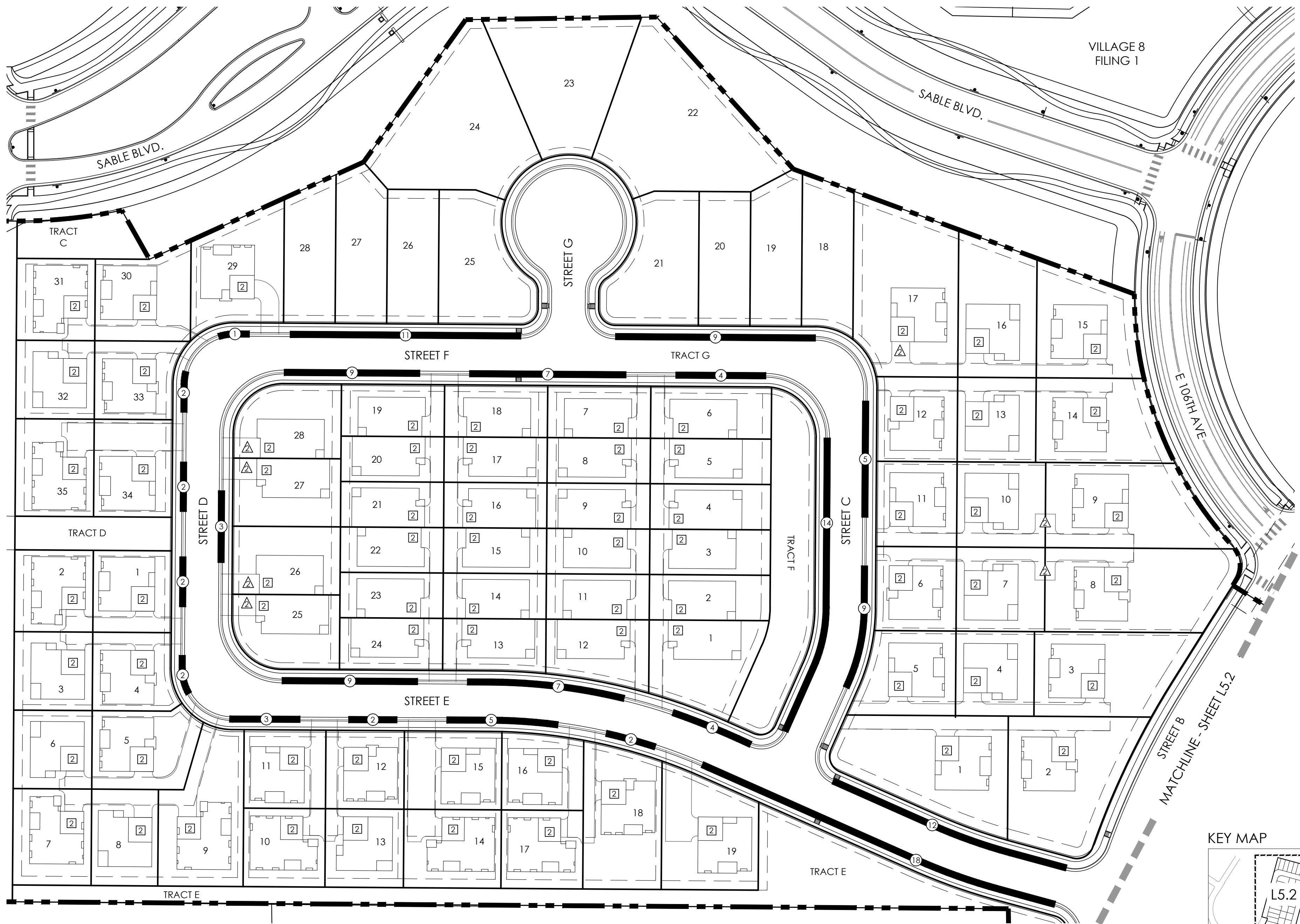


KEY MAP N.T.S.



VILLAGE 8 FILING 2 P.U.D. PERMIT

A PORTION OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



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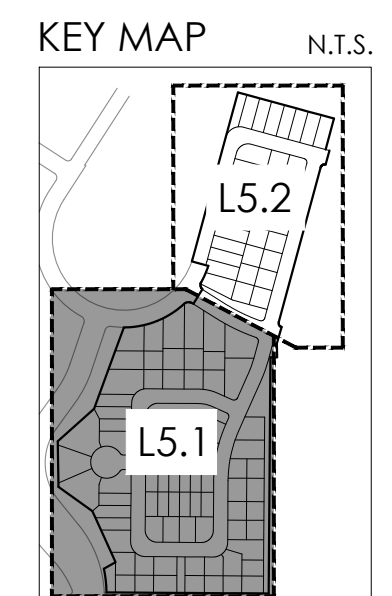
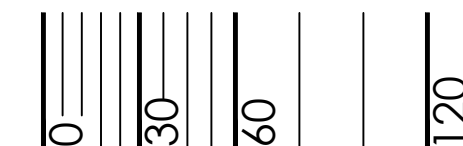
LEGEND

- GARAGE PARKING
- DRIVEWAY PARKING
- ON-STREET PARKING

PARKING TABULATION		
TYPE	NUMBER	NUMBER/UNIT
GARAGE	174	1.5
DRIVEWAY	14	0.1
ON-STREET	198	1.7
TOTAL	386	3.3



Scale: 1" = 60'-0"



NOT FOR CONSTRUCTION



ASSESSOR'S PARCEL IDENTIFICATION NUMBER:
0172307100002

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ISSUE DATE
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REVISION DATES

SHEET TITLE

PARKING PLAN

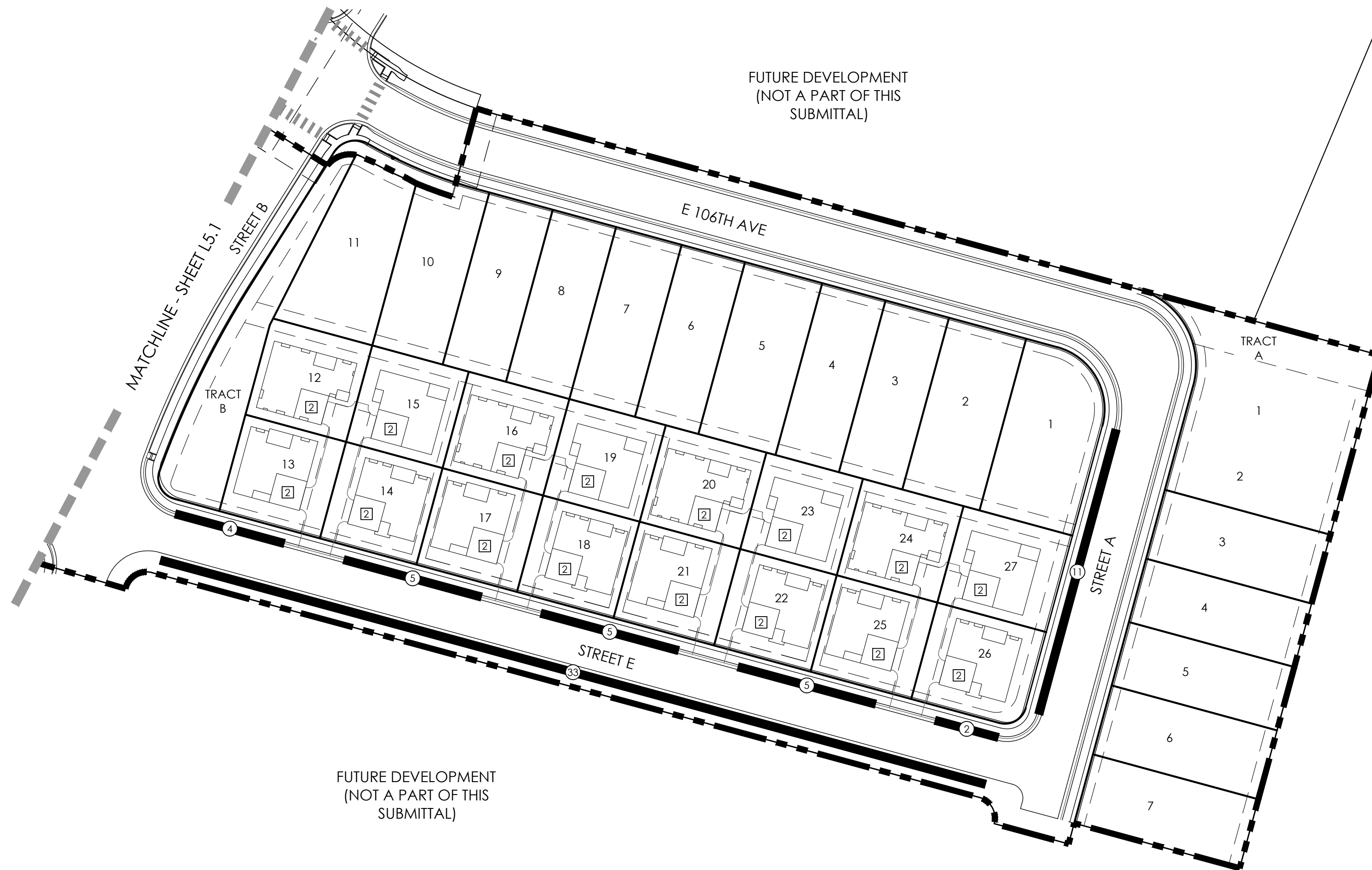
SHEET NUMBER

L5.1

SHEET 3 OF 25

VILLAGE 8 FILING 2 P.U.D. PERMIT

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SHEET TITLE

PARKING PLAN

SHEET NUMBER

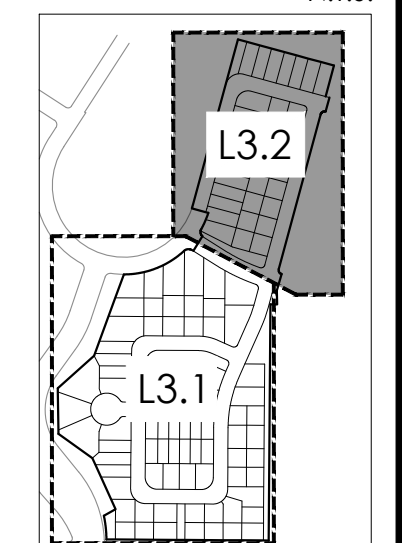
L5.2

SHEET 3 OF 25

FUTURE DEVELOPMENT
(NOT A PART OF THIS
SUBMITTAL)

FUTURE DEVELOPMENT
(NOT A PART OF THIS
SUBMITTAL)



KEY MAP N.T.S.



CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

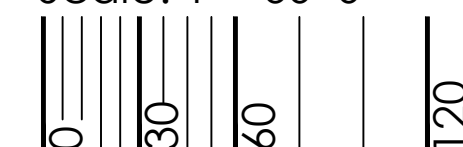
LEGEND

-  GARAGE PARKING
-  DRIVEWAY PARKING
-  ON-STREET PARKING

PARKING TABULATION		
TYPE	NUMBER	NUMBER/UNIT
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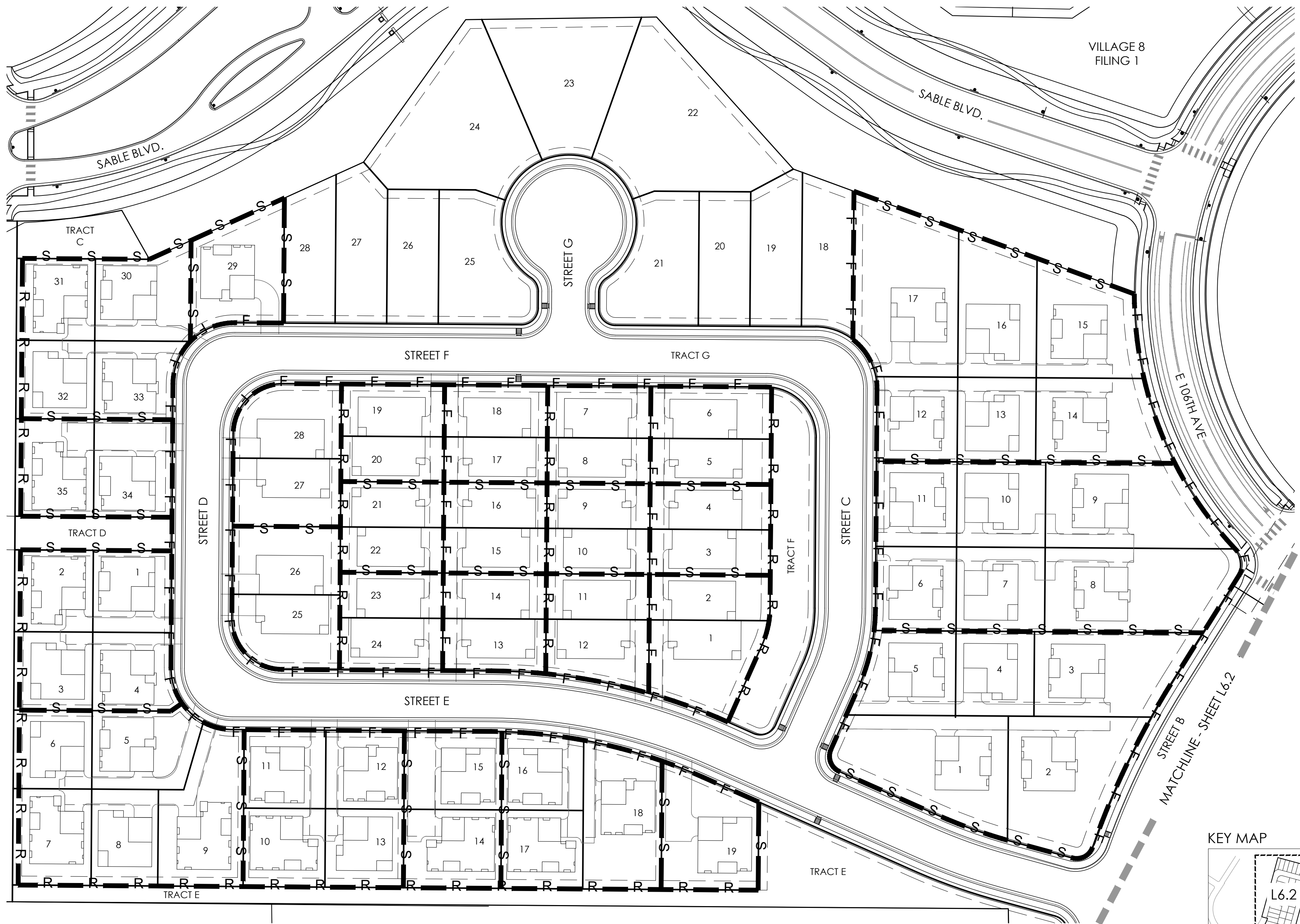


Scale: 1" = 60'-0"



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ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

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REVISION DATES

SHEET TITLE

SETBACK PLAN

SHEET NUMBER

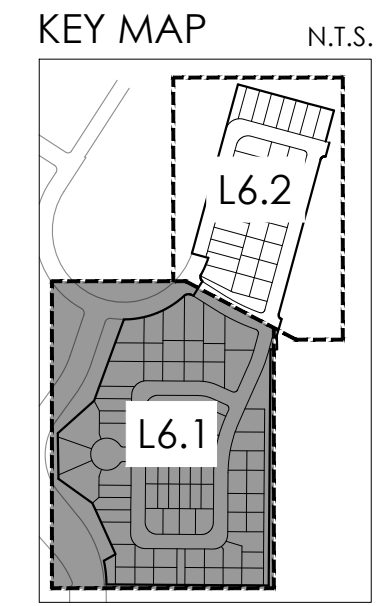
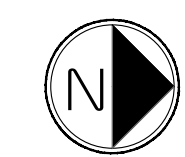
L6.1

SHEET 3 OF 25

CITY STAFF CERTIFICATE
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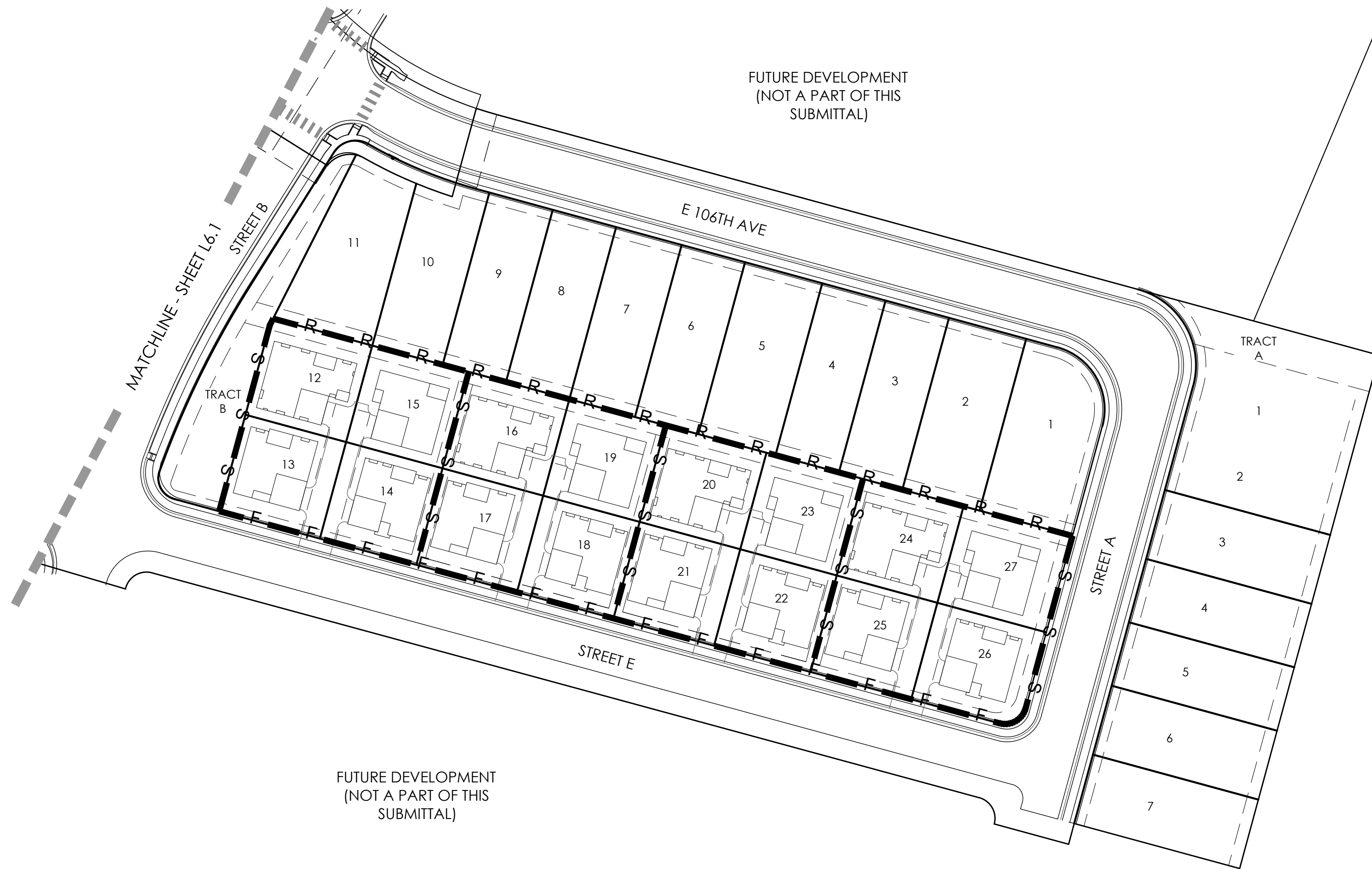
- LEGEND**
- F FRONT SETBACK
 - S SIDE SETBACK
 - R REAR SETBACK

NOTE: FOR FRONT SETBACK STANDARDS TO APPLY TO THE R.O.W. SIDE, A WRAP-AROUND PORCH MUST BE INCLUDED ON THE R.O.W. SIDE. IF NO WRAP-AROUND PORCH IS PROVIDED, IT WILL BE CONSIDERED A "SIDE ON STREET" CONDITION.



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FUTURE DEVELOPMENT
(NOT A PART OF THIS
SUBMITTAL)

FUTURE DEVELOPMENT
(NOT A PART OF THIS
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NOT FOR CONSTRUCTION



ASSESSOR'S
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SHEET TITLE

SETBACK
PLAN

SHEET NUMBER

L6.2

SHEET 3 OF 25

CITY STAFF CERTIFICATE
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- LEGEND**
- F** FRONT SETBACK
 - S** SIDE SETBACK
 - R** REAR SETBACK

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