

**LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6  
LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO**

**BASIS OF BEARING**

THE GPS DERIVED NORTH LINE OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY THE NORTH QUARTER CORNER OF SAID SECTION (BEING A FOUND 3 1/4" ALUMINUM CAP) FROM WHENCE THE NORTHEAST QUARTER CORNER OF SAID SECTION (BEING A FOUND 3 1/4" BRASS CAP) BEARS NORTH 89°40'40" EAST A DISTANCE OF 2641.08 FEET, WITH ALL BEARINGS HEREIN RELATIVE THERETO.

**BENCHMARK**

FOUND ALUMINUM CAP STAMPED "17468" LOCATED AT THE INTERSECTION OF E 96TH AVE AND YOSEMITE ST.  
NAVD 88 ELEVATION = 5097.98

**LEGAL DESCRIPTION**

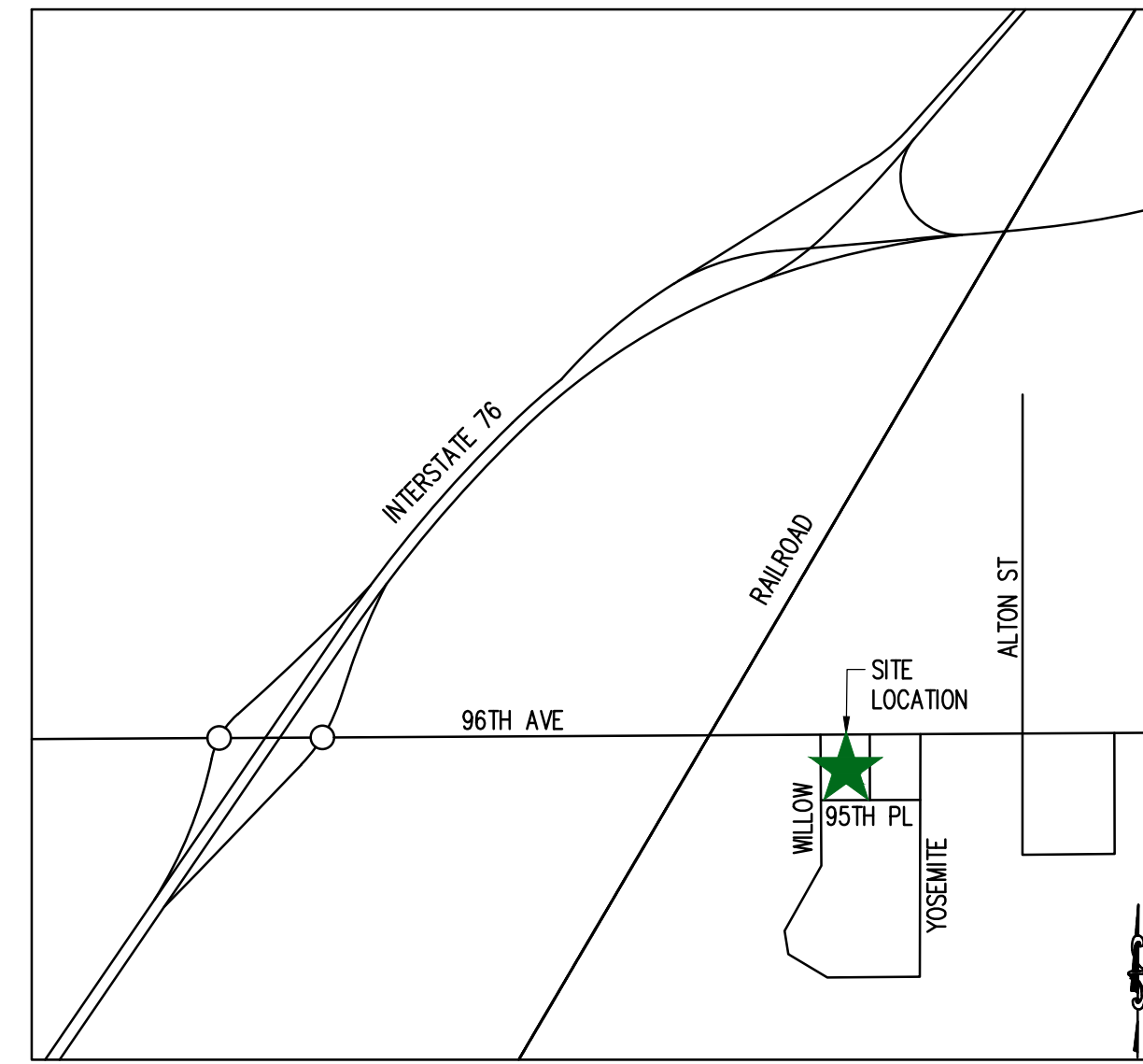
KNOW ALL MEN BY THESE PRESENTS THAT MACKAY HOLDINGS LLC, BEING THE OWNER OF THAT PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

LOT 1, MARTY FARMS SUBDIVISION FILING NO. 6, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

CONTAINING: 122,403 SQ. FT., OR 2.811 ACRES, MORE OF LESS.

**NOTE**

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND CITY OF COMMERCE CITY STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY FALCON SURVEYING, INC., DATED 5/07/2020. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITework IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITework WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



**VICINITY MAP**

NOT TO SCALE

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**PROJECT CONTACTS:**

**CIVIL ENGINEER**  
RIDGETOP ENGINEERING AND SURVEYING  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO 80550  
(970) 663-4552  
CONTACT: MIKE BEACH, P.E.

**OWNER/APPLICANT**  
HOMELAND  
2200 S. VALENTIA ST.  
DENVER, CO 80231  
(303) 909-2508  
CONTACT: KAREN KENNEDY

**LANDSCAPE ARCHITECT**  
JUMP DESIGN COMPANY  
1733 SOUTH CLARKSON ST.  
DENVER, CO 80210  
(303) 282-0463  
CONTACT: TOM JUMP

**SURVEYOR**  
FALCON SURVEYING, INC.  
9940 W. 25TH AVE  
LAKEWOOD, CO 80215  
(303) 202-1560  
CONTACT: JEFF MACKENNA

**GEOTECH**  
KUMAR & ASSOCIATES, INC  
2390 SOUTH LIPAN STREET  
DENVER, CO 80223  
(303) 742-9700  
CONTACT: CHAD BRINGLE

**ARCHITECT**  
STUDIO DH ARCHITECTURE  
1300 JACKSON ST, SUITE 200  
GOLDEN, CO 80401  
(720) 214-0342  
CONTACT: JUSTIN FRIES

**PHOTOMETRICS**  
COLUMBINE ENGINEERING  
7175 W. JEFFERSON AVE, SUITE 1000  
LAKEWOOD, CO 80235  
(720) 536-5150  
CONTACT: JOHN LANG

**COMMERCE CITY NOTES**

PROJECT IS PART OF THE "MARTY FARMS INDUSTRIAL CENTER - AMENDMENT NO. 2 PUD".

**LIGHTING NOTE:**  
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

**TRASH ENCLOSURE NOTE:**  
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

**SCREENING NOTE:**  
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

**SIGNAGE NOTE:**  
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO THE DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS, HOWEVER, THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.

**FENCING NOTE:**  
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.

**DOWNSPOUT NOTE:**  
NO DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

**AMERICANS WITH DISABILITIES NOTE:**  
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

**CONSTRUCTION NOTE:**  
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO ISSUANCE OF BUILDING PERMITS.

**UNDERGROUND UTILITY NOTE:**  
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

**DEMOLITION NOTE:**  
ALL EXISTING BUILDINGS AND APPURTENANCES WILL BE DEMOLISHED AS PART OF THIS PROJECT.

LOGO



SEAL

PROJECT TITLE

**MARTY FARMS;  
LOT 1**

9584 WILLOW COURT  
COMMERCE CITY, CO

PREPARED FOR

**HOMELAND**

2200 S VALENTIA ST  
DENVER, CO 80231

SUBMITTAL

**DEVELOPMENT PLAN**

DRAWN BY: RSB

CHECKED BY: MRB

PROJECT NO.: 20-143-001

REVISIONS

COMMENTS 1/5/22

COMMENTS 5/17/22

DATE

**7/23/2021**

SHEET TITLE

**COVER SHEET**

SHEET INFORMATION

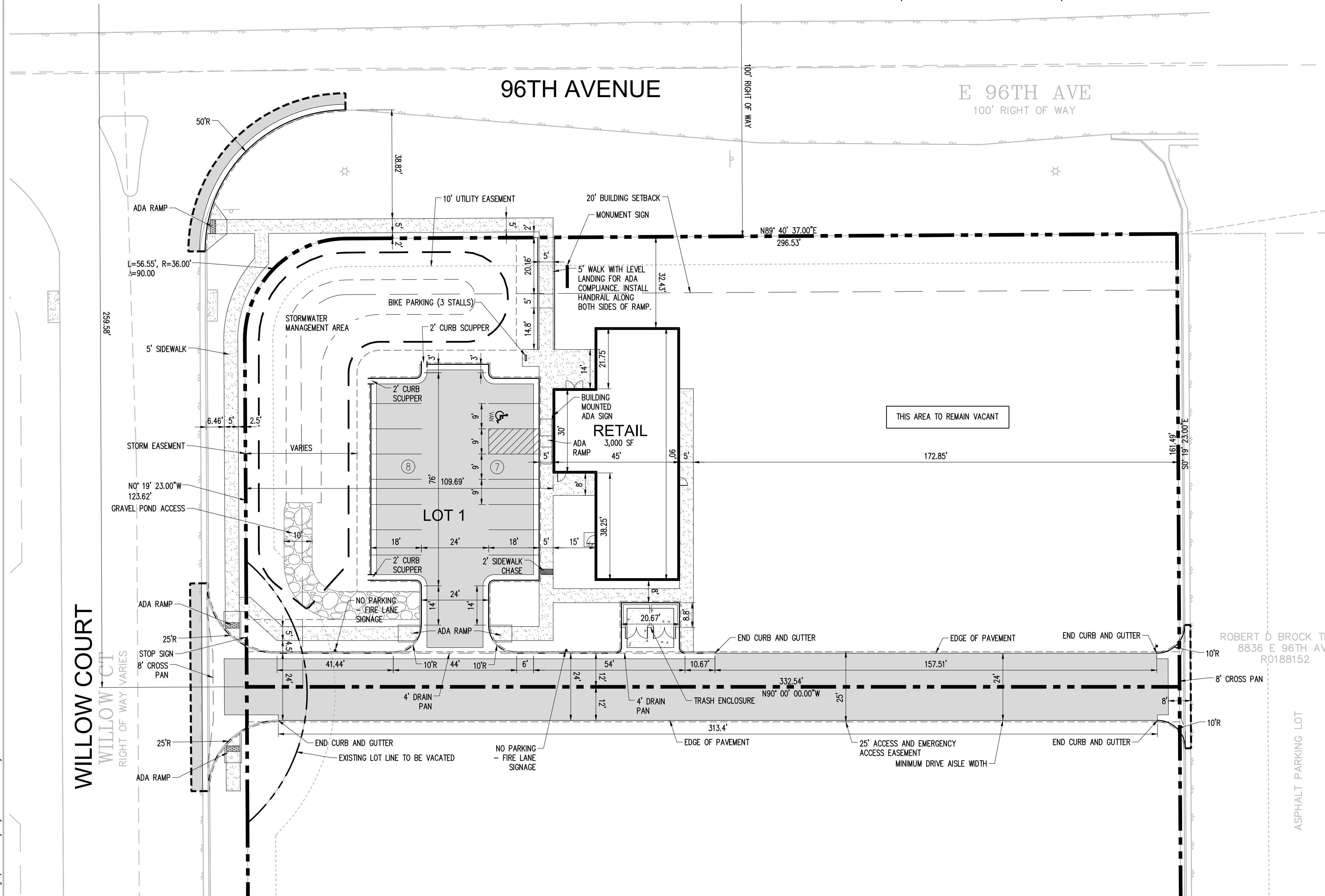
**CV-1**

1 of 10

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_  
DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE



**LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6**  
**LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.**  
**CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO**



**LEGEND**

	STANDARD DUTY ASPHALT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PROPERTY LINE
	SETBACK LINE
	CURB AND GUTTER
	CURB AND GUTTER - PAINTED FIRE LANE
	SAWCUT
	EDGE OF PAVEMENT

**SITE DATA**

LOT 1 (MARTY FARMS FILING #6) = 53112 SF (1.219 AC)  
 SITE ADDRESS: 9584 WILLOW COURT, COMMERCE CITY, CO  
 PARCEL IDENTIFICATION NUMBER: 0172121103002  
 ANTICIPATED # OF EMPLOYEES: 2 TO 3 PER SHIFT  
 TYPE OF CONSTRUCTION: WOOD FRAMED  
 ZONING (PROPOSED & EXISTING): PUD  
 MAXIMUM BUILDING HEIGHT: 50'  
 BUILDING SETBACK: 20'  
 LANDSCAPE AREA: 12,263 SF (23.1%)  
 VACANT LAND: 24,509 SF (46.1%)  
 FAR: 3,000/53,112 = 5.6%

**BUILDING DATA**

	FLOOR AREA (FAR %)
RETAIL:	= 3,000 SF (5.6%)

**PARKING DATA**

PARKING PROVIDED  
 STANDARD STALLS = 14 STALLS  
 ACCESSIBLE STALLS = 1 STALLS  
 TOTAL STALLS = 15 STALLS

PARKING REQUIRED:  
 MIN: 1 STALL / 300 SF = 10  
 MAX: 150% OF MIN = 15

BIKE PARKING = 3 SPACES

- NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY FALCON SURVEYING, INC., DATED 05/07/2020. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
  - CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - DIMENSIONS SHOWN REFER TO EDGE OF PAVEMENT, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
  - ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE HEAVY DUTY PAVEMENT UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY. RIGHT OF WAY PERMIT FROM PUBLIC WORKS REQUIRED FOR ALL WORK DONE WITHIN THE RIGHT OF WAY.
  - REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION. (SEE SHEET CS-1)
  - ALL ON-SITE PAINTED STRIPING SHALL BE SINGLE COATED.
  - PARKING LOT STRIPING SHALL BE YELLOW, 4" WIDTH, UNLESS OTHERWISE NOTED. LIGHT POLE BASES TO BE PAINTED TRAFFIC YELLOW (DOUBLE COAT)
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB AND GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
  - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CURB RADII ADJACENT TO PARKING STALLS SHALL BE 2'. ALL OTHER CURB RADII SHALL BE 10', UNLESS OTHERWISE NOTED.

**LOGO**

**RIDGE TOP**  
 ENGINEERING & SURVEYING  
 541 E. Garden Drive, Unit N Windsor, CO 80550  
 T (970) 683-4552  
 F (970) 683-4552  
 W ridge-topeng.com

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**PROJECT TITLE**

**MARTY FARMS; LOT 1**

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9584 WILLOW COURT  
 COMMERCE CITY, CO

---

PREPARED FOR

**HOMELAND**

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2200 S VALENTIA ST  
 DENVER, CO 80231

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**SUBMITTAL**

**DEVELOPMENT PLAN**

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DRAWN BY: RSB  
 CHECKED BY: MRB  
 PROJECT NO.: 20-143-001

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**REVISIONS**

COMMENTS	DATE
COMMENTS	1/5/22
COMMENTS	5/17/22

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**DATE**

**7/23/2021**

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**SHEET TITLE**

**SITE PLAN**

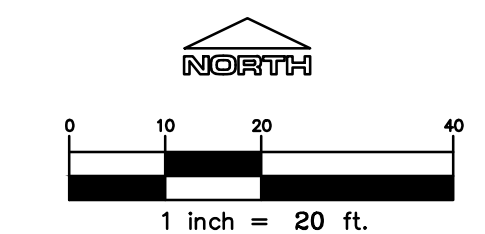
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**SHEET INFORMATION**

**C-1.0**

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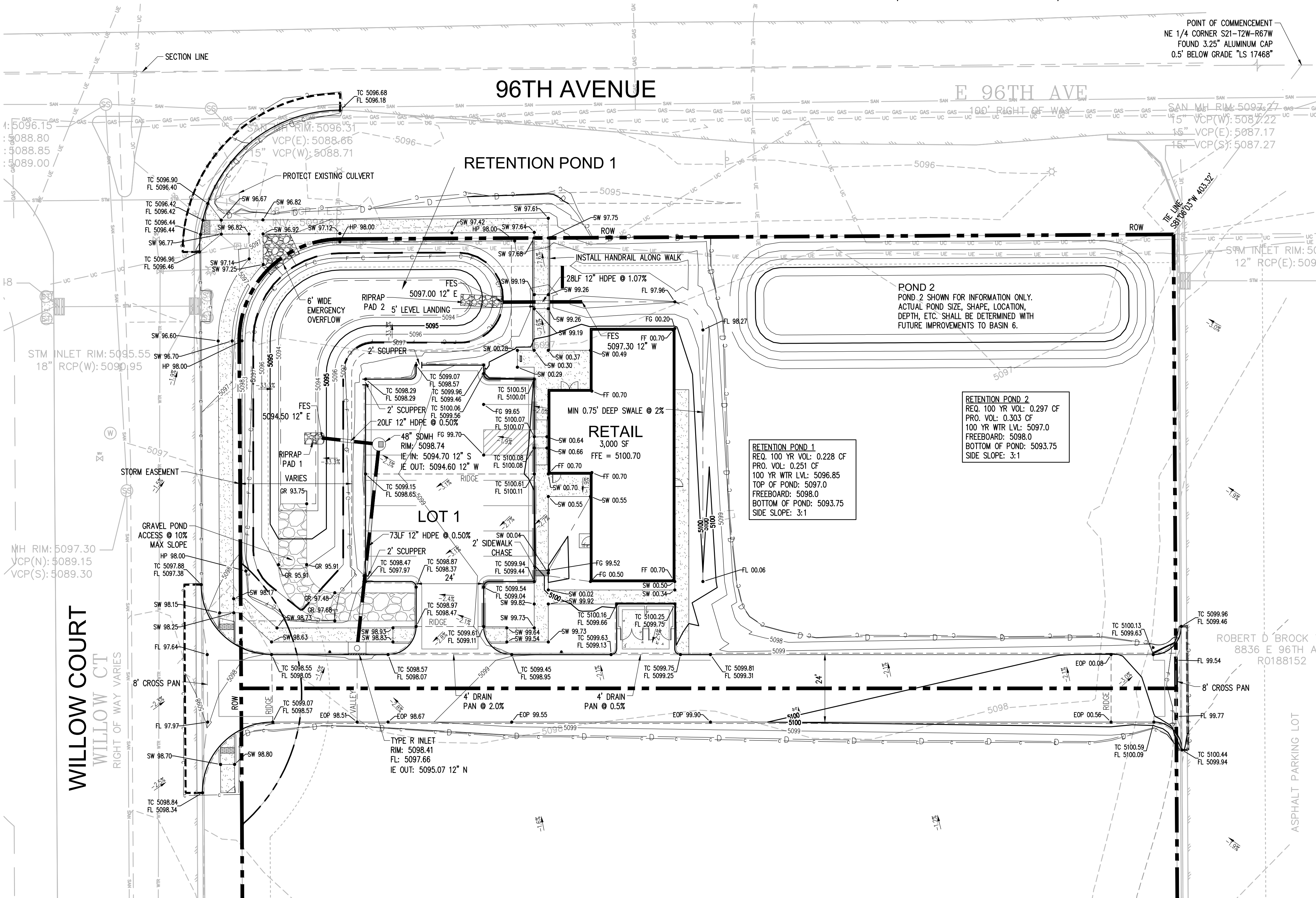


**CITY STAFF CERTIFICATE:**  
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_  
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE \_\_\_\_\_

File: C:\H1005.dwg Path: P:\Colorado\Commerce City\Homeland\Marty Farms #20-143-001\Drawings\ Plotted by: Ryan Date: 17-May-22 10:48:39am



LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6  
 LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

PROPOSED CONTOUR	---
PROPERTY LINE	---
SETBACK LINE	---
PROPOSED STORM DRAIN	---
TYPE 13 INLET	---
SPOT ELEVATION	---
SPILL CURB	---
RIDGE/HIGHPOINT	---
SWALE/LOWPOINT	---
DAYLIGHT	---
CUT LINE	---
FILL LINE	---
TOP OF CURB	TC
FLOWLINE	FL
FINISHED GRADE	FG
SIDEWALK	SW
EDGE OF PAVEMENT	EOP
HIGH POINT	HP

LEGEND - EXISTING

EX. CONTOUR	---
EX. GAS LINE	---
EX. SAN	---
EX. UNDERGROUND ELECTRIC	---
EX. UNDERGROUND COMM	---
EX. WATER	---
EX. STM	---

PROJECT TITLE  
**MARTY FARMS;  
 LOT 1**

9584 WILLOW COURT  
 COMMERCE CITY, CO

PREPARED FOR  
**HOMELAND**

2200 S VALENTIA ST  
 DENVER, CO 80231

BENCHMARK

FOUND ALUMINUM CAP STAMPED "17468" LOCATED AT THE INTERSECTION OF E 96TH AVE AND YOSEMITE ST.  
 NAVD 88 ELEVATION = 5097.985

BASIS OF BEARING, BENCHMARK,  
 WATERS OF THE STATE

THE BASIS OF BEARINGS FOR THIS PLAN IS THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY A FOUND 3.25" ALUMINUM CAP "LS 17468" BEING THE NORTHEAST 1/4 CORNER OF SAID SECTION 21 FROM WHENCE A FOUND 3.25" ALUMINUM CAP "ILLEGIBLE" BEING THE NORTH 1/4 CORNER OF SAID SECTION 21 BEARS SOUTH 89°40'37" WEST, A DISTANCE OF 2641.08 FEET WITH ALL BEARINGS HEREIN RELATIVE THERETO.

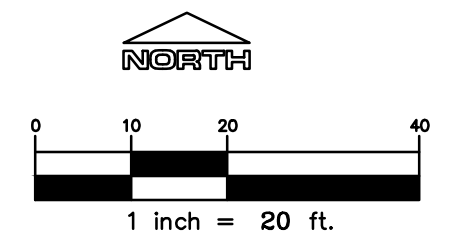
WATERS OF THE STATE: PROJECT DOES NOT OUTLET STORMWATER INTO THE WATERS OF THE STATE. NEAREST WATERS OF THE STATE WOULD BE LOCATED APPROXIMATELY 3,000 LF TO THE EAST OF THE SITE AND IS LABELED AS FIRST CREEK, WHICH DRAINS TOWARDS BARR LAKE.

NOTE:  
 CUT/FILL AREAS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO VERIFY.  
 CUT: 445 CU. YD.  
 FILL: 2057 CU. YD.

COMMERCE CITY GRADING NOTES

- THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO COMMENCING GRADING. THE FOLLOWING GENERAL NOTES SHOULD BE INCLUDED ON THE GRADING PLANS WHEN APPLICABLE:
- GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED DRAINAGE AND SITE PLAN.
- A WATER TRUCK SHALL BE KEPT ON-SITE TO CONTROL WIND EROSION AND DUST.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- NO GRADING SHALL TAKE PLACE IN ANY DELINEATED FLOOD HAZARD AREA UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. UPON WRITTEN NOTICE BY THE CITY, FAILURE TO REMOVE THE MUD OR DEBRIS BY THE CONTRACTOR WITHIN 24 HOURS SHALL CAUSE THE CITY TO STOP ALL WORK UNTIL THE SITUATION IS RESOLVED.
- WHEN REQUIRED, A COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE), WATER QUALITY DIVISION, STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED AND A COPY SHALL BE SUBMITTED TO THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS.
- AREAS DISTURBED BY GRADING SHALL BE MULCHED AND RESEEDED WITH NATIVE VEGETATION OR AS APPROVED ON THE PLAN.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR SAFETY CONDITIONS ON AND ADJACENT TO THE SITE 24 HOURS A DAY, SEVEN DAYS A WEEK.
- CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. (811 OR 1-800-922-1987)
- THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY OF COMMERCE CITY PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY'S STORMWATER QUALITY CONTROL CRITERIA. THE CITY ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
- THE ADEQUACY OF THIS ESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. COMMERCE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE APPROVED PLANS.
- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IN ACCORDANCE WITH THE CITY APPROVED PLANS.
- ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMPs FROM THE CITY APPROVED PLANS WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE CITY OF COMMERCE CITY ENGINEERING DIVISION.
- AFTER THE ESC PLAN HAS BEEN APPROVED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs INDICATED ON THE ACCEPTED ESC PLAN.
- THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
- AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs, THE PERMITTEE SHALL CALL THE PUBLIC WORKS AT 303-289-8150 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE PRECONSTRUCTION MEETING.
- THE ESC MANAGER SHALL BE CERTIFIED IN STORMWATER MANAGEMENT AND EROSION CONTROL AND DOCUMENTATION SHALL BE PROVIDED TO THE CITY.
- THE OWNER OR OWNER'S REPRESENTATIVE, THE ESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE INSTALLATION OF THE INITIAL BMPs ARE NOT APPROVED BY THE CITY ESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE

- START OF CONSTRUCTION. THE CITY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
- CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY ESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMPs AND THE GRADING PERMIT IS OBTAINED FROM PUBLIC WORKS.
- THE ESC MANAGER SHALL STRICTLY ADHERE TO THE APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF COMMERCE CITY ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- A COPY OF THE GRADING PERMIT AND APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
- THE ESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GRADING PERMIT. THE ESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER.
- THE ESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ON ADJACENT PAVED AREAS, PAVED AREAS, INCLUDING STREETS, ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE CITY'S ESC INSPECTOR. STREET WASHING IS NOT ALLOWED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS.
- THE APPROVED PLANS MAY REQUIRE CHANGES OR ALTERATIONS AFTER APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICIENCIES IN DESIGN OR INSTALLATION. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE CITY APPROVED ACCESS POINTS. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINTS ON THE SITE. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE COMMERCE CITY ENGINEERING DIVISION.
- THE ESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND COMMERCE CITY ENGINEERING DIVISION FOR ANY PROPOSED CHANGES.
- NO PERMANENT EARTH SLOPES GREATER THAN 3:1 SHALL BE ALLOWED.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE ESC MANAGER. THE ESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY, IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. NO STOCKPILES SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE COMMERCE CITY ENGINEERING DIVISION.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE CDPE PER CRS 225-8-601, AND COMMERCE CITY. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER, SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT AS WELL AS THE CDPE. SPILLS THAT SHOW AN IMMEDIATE RISK TO HUMAN LIFE SHALL BE REPORTED TO 911. FAILURE TO REPORT AND CLEAN UP ANY SPILL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER.
- THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED AT AN APPROPRIATE LOCATION.
- COMMERCE CITY DOES NOT ALLOW HAY BALES AS A FORM OF EROSION AND SEDIMENT CONTROL.
- ONCE THE SITE HAS REACHED FINAL STABILIZATION, A FINAL INSPECTION SHALL BE SCHEDULED WITH THE CITY'S ESC INSPECTOR. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED AND/OR THE GRADING BOND WILL NOT BE RELEASED UNTIL THE CITY'S ESC INSPECTOR APPROVES FINAL STABILIZATION.



CITY STAFF CERTIFICATE:  
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.  
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

DATE  
**7/23/2021**

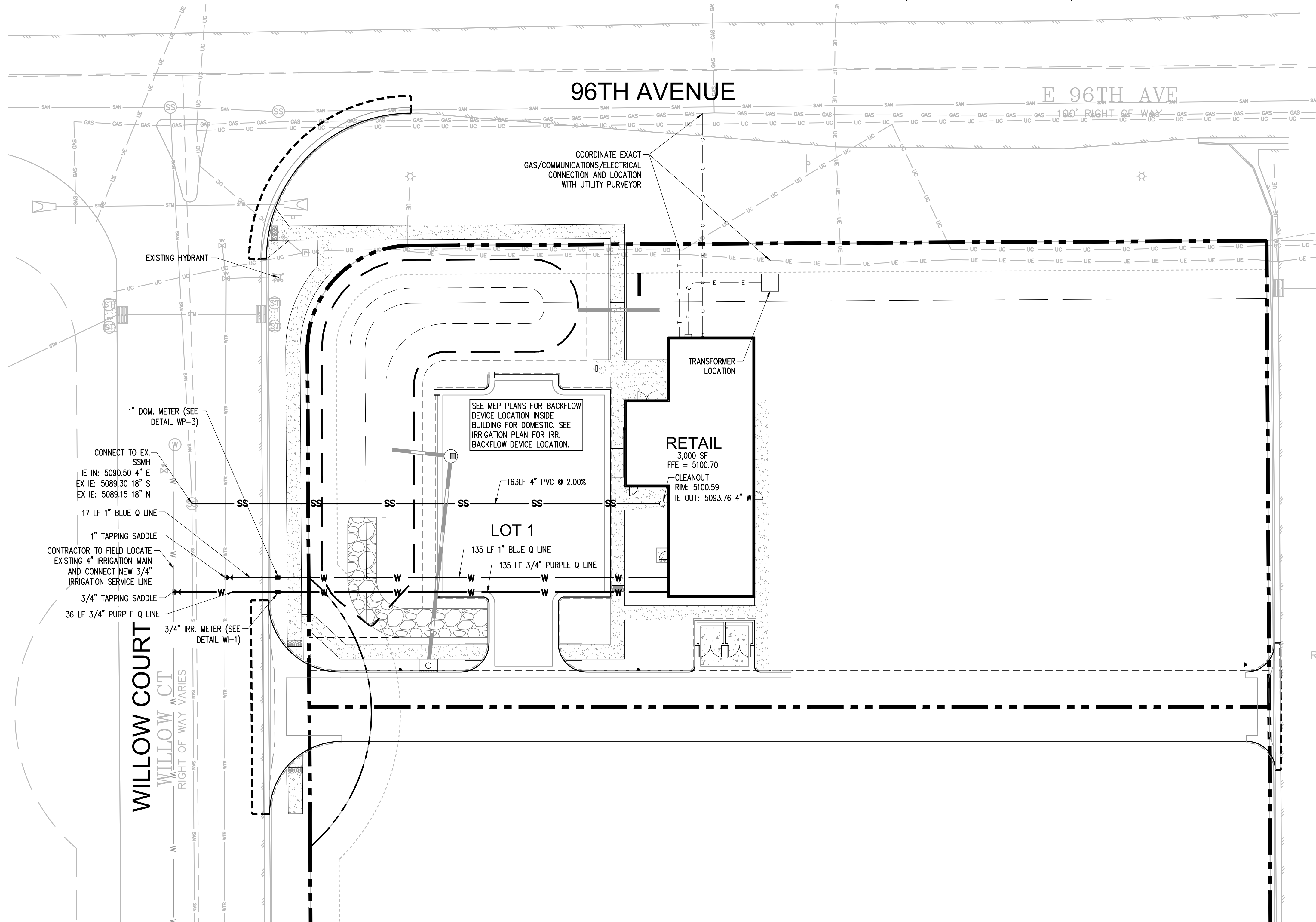
SHEET TITLE  
**GRADING AND DRAINAGE PLAN**

SHEET INFORMATION  
**C-2.0**

3 of 10



**LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6**  
**LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.**  
**CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO**



**LEGEND**

---	PROPERTY LINE
---	SETBACK LINE
SS	SANITARY SEWER LINE
---	PROPOSED STORM DRAIN
•	SANITARY CLEANOUT
•	WATER METER
•	FIRE HYDRANT
---	EXISTING UNDERGROUND COMMUNICATIONS
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING GAS LINE
---	EXISTING STORM
---	EXISTING WATER LINE

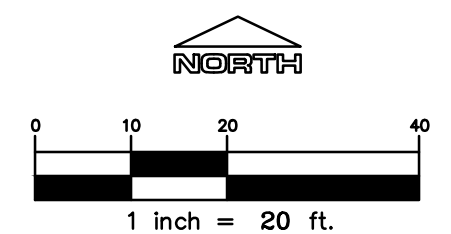
- NOTES:**
- SEE ADDITIONAL NOTES ON COVER SHEET RELATED TO SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT STANDARDS AND REQUIREMENTS.
  - SEE ARCH/MEP PLANS FOR BACKFLOW DEVICE LOCATIONS INSIDE BUILDING FOR DOMESTIC AND IRRIGATION.

**SACWSD POTABLE WATER DISTRIBUTION NOTES:**

- TRACER WIRE SHALL BE INSTALLED ON ALL POTABLE WATER MAINS AND SERVICE LINES, REGARDLESS OF PIPE MATERIAL, AS SPECIFIED IN THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL SPLICES SHALL BE MADE USING WATERPROOF GEL CAP TYPE CONNECTORS. UNDER THE SUPERVISION OF THE DISTRICT, TESTS SHALL BE MADE BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION TO INSURE THAT THE WIRES CARRY A CONTINUOUS CURRENT BETWEEN TEST BOXES.
- THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL POTABLE WATER MAINS AND SERVICE LINES.
- ALL POTABLE WATER MAINS SHALL BE CHLORINATED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS IN ACCORDANCE WITH AWWA C651, DISINFECTING WATER MAINS. WHEN TABLETS ARE USED, A SUFFICIENT NUMBER OF TABLETS SHALL BE ADHERED TO THE TOP OF EACH PIPE TO PRODUCE A MINIMUM CONCENTRATION OF 100 MILLIGRAMS PER LITER. THE CHLORINATION OF ANY FINISHED PIPELINE WHERE THE TABLET METHOD WAS USED SHALL BE TESTED AND ACCEPTED BY THE DISTRICT PRIOR TO HYDROSTATIC TESTING OF THE LINE.
- ALL POTABLE WATER MAINS SHALL BE HYDROSTATICALLY TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS AT A TEST PRESSURE OF 150 PSI UNLESS OTHERWISE DIRECTED BY THE DISTRICT. TESTS SHALL BE MADE UNDER THE SUPERVISION OF THE DISTRICT.
- ALL POTABLE WATER DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN CLEAR POLYETHYLENE WRAP PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS.
- ALL POTABLE SYSTEM VALVE BOX LIDS, METER PIT COVERS, MANHOLE COVERS AND VAULT COVERS SHALL BE FURNISHED WITH THE WORD 'WATER' CLEARLY CAST ON THE SURFACE. POTABLE WATER MAIN VALVE BOX LIDS SHALL BE CIRCULAR, AND POTABLE METER PIT COVERS SHALL BE RECESSED COVERS TO DISTINGUISH THEM FROM THE CAP-TYPE COVERS USED ON IRRIGATION WATER METER PITS.
- A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND ALL OTHER SANITARY SEWERS, STORM SEWERS, AND IRRIGATION WATER MAINS. A 10-FOOT HORIZONTAL SEPARATION SHALL ALSO BE PROVIDED BETWEEN POTABLE WATER SERVICE LINES AND ALL OTHER SERVICE LINES.
- A MINIMUM DISTANCE OF 7 FEET TO PIPE CENTERLINE SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GUTTER FLOWLINES.
- ALL POTABLE WATER VALVES INSTALLED IN THE DISTRICT SHALL OPEN LEFT (COUNTER-CLOCKWISE), VALVES 10-INCH AND SMALLER SHALL BE RESILIENT SEAT GATE VALVES. LARGER VALVES MAY BE RESILIENT SEAT GATE VALVES OR BUTTERFLY VALVES.
- ONLY ONE CONNECTION TO THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM SHALL BE MADE UNTIL ALL HYDROSTATIC TESTING, FLUSHING, AND CHLORINATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS.

**SACWSD SANITARY SEWER SYSTEM NOTES:**

- THERE SHALL BE A MINIMUM COVER OF 4.0 FEET OVER ALL SANITARY SEWER MAINS AND SERVICE LINES.
- NO SERVICE LINES SHALL BE LAID UNDER DRIVEWAYS OR WITHIN GARAGES.
- ALL SANITARY SEWER MAINS SHALL BE LAMPED AND LOW-PRESSURE AIR TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL LAMPING AND TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE DISTRICT. AT THE DISTRICT'S DISCRETION, SEWER MAINS SHALL ALSO BE CHECKED FOR DEFLECTION BY PULLING A STANDARD 9 FIN MANDREL THROUGH THE PIPE.
- ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE DISTRICT.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE FURNISHED WITH THE WORD 'SEWER' CLEARLY CAST ON THE SURFACE OF THE COVER.
- THE LOCATION OF ALL SANITARY SEWER MANHOLES NOT LOCATED IN PAVED ROAD SURFACES SHALL BE IDENTIFIED WITH A CARBONITE OR STEEL MARKER POST, AS DIRECTED BY THE DISTRICT. THE EXACT LOCATION OF THE MARKER POST SHALL BE ADJACENT TO THE MANHOLE OVER THE SEWER MAIN ALIGNMENT UNLESS OTHERWISE DETERMINED IN THE FIELD BY THE DISTRICT.
- A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL SEPARATION DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND SANITARY SEWER MAINS. A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL SEPARATION DISTANCE OF 5 FEET SHALL BE MAINTAINED BETWEEN IRRIGATION WATER MAINS AND SANITARY SEWER MAINS.
- LOCATION AND ELEVATION OF EXISTING SANITARY SEWER MAINS AT PROPOSED POINTS OF CONNECTION SHALL BE FIELD VERIFIED PRIOR TO THE INSTALLATION OF ANY NEW SANITARY SEWER MAINS.
- MANHOLE RIMS SHALL BE SET TO AN ELEVATION 1/4-INCH BELOW THE FINAL PAVEMENT ELEVATION. CONCRETE ADJUSTMENT COLLARS SHALL BE USED TO ADJUST RIM ELEVATIONS TO ROUGH FINAL GRADE. NO MORE THAN ONE CAST IRON TRAFFIC ADJUSTMENT RING (RISER) MAY BE USED TO ADJUST THE MANHOLE RIM TO ITS FINAL ELEVATION.
- THE MINIMUM PIPE DIAMETER OF SANITARY SEWER SERVICE LINES SHALL BE 4-INCH.
- THE MINIMUM PIPE DIAMETER OF SANITARY SEWER MAINS SHALL BE 8-INCH.
- ALL SANITARY SEWER MAINS SHALL BE INSTALLED IN A STRAIGHT ALIGNMENT BETWEEN MANHOLES. CHANGES IN PIPELINE DIRECTION SHALL OCCUR ONLY AT MANHOLES.
- THE CONTRACTOR SHALL MEASURE AND RECORD ON THE AS-BUILT DRAWINGS, ALL SANITARY SEWER SERVICE LINE CONNECTION LOCATIONS BY REFERENCING THE DISTANCES TO UPSTREAM AND DOWNSTREAM SANITARY SEWER MANHOLES ON THE MAIN.
- THE CONTRACTOR SHALL VIDEOTAPE THE SEWER FACILITIES WITH CLOSE CIRCUIT TELEVISION (CCTV) AS PART OF FINAL INSPECTION AND SHALL SUBMIT A DVD COPY OF THE INSPECTION TO THE DISTRICT. THE DISTANCE OF ALL SERVICE LINE CONNECTIONS TO THE SEWER MAIN FROM THE NEAREST UPSTREAM MANHOLE SHALL BE RECORDED AND INDICATED ON THE DVD.



**CITY STAFF CERTIFICATE:**  
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_  
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE \_\_\_\_\_

**LOGO**  
  
 541 E. Garden Drive, Windsor, CO 80550  
 T (877) 683-4552 W.ridge-topeng.com

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**PROJECT TITLE**  
**MARTY FARMS; LOT 1**

---

9584 WILLOW COURT  
 COMMERCE CITY, CO

---

PREPARED FOR  
**HOMELAND**

---

2200 S VALENTIA ST  
 DENVER, CO 80231

---

**SUBMITTAL**  
**DEVELOPMENT PLAN**

---

**DRAWN BY:** JS  
**CHECKED BY:** MRB  
**PROJECT NO.:** 20-143-001

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**REVISIONS**

COMMENTS	1/5/22
COMMENTS	5/17/22

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**DATE**  
**7/23/2021**

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**SHEET TITLE**  
**UTILITY PLAN**

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**SHEET INFORMATION**  
**C-3.0**

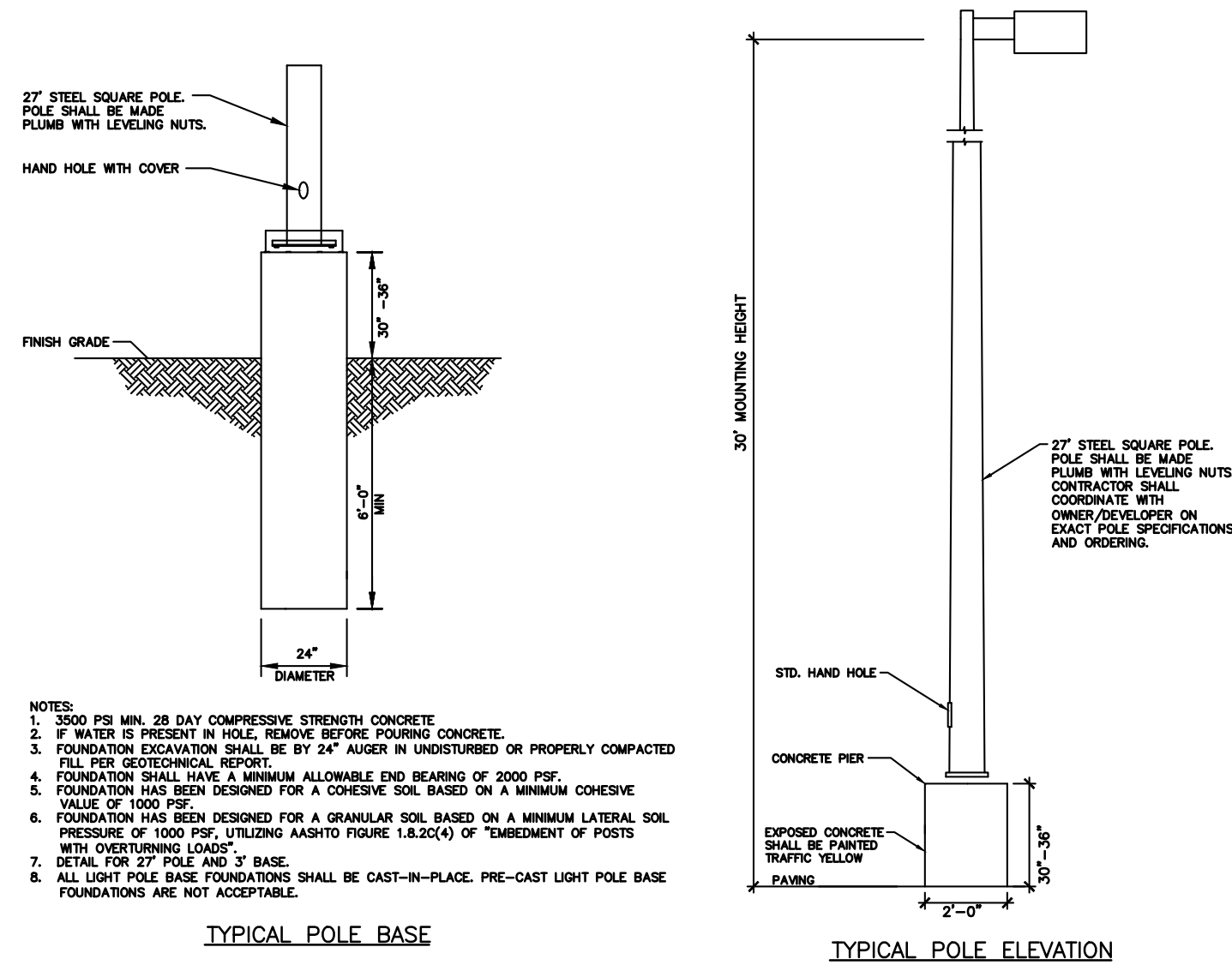
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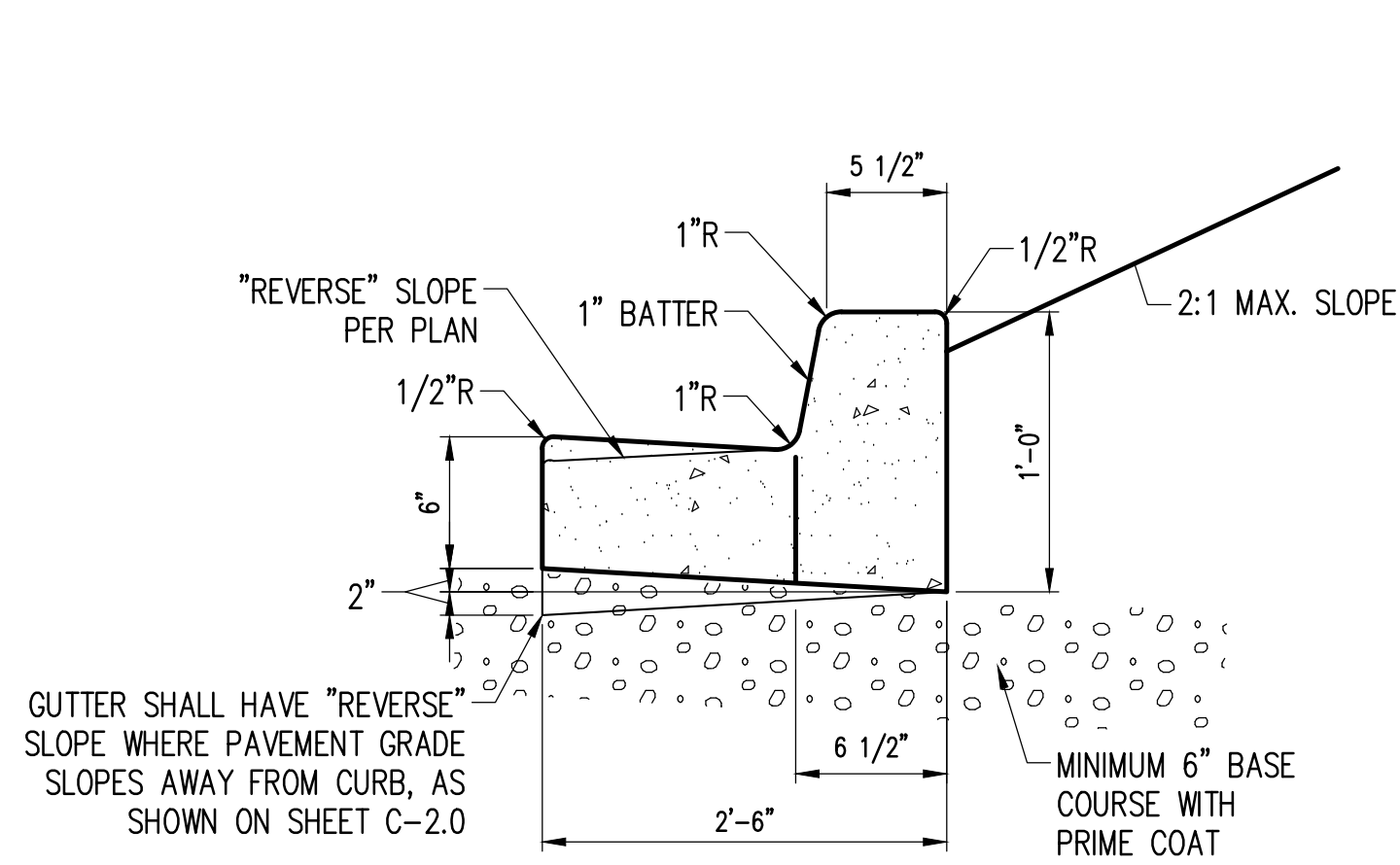


**LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6  
LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO**



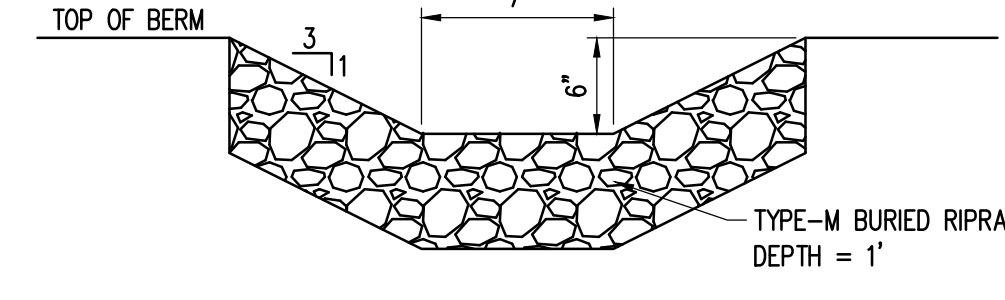
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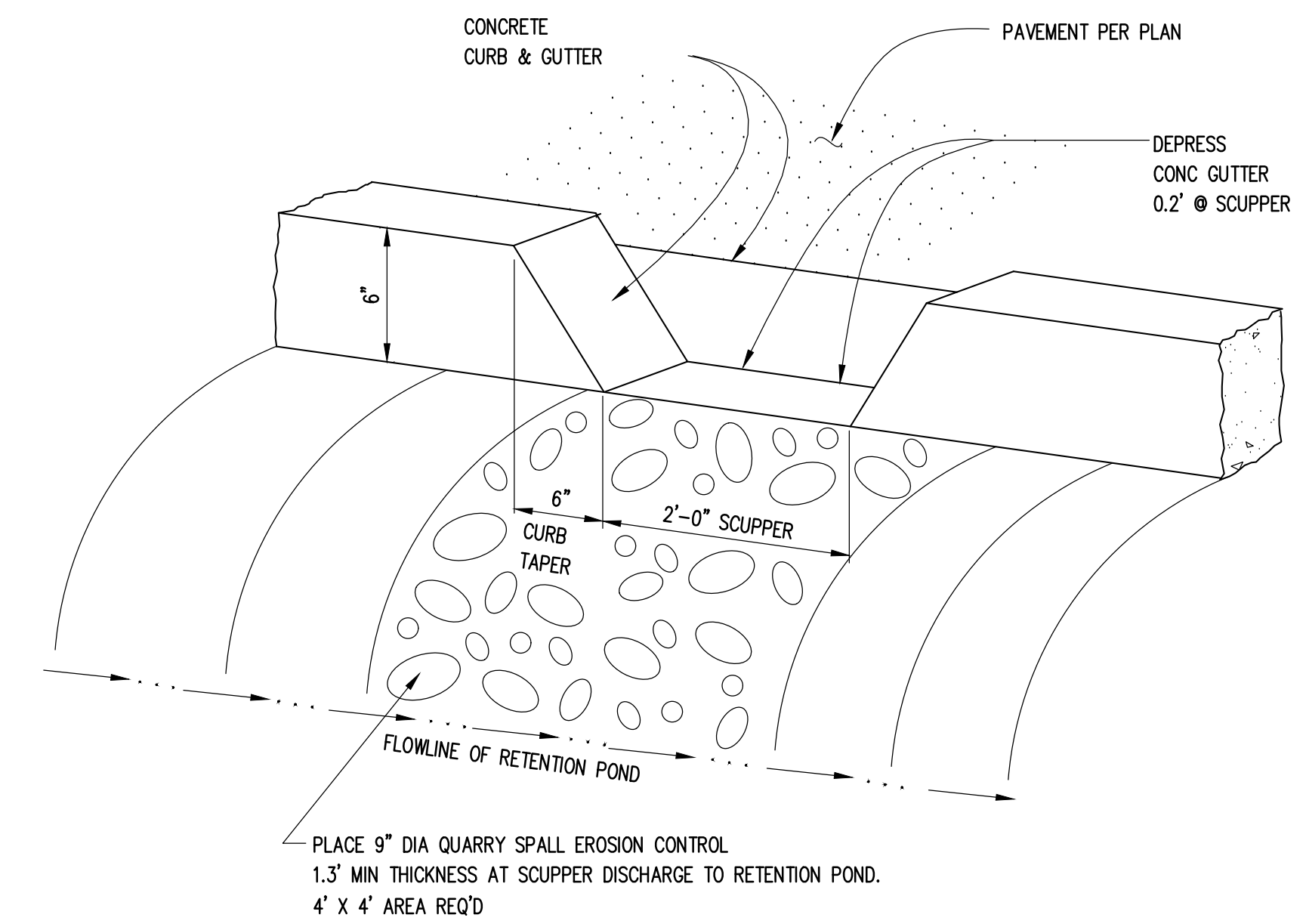
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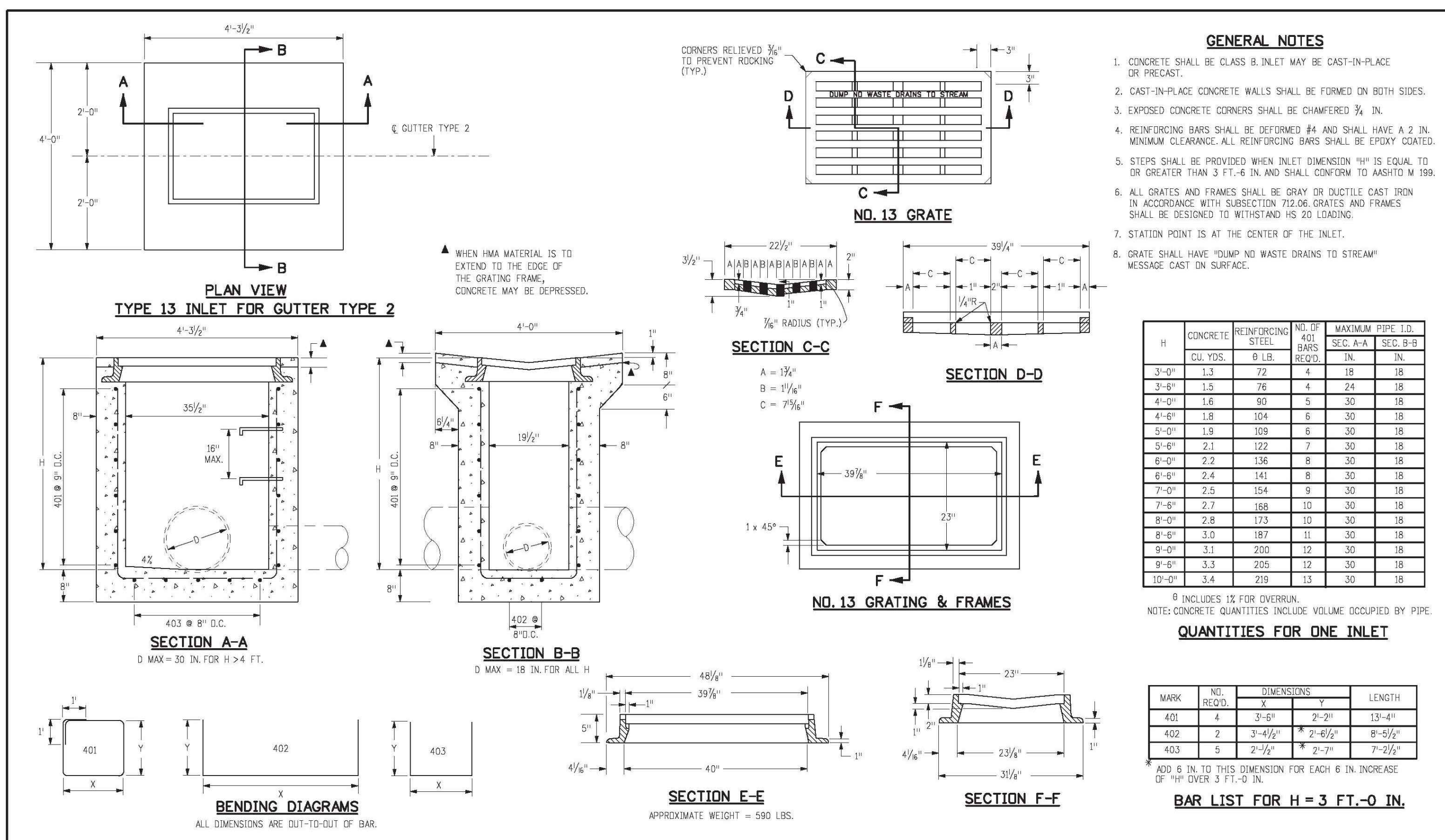
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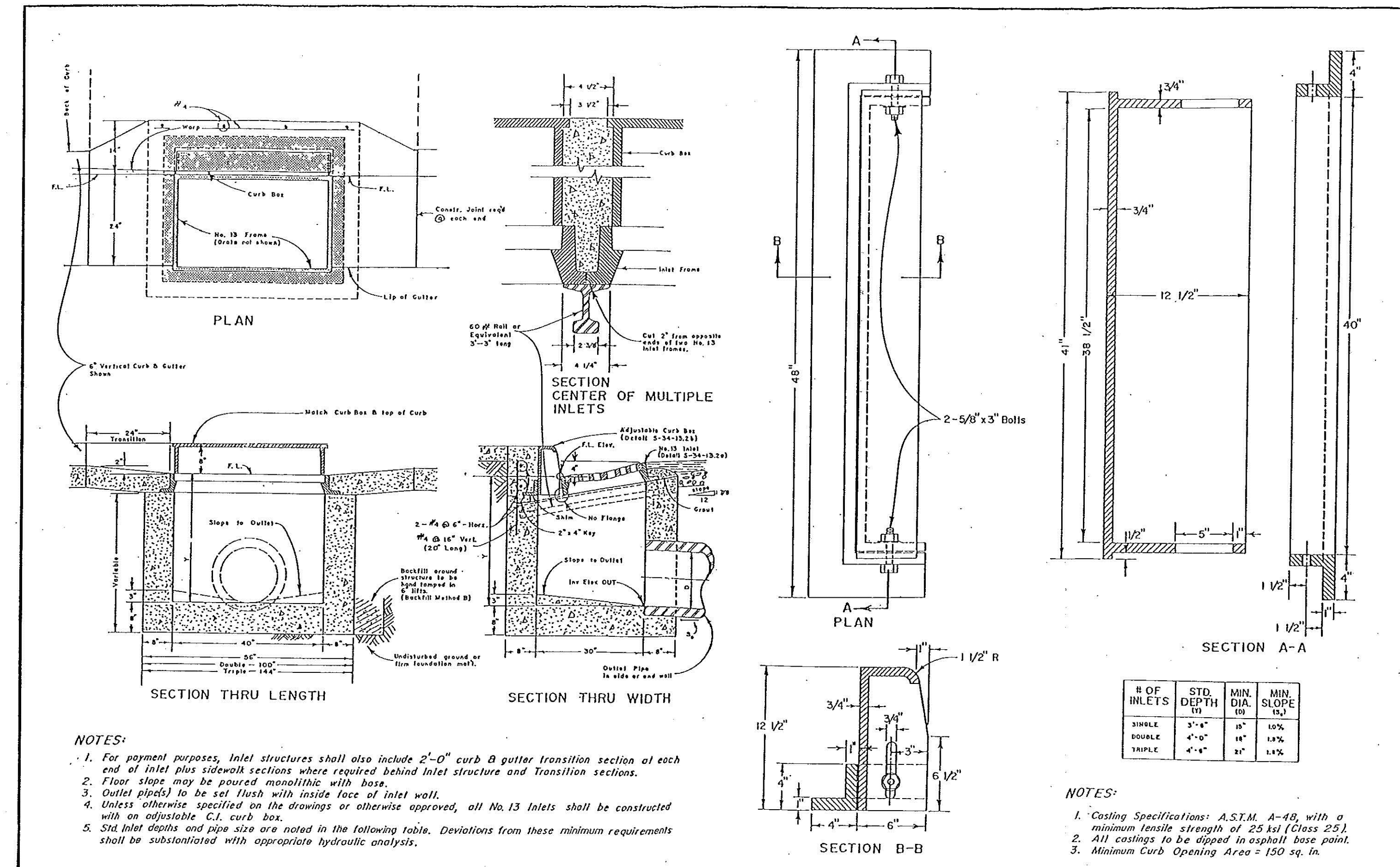
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**TYPE 13 INLET**  
NTS

2



**TYPE 13 COMBINATION INLET**  
NTS

1

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**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N  
Windsor, CO 80550  
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W ridge-topeng.com

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**PROJECT TITLE**  
MARTY FARMS;  
LOT 1

---

9584 WILLOW COURT  
COMMERCE CITY, CO

---

**PREPARED FOR**  
HOMELAND

---

2200 S VALENTIA ST  
DENVER, CO 80231

---

**SUBMITTAL**  
DEVELOPMENT PLAN

---

**DRAWN BY:** JS  
**CHECKED BY:** MRB  
**PROJECT NO.:** 20-143-001  
**REVISIONS:**  
COMMENTS 1/5/22  
COMMENTS 5/17/22

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**DATE**  
7/23/2021

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**SHEET TITLE**  
DETAILS

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**SHEET INFORMATION**  
C-4.0

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**CITY STAFF CERTIFICATE:**  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.  
DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

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