

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

TRACT A, REUNION VILLAGE 8 FILING NO. 1 AS RECORDED UNDER RECEPTION NO. _____ IN THE OFFICIAL RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, BEING A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 8.422 ACRES, (366,855 SQUARE FEET), MORE OR LESS.

EXISTING ZONING

REUNION PUD RES-2

SITE DATA TABLE

SITE DATA	
TOTAL PLAT ACREAGE	8.422
GROSS ACREAGE	8.422
NET ACREAGE	5.641
NUMBER OF LOTS	45
NUMBER OF TRACTS	3
GROSS DENSITY (DU/AC)	5.3

NOTES:

- GROSS ACREAGE IS THE TOTAL PLAT ACREAGE MINUS FUTURE DEVELOPMENT TRACTS. THERE ARE NO FUTURE DEVELOPMENT TRACTS IN THIS PUD.
- NET ACREAGE IS THE ACREAGE OF THE LOTS ONLY (SEE TRACT TABLE).

OPEN SPACE TABLE

OPEN SPACE DATA	
GROSS SITE ACREAGE	8.422
OPEN SPACE REQUIRED (ACRES)	0.253
OPEN SPACE PROVIDED (ACRES)	1.944

NOTES:

- REQUIRED OPEN SPACE IS CALCULATED AS 3% OF THE GROSS ACREAGE IN THE SITE DATA CHART ABOVE.

TRACT TABLE

TRACT	AREA (S.F.±)	AREA (AC)	OPEN SPACE (AC)	USE	OWNERSHIP	MAINTAINED BY
A	76,914	1.766	1.766	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
B	7,754	0.178	0.178	OPEN SPACE, DRAINAGE, UTILITIES	RMD	RMD
C (PRIVATE ROW)	44,320	1.017	0.000	ACCESS, UTILITIES, DRAINAGE, PRIVATE ROW	RMD	RMD
TOTAL OPEN SPACE			1.944			
TOTAL TRACT AREA	128,988	2.961				
TOTAL LOT AREA	237,867	5.641				
PUBLIC ROW AREA	0	0.000				
TOTAL SITE AREA	366,855	8.422				

RMD = REUNION METROPOLITAN DISTRICT

THIS SUBDIVISION PLAT CONTAINS 45 LOTS AND 3 TRACTS

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

APPLICANT/OWNER

OAKWOOD HOMES
4908 TOWER ROAD
DENVER, CO 80249
(303) 486-8500
CONTACT: JIM HAYES
jhayes@oakwoodhomesco.com

OWNER

DIBC BUFFALO HILLS RANCH LLC
FFP-DIA LLC
1125 17TH ST. UNIT 2500
DENVER, CO 80202
(303) 486-8500
CONTACT: JIM HAYES
jhayes@oakwoodhomesco.com

ENGINEER

ATWELL GROUP
143 UNION BLVD #200
LAKEWOOD, CO 80228
(303) 928-6742
CONTACT: DANIEL MADRUGA
dmadruga@atwell-group.com

SURVEYOR

JR ENGINEERING
7200 S ALTON WAY C400
CENTENNIAL, CO 80112
(303) 740-9393
CONTACT: DEREK VAGIAS
dvagias@jrengineering.com

LANDSCAPE ARCHITECT

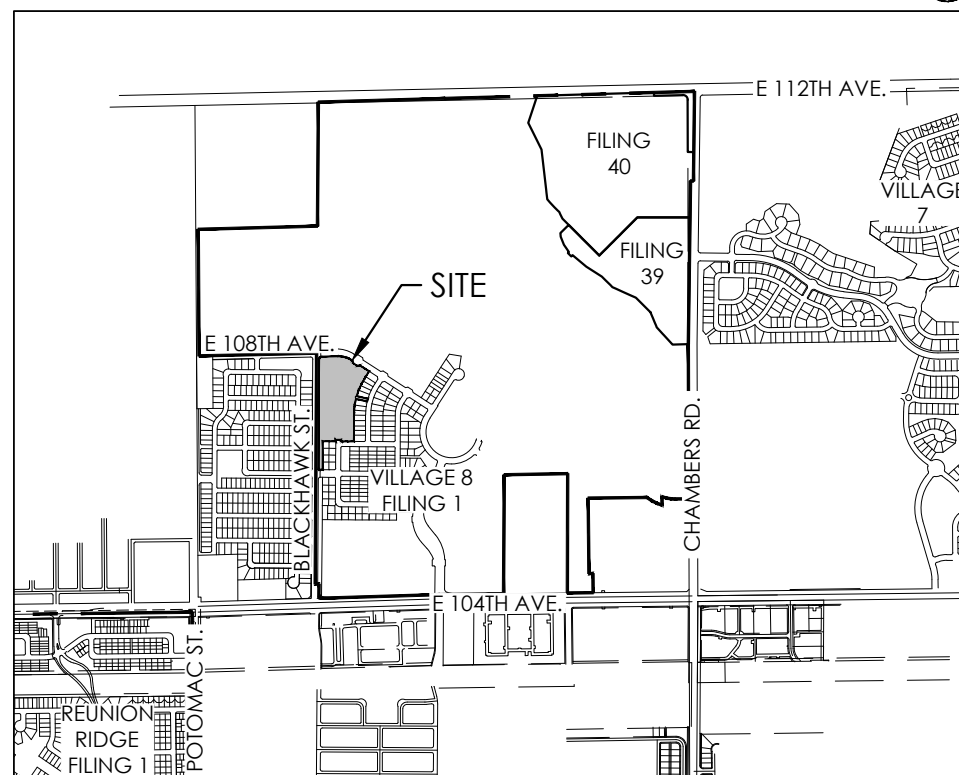
TERRACINA DESIGN
10200 E. GIRARD AVE
BLDG A, UNIT 314
DENVER, CO 80231
(303) 632-8867
CONTACT: SARAH MOLL
smoll@terracedesign.com

PLANNER

TERRACINA DESIGN
10200 E. GIRARD AVE
BLDG A, UNIT 314
DENVER, CO 80231
(303) 632-8867
CONTACT: JEFF MARCK
jmarck@terracedesign.com

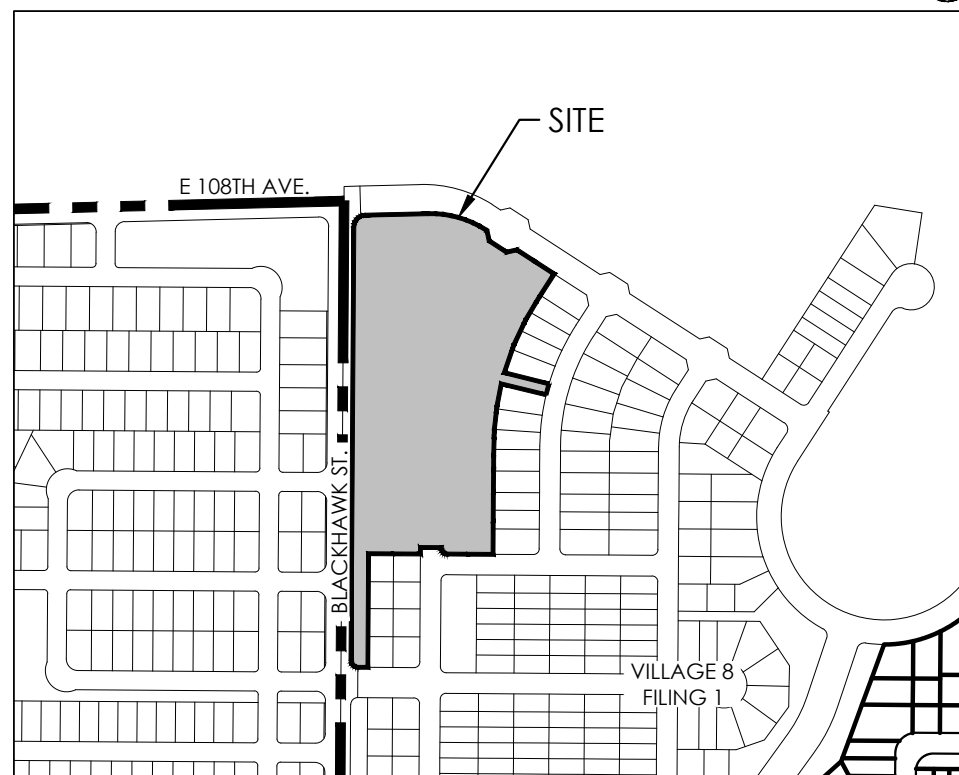
VICINITY MAP

1" = 2,000'



KEY MAP

1" = 500'



GENERAL NOTES

LIGHTING NOTE:

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE:

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE:

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE:

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

FENCING NOTE:

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE:

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICANS WITH DISABILITIES NOTE:

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE:

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET INDEX

ORDER	SHEET NUMBER	SHEET NAME
1	L1.0	COVER
2	L1.1	EXISTING CONDITIONS
3	L1.2	OVERALL SITE PLAN
4	L1.3	OVERALL LANDSCAPE PLAN
5-6	L1.4-L1.5	LANDSCAPE PLANS
7-8	L1.6-L1.7	LANDSCAPE NOTES & DETAILS
9-11	L2.1-L2.3	PRODUCT TYPICALS
12	L3.1	FENCING PLAN
13	L4.1	FACADE PLAN
14	L5.1	PARKING PLAN
15	L6.1	SETBACK PLAN



ASSESSOR'S PARCEL IDENTIFICATION NUMBER: 0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
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ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

COVER

SHEET NUMBER

L1.0

SHEET 1 OF 15

NOT FOR CONSTRUCTION

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

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SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
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SHEET TITLE

EXISTING
CONDITIONS

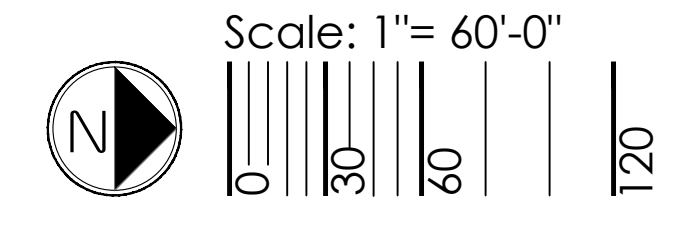
SHEET NUMBER

L1.0

SHEET 2 OF 15

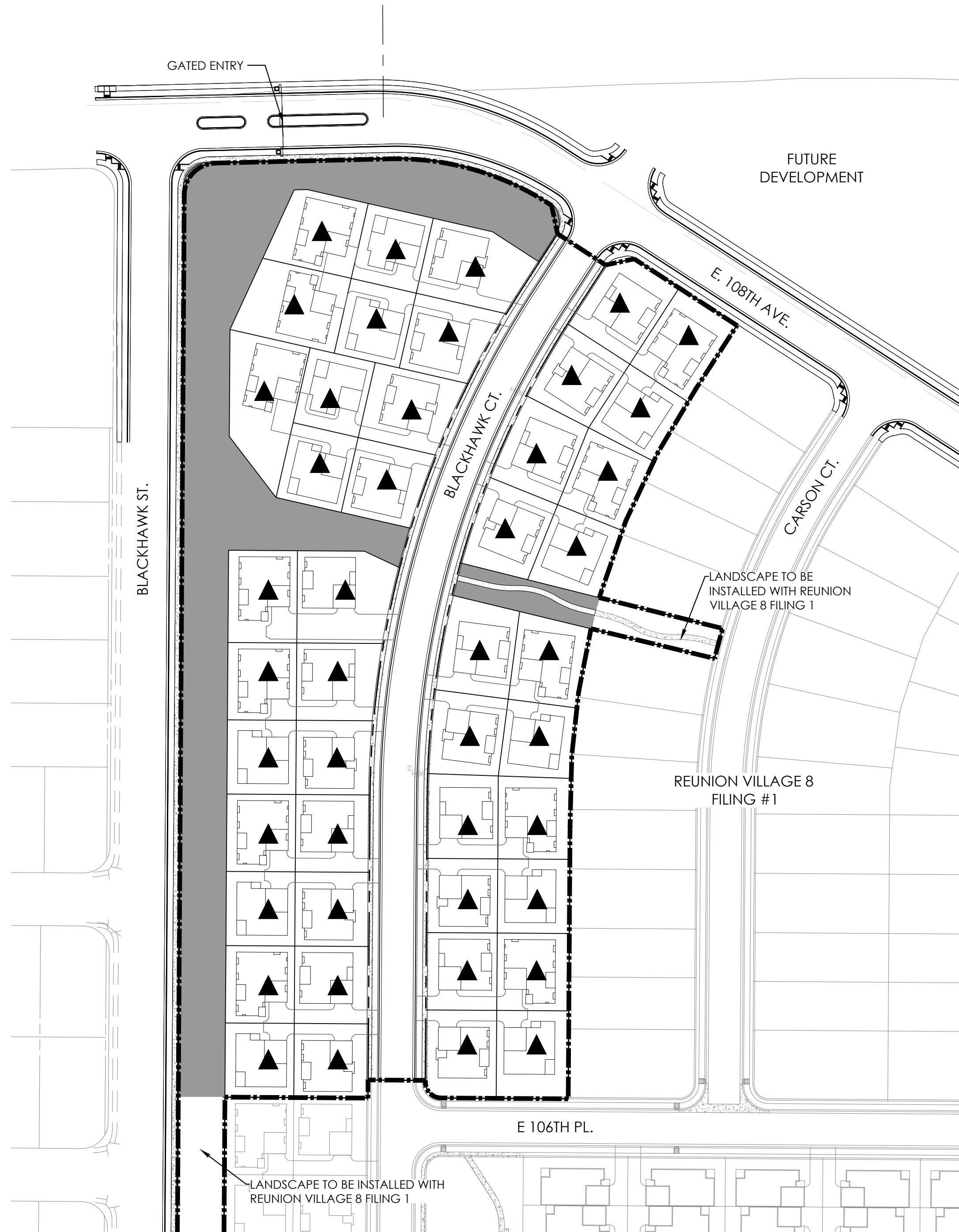
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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Call before you dig.

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SHEET TITLE

OVERALL
SITE
PLAN

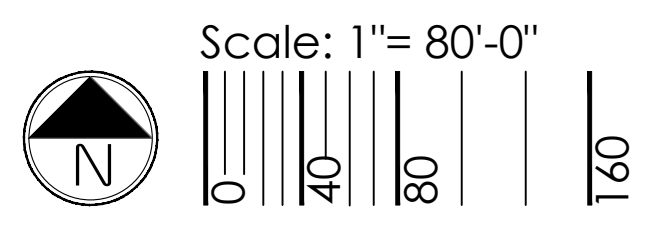
SHEET NUMBER

L1.2

SHEET 3 OF 15

LEGEND

- BUNGALOW
- PROPERTY LINE
- PRIVATE OPEN SPACE



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SHEET TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

L1.3

SHEET 4 OF 15

ROW TREE REQUIREMENTS				
STREET	ROW (LF)	REQUIRED (1/40 LF)	TRACT*	LOT**
BLACKHAWK ST.	862	22	22	
BLACKHAWK CT.	1,645	41	2	39
E 108TH AVE.	460	12	8	4
SUB-TOTAL		75		
		TOTAL REQUIRED	TOTAL PROPOSED	
		75	75	

1. ROW CALCULATION EXCLUDES DRIVEWAYS AND SIDEWALKS WHERE THEY INTERSECT WITH ROW, INTERSECTIONS, AND ROW WITH EXISTING TREES.
2. CERTAIN TREES MAY NOT BE IN THE ROW DUE TO SITE RESTRICTIONS, (LIGHTS/HYDRANTS/UTILITIES). SUCH TREES ARE LOCATED AS CLOSE TO THE ROW AS POSSIBLE.
3. DECIDUOUS SHADE TREES, DECIDUOUS ORNAMENTAL TREES AND EVERGREEN TREES ARE INCLUDED IN TOTAL COUNTS.
4. FINAL LOCATION AND SPECIES OF ROW TREES ADJACENT TO SINGLE FAMILY CLUSTER LOTS, WILL BE DETERMINED AND INSTALLED BY THE VERTICAL HOMEBUILDER/HOMEOWNER.

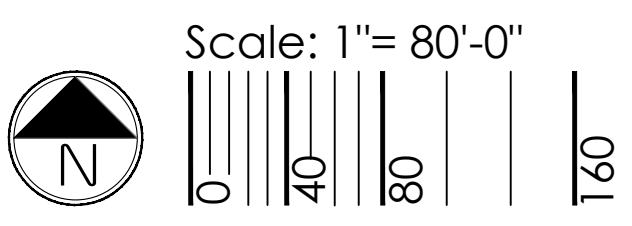
*TRACT TREES ARE THOSE THAT ARE ADJACENT TO REUNION METRO DISTRICT TRACTS AND WILL BE INSTALLED BY DEVELOPER.
 **LOT TREES ARE THOSE ADJACENT TO RESIDENTIAL LOTS AND WILL BE SPECIFIED AND PLANTED BY VERTICAL HOMEBUILDER (NOT INCLUDED IN MONOCULTURE TABLES.)

OTHER TREES AND SHRUBS

OTHER TREES AND SHRUBS	PROPOSED
TREES	38
SHRUBS	203

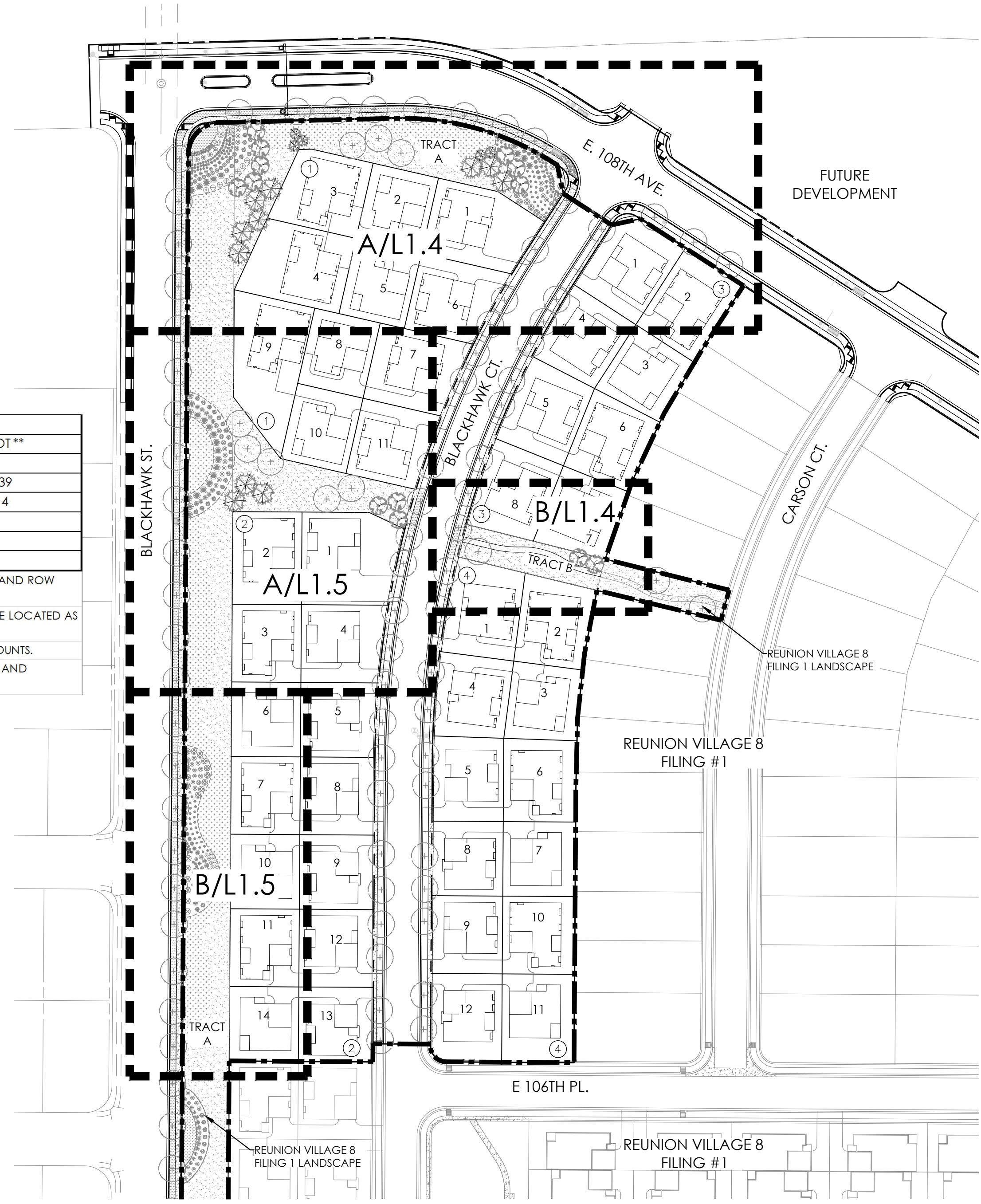
LEGEND

--- PROPERTY LINE



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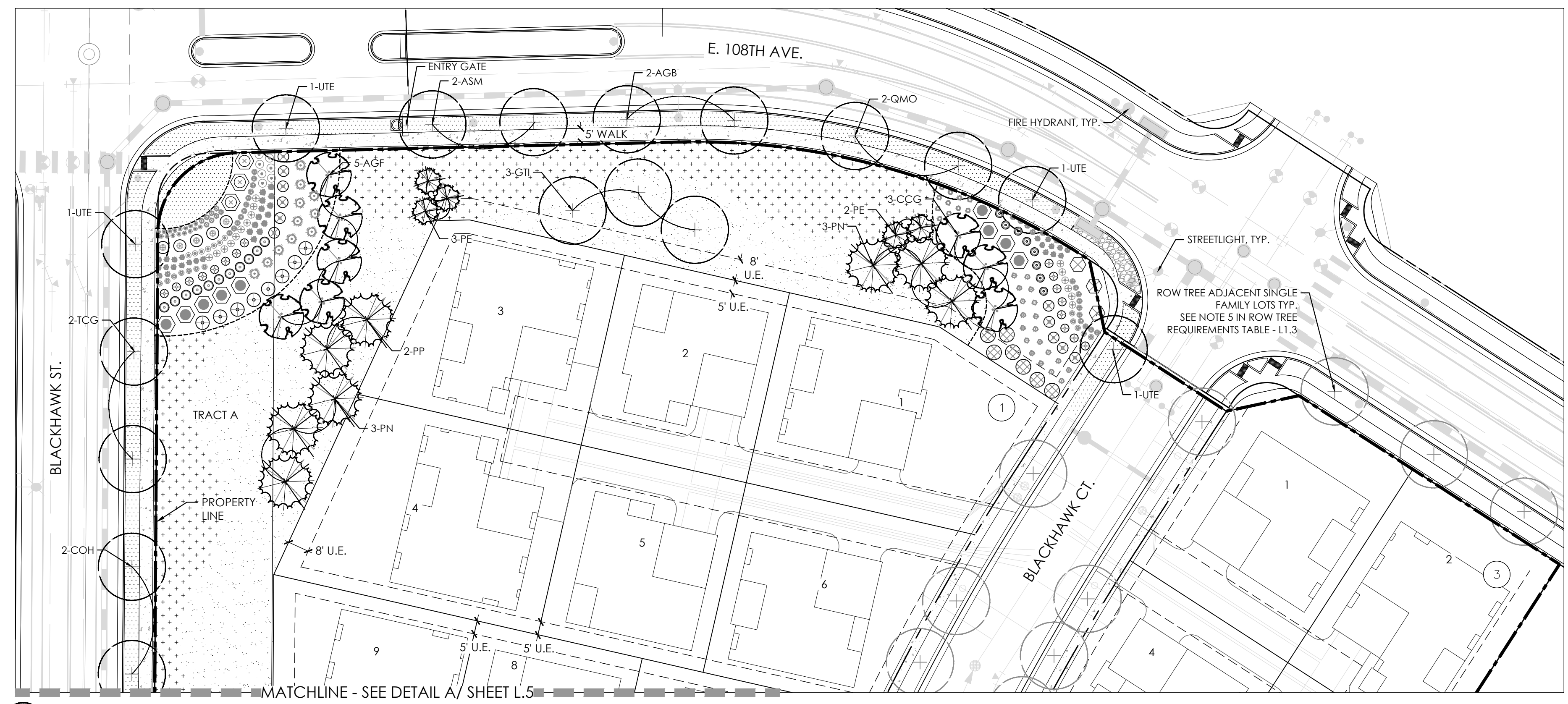
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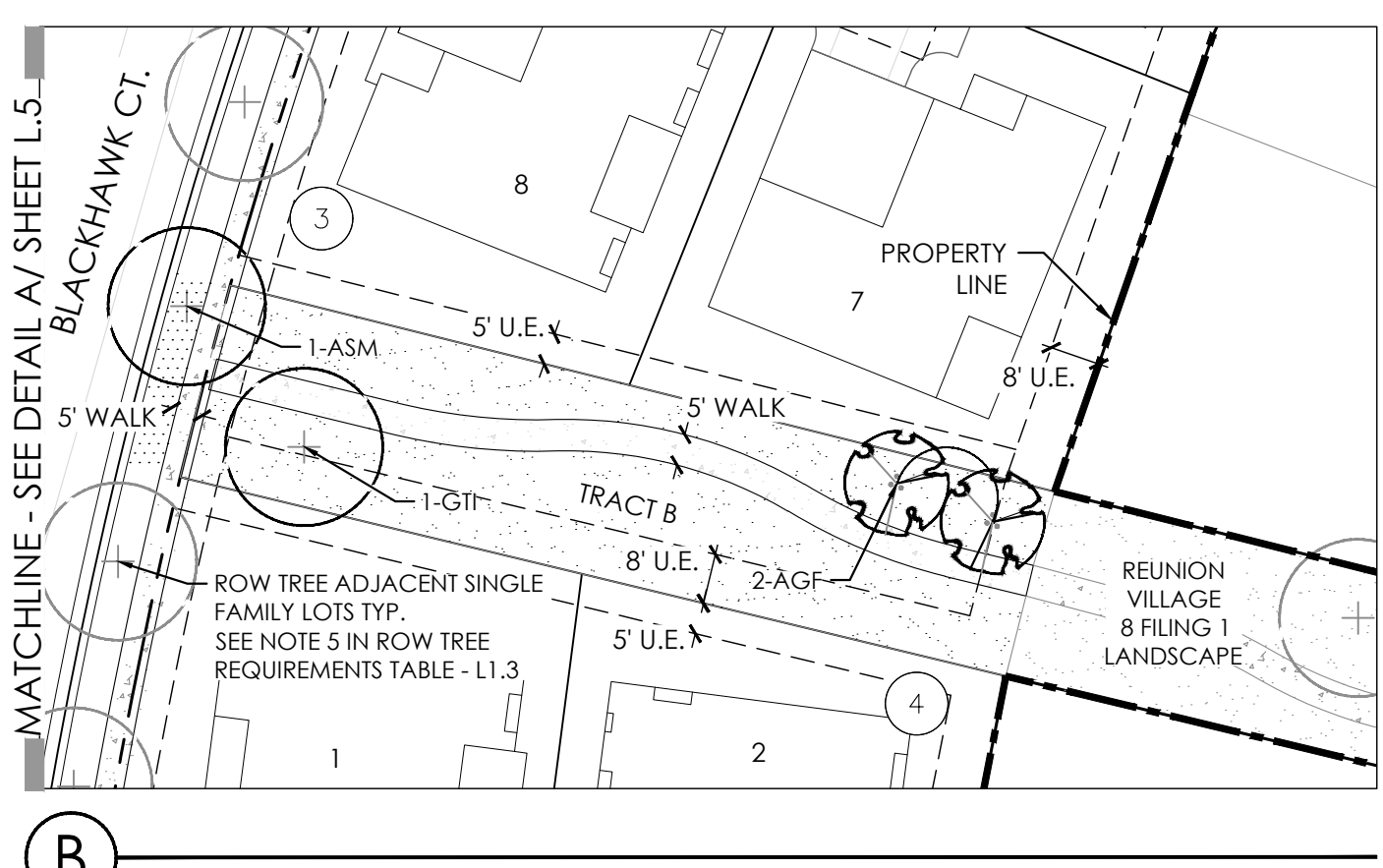
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A



B

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DROUGHT TOLERANT SOD
- NATIVE SEED
- LOW GROW NATIVE SEED
- ROCK MULCH
- CONCRETE
- STEEL EDGER
- STREET LIGHT
- FIRE HYDRANT
- MAIL KIOSK

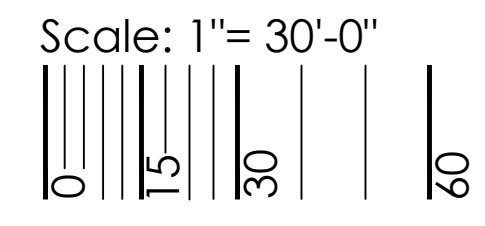
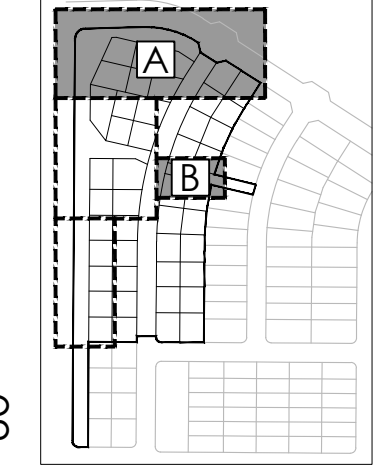
UNDERSTORY LEGEND

- DECIDUOUS SHRUBS**
 - ⊙ (ACL) LEADPLANT
 - ⊙ (BTB) BARBERRY, BURGUNDY CAROUSEL
 - ⊙ (CAT) COTTONEASTER, TOM'S THUMB
 - ⊙ (CCM) SMOKE TREE, WITCHCRAFT BLACK
 - ⊙ (ENR) RABBITBRUSH, DWARF BLUE
 - ⊙ (FAP) APACHE PLUME
 - ⊙ (PAR) SAGE, RUSSIAN
 - ⊙ (PBP) SAND CHEERY, PAWNEE BUTTES
 - ⊙ (PCP) PLUM, PURPLE LEAF
 - ⊙ (PFG) POTENTILLA, GOLD DROP
 - ⊙ (RNW) ROSE, NEARLY WILD
- EVERGREEN SHRUBS**
 - ⊙ (JCA) JUNIPER, ARMSTRONG
 - ⊙ (JHB) JUNIPER, BAR HARBOUR
 - ⊙ (JCG) JUNIPER GREEN CARPET
 - ⊙ (JHH) JUNIPER, HUGHES
 - ⊙ (JMP) JUNIPER, COMPACT PFITZER
 - ⊙ (JMP) JUNIPER, ROCKY MOUNTAIN 'WOODWARD'
- PERENNIALS**
 - ⊙ (AMY) YARROW, MOONSHINE
 - ⊙ (ARS) HYSSOP, SUNSET
 - ⊙ (CJT) COREOPSIS, JETHRO TULL
 - ⊙ (GLW) WHIRLING BUTTERFLIES
 - ⊙ (RFG) BLAC-EYE SUSAN
 - ⊙ (SSM) SALVIA, MAY NIGHT
- ORNAMENTAL GRASSES**
 - ⊙ (BGA) BLOND AMBITION GRAMA GRASS
 - ⊙ (CAK) FEATHER REED GRASS
 - ⊙ (PVH) SWITCHGRASS, HEAVY METAL
 - ⊙ (SSB) LITTLE BLUESTEM GRASS
 - ⊙ (SHP) PRAIRIE DROPSEED
 - ⊙ (SWG) GIANT SACATON GRASS

TREE SCHEDULE

KEY	COMMON NAME
DECIDUOUS SHADE TREES	
AGB	BUCKEYE, OHIO
ASM	MAPLE, GREEN MOUNTAIN
COH	HACKBERRY, WESTERN
GTI	HONEYLOCUST, IMPERIAL
QMO	OAK, BUR
TCG	LINDEN, GREENSPIRE
UTE	ELM, TRIUMPH
EVERGREEN TREES	
PE	PINE, PINON
PN	PINE, AUSTRIAN
PP	PINE, PONDEROSA
ORNAMENTAL SHADE TREES	
AGF	MAPLE, GINNALA 'FLAME'
CCG	HAWTHORN, THORNLESS COCKSPUR

KEY MAP



CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L1.4

SHEET 5 OF 15

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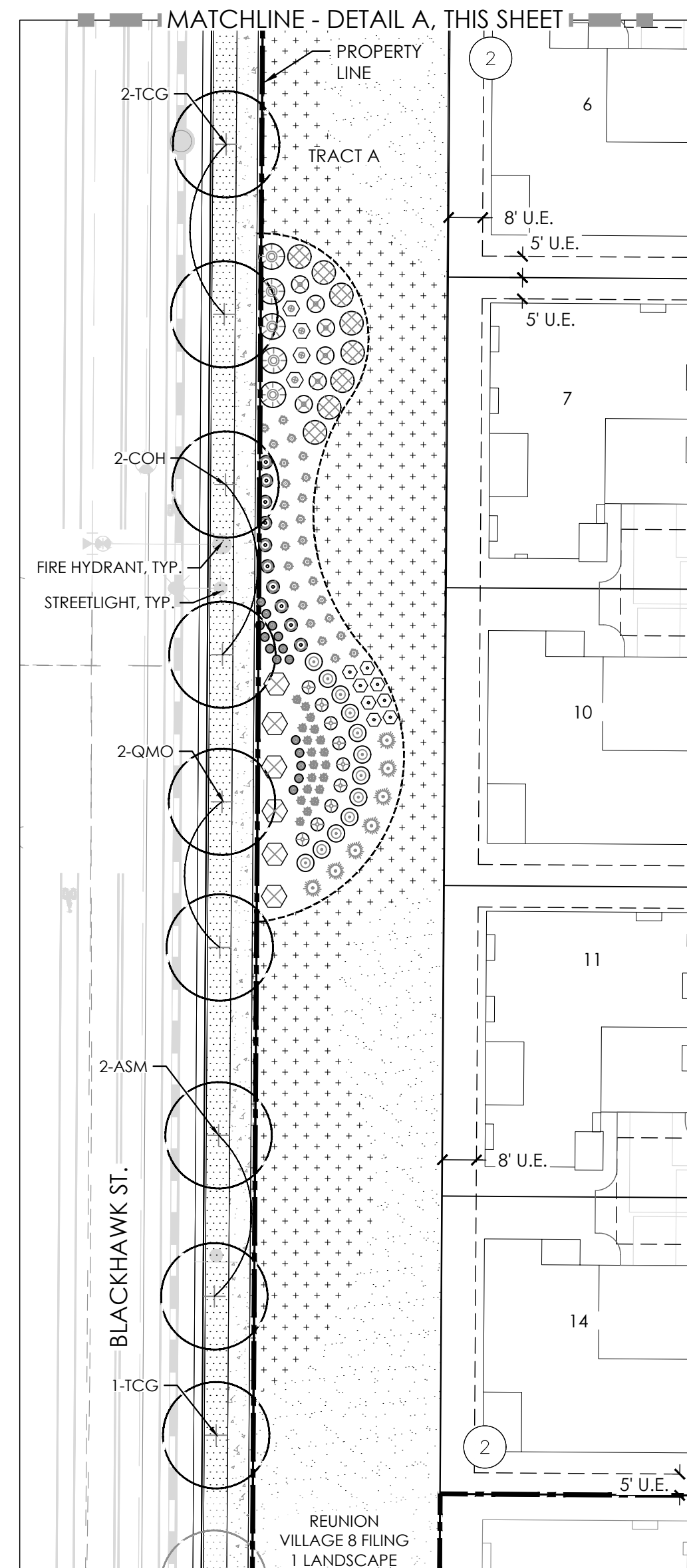
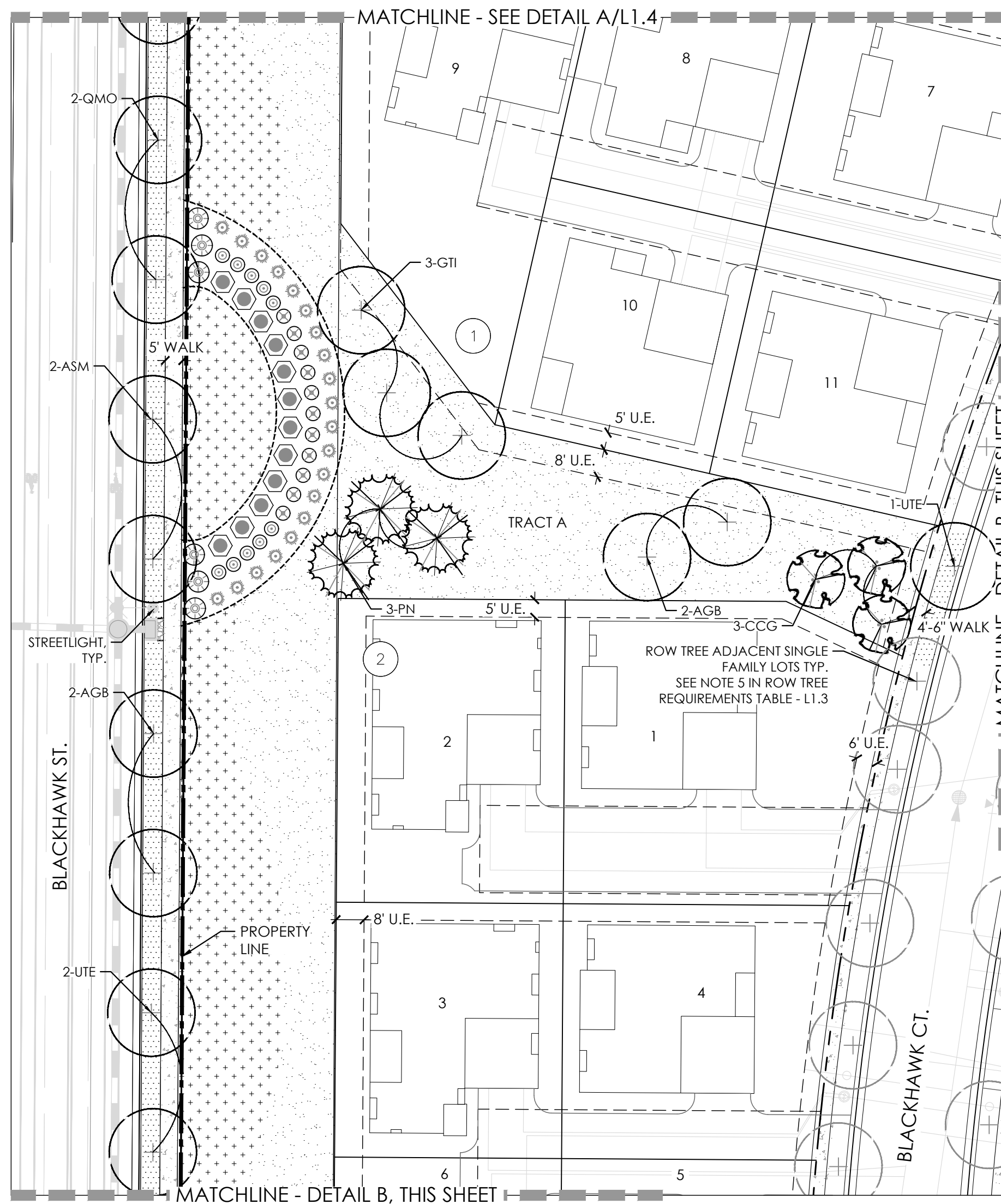
SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L1.5

SHEET 6 OF 15



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DROUGHT TOLERANT SOD
- NATIVE SEED
- LOW GROW NATIVE SEED
- ROCK MULCH
- CONCRETE
- STEEL EDGER
- STREET LIGHT
- FIRE HYDRANT
- MAIL KIOSK

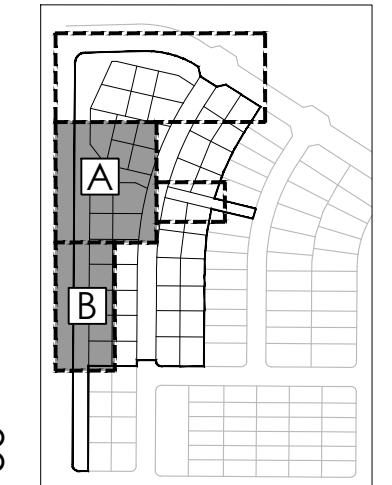
TREE SCHEDULE

KEY	COMMON NAME
DECIDUOUS SHADE TREES	
AGB	BUCKEYE, OHIO
ASM	MAPLE, GREEN MOUNTAIN
COH	HACKBERRY, WESTERN
GTI	HONEYLOCUST, IMPERIAL
QMO	OAK, BUR
TCG	LINDEN, GREENSPIRE
UTE	ELM, TRIUMPH
EVERGREEN TREES	
PE	PINE, PINON
PN	PINE, AUSTRIAN
PP	PINE, PONDEROSA
ORNAMENTAL SHADE TREES	
AGF	MAPLE, GINNALA 'FLAME'
CCG	HAWTHORN, THORNLESS COCKSPUR

UNDERSTORY LEGEND

- | | | | |
|---|--|---|---|
| <p>DECIDUOUS SHRUBS</p> <ul style="list-style-type: none"> ○ (ACL) LEADPLANT ○ (BTB) BARBERRY, ○ (BUR) BURGUNDY CAROUSEL ○ (CAT) COTTONEASTER, TOM'S THUMB ○ (CCM) SMOKE TREE, WITCHCRAFT BLACK ○ (ENR) RABBITBRUSH, DWARF BLUE ○ (FAP) APACHE PLUME ○ (PAR) SAGE, RUSSIAN | <p>DECIDUOUS SHRUBS (CONT.)</p> <ul style="list-style-type: none"> ○ (PBP) SAND CHEERY, PAWNEE BUTTES ○ (PCP) PLUM, PURPLE LEAF ○ (PFG) POTENTILLA, GOLD DROP ○ (RNW) ROSE, NEARLY WILD <p>EVERGREEN SHRUBS</p> <ul style="list-style-type: none"> ○ (JCA) JUNIPER, ARMSTRONG ○ (JHB) JUNIPER, BAR HARBOUR ○ (JCG) JUNIPER GREEN CARPET | <p>EVERGREEN SHRUBS (CONT.)</p> <ul style="list-style-type: none"> ○ (JHH) JUNIPER, HUGHES ○ (JMP) JUNIPER, COMPACT PFITZER ○ (JMP) JUNIPER, ROCKY MOUNTAIN 'WOODWARD' <p>PERENNIALS</p> <ul style="list-style-type: none"> ○ (AMY) YARROW, MOONSHINE ○ (ARS) HYSSOP, SUNSET ○ (CJT) COREOPSIS, JETHRO TULL ○ (GLW) WHIRLING BUTTERFLIES ○ (RFG) BLAC-EYE SUSAN ○ (SSM) SALIVIA, MAY NIGHT | <p>ORNAMENTAL GRASSES</p> <ul style="list-style-type: none"> ○ (BGA) BLOND AMBITION GRAMA GRASS ○ (CAK) FEATHER REED GRASS ○ (PVH) SWITCHGRASS, HEAVY METAL ○ (SSB) LITTLE BLUESTEM GRASS ○ (SHP) PRAIRIE DROPSEED ○ (SWG) GIANT SACATON GRASS |
|---|--|---|---|

KEY MAP N.T.S.



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PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	MONOCULTURE PERCENTAGE	SIZE	TYPE
DECIDUOUS SHADE TREES				<=15% REQUIRED		
6	AGB	AESCULUS GLABRA	BUCKEYE, OHIO	9%	2.0" CAL	B&B
7	ASM	ACER SACCHARUM 'GREEN MOUNTAIN'	MAPLE, GREEN MOUNTAIN	11%	2.0" CAL	B&B
4	COH	CELTIS OCCIDENTALIS	HACKBERRY, WESTERN	6%	2.0" CAL	B&B
6	GTI	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL	HONEYLOCUST, IMPERIAL	9%	2.0" CAL	B&B
6	QMO	QUERCUS MACROCARPA	OAK, BUR	9%	2.0" CAL	B&B
5	TCG	TILIA CORDATA GREENSPIRE	LINDEN, GREENSPIRE	8%	2.0" CAL	B&B
7	UTE	ULMUS X TRIUMPH	ELM, TRIUMPH	11%	2.0" CAL	B&B
EVERGREEN TREES						
5	PE	PINUS PONDEROSA	PINE, PONDEROSA	8%	6' HT	B&B
8	PN	PINUS NIGRA	PINE, AUSTRIAN	12%	6' HT	B&B
2	PP	PINUS PONDEROSA	PINE, PONDEROSA	3%	6' HT	B&B
ORNAMENTAL SHADE TREES						
7	AGF	ACER GINNALA 'FLAME'	MAPLE, FLAME AMUR OR GINNALA	11%	6-8' HT	MULTI
3	CCG	CRATAEGUS CRUS-GALLI INRMIS	HAWTHORN, THORNLESS COCKSPUR	5%	6-8' HT	MULTI
66	TOTAL					
EVERGREEN SHRUBS						
4	JCA	JUNIPERUS CHINENSIS ARMSTONGII	JUNIPER, ARMSTRONG	1%	#5	CONT
3	JHB	JUNIPERUS HORIZONTALIS 'BAR HARBOUR'	JUNIPER, BAR HARBOUR	1%	#5	CONT
9	JHH	JUNIPERUS HORIZONTALIS 'HUGHES'	JUNIPER, HUGES	2%	#5	CONT
21	JMP	JUNIPERUS X MEDIA 'PFITZERIANA COMPACTA'	JUNIPER, PFITZER	5%	#5	CONT
8	JSW	JUNIPERUS SCOPULORUM 'WOODWARD'	JUNIPER, WOODWARD ROCKY MOUNTAIN	2%	#5	CONT
DECIDUOUS SHRUBS						
11	ACL	AMORPHA CANESCENS	LEADPLANT	3%	#5	CONT
22	BTB	BERBERIS THUNBERGII 'BURGUNDY CAROUSEL'	BARBERRY, 'BURGUNDY CAROUSEL'	5%	#5	CONT
5	CAT	COTONEASTER ADPRESSUS, TOM'S THUMB	COTONEASTER, TOM'S THUMB	1%	#5	CONT
15	CCM	COTINUS COGGYGRIA 'WITCHCRAFT BLACK'	SMOKE TREE, WITCHCRAFT BLACK	3%	#5	CONT
25	ENR	ERICAMERA NAUSEOSA VAR. NAUSEOSA	RABBITBRUSH, DWARF BLUE	6%	#5	CONT
8	FAP	FALLUGIA PARADOXA	APACHE PLUME	2%	#5	CONT
28	PAR	PEROVSKIA ATRIPLICIFOLIA	SAGE, RUSSIAN	7%	#5	CONT
11	PBP	PRUNUS PUMILA BESSEYI 'PAWNEE BUTTES'	SAND CHERRY, PAWNEE BUTTES	3%	#5	CONT
15	PFG	POTENTILLA FRUTICOSA 'GOLDSTAR'	POTENTILLA, GOLD STAR	3%	#5	CONT
18	RNW	ROSA NEARLY WILD	ROSE, NEARLY WILD	4%	#5	CONT
PERENNIALS						
7	AMY	ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW, MOONSHINE	2%	F15	CONT
16	ARS	AGASTACHE RUPESTRIS	HYSSOP, SUNSET	4%	F15	CONT
16	CJT	COREOPSIS 'JETHRO TULL'	COREOPSIS, JETHRO TULL	4%	F15	CONT
12	GLW	GAURA LINDHEIMERI	WHIRRLING BUTTERFLY	3%	F15	CONT
7	RFG	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	2%	F15	CONT
21	SSM	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	5%	F15	CONT
8	BGA	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	GRAMA GRASS, BLONDE AMBITION	2%	#1	CONT
45	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	10%	#1	CONT
11	PVH	PANICUM VIRGATUM 'HEAVY METAL'	SWITCHGRASS, HEAVY METAL	3%	#1	CONT
47	SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	11%	#1	CONT
13	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUE GRASS, THE BLUES	3%	#1	CONT
38	SWG	SPOROBOLUS WRIGHTII	GIANT SACATON GRASS	9%	#1	CONT
429	TOTAL					

NOTE:
FINAL SPECIES COUNTS MAY VARY BASED ON AVAILABILITY AT TIME OF CONSTRUCTION. FINAL MONOCULTURES NOT TO EXCEED PERCENTAGES ON LIST.

 TURF- RTF SOD

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY OF COMMERCE LANDSCAPE NOTES

- MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/4" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES).
- MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
- THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
- THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE SHALL NOT CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT LINES. INFORMATION ON THE SIGHT LINES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.

ADDITIONAL LANDSCAPE NOTES

- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK OVER WEED CONTROL FABRIC.
- FURNISH AND INSTALL GREEN RYERSON METAL EDGING WITH STAKES IN BETWEEN ALL PLANTING BEDS AND TURF AREAS AND AS SHOWN ON THE PLANS OR APPROVED EQUAL.
- ROUGH GRADE TO ONE TENTHS (.1) OF ONE FOOT BY OTHERS. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADES WHILE MAINTAINING POSITIVE DRAINAGE. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY POORLY DRAINED AREAS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG SIDEWALK TO ACCOMMODATE SOD, SEED OR MULCH.
- ALL PLANT MATERIAL IS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALLS, OR WALKWAYS AND OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO PLANTING, CONTRACTOR IS TO APPLY HERBICIDE TO ELIMINATE ALL WEED GROWTH WITHIN LANDSCAPE AREAS PER.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. HAVE ALL FINE GRADING APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO REMOVE DIRT PILED ON TOP OF ROOTBALL AT NURSERY PRIOR TO PLACEMENT TO MAINTAIN PROPER PLANTING DEPTH. ALL TREES TO BE PLANTED WITH THE ROOT FLARE ONE TO TWO INCHES ABOVE FINAL GRADE.
- FRONT YARD LANDSCAPING AND FENCING MUST BE COMPLETED WITHIN 180 DAYS AFTER A CLOSING ON THE PROPERTY IF THE CLOSING OCCURS DURING A GROWING SEASON (APRIL 1 THROUGH OCTOBER 1 IN THE SAME YEAR) OR DURING THE NEXT GROWING SEASON IF THE PROPERTY CLOSURES OUTSIDE OF THIS CYCLE.

NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

LANDSCAPE
NOTES &
DETAILS

SHEET NUMBER

L1.6

SHEET 7 OF 15

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

NOT FOR CONSTRUCTION



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ISSUE DATE
July 14, 2022

REVISION DATES

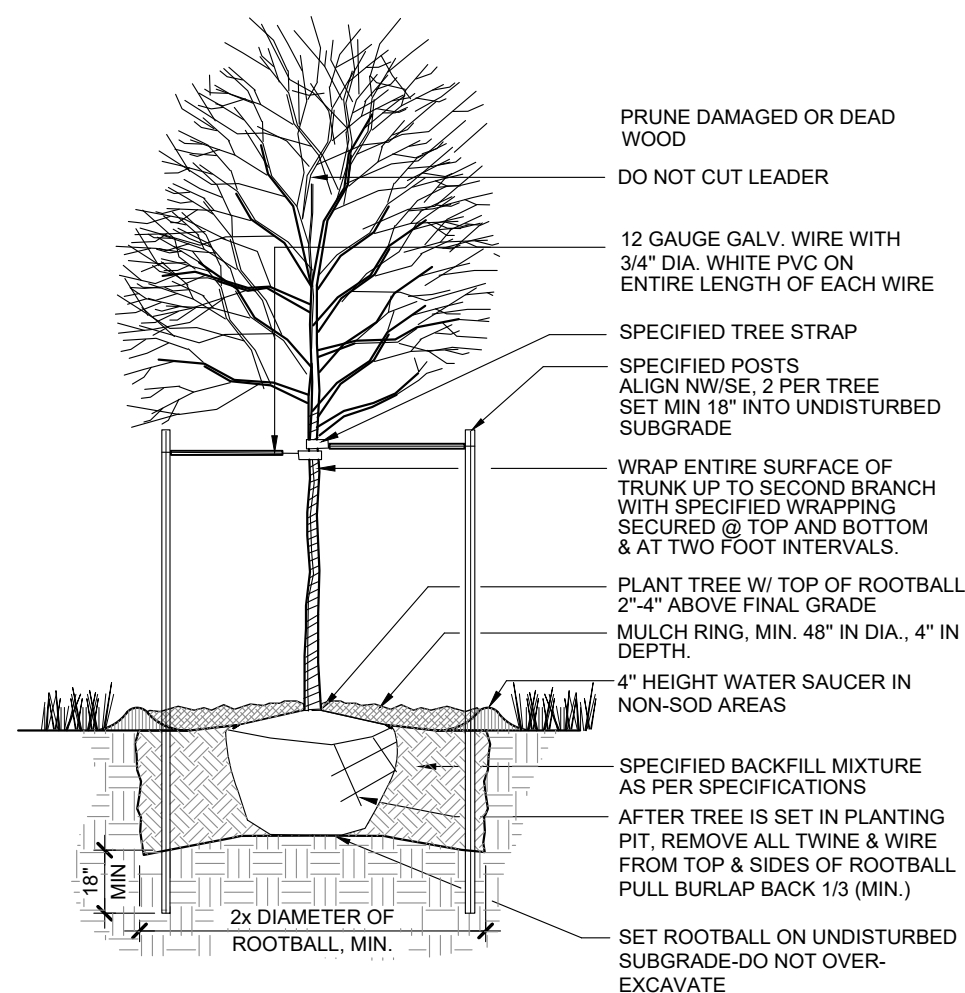
SHEET TITLE

LANDSCAPE
NOTES &
DETAILS

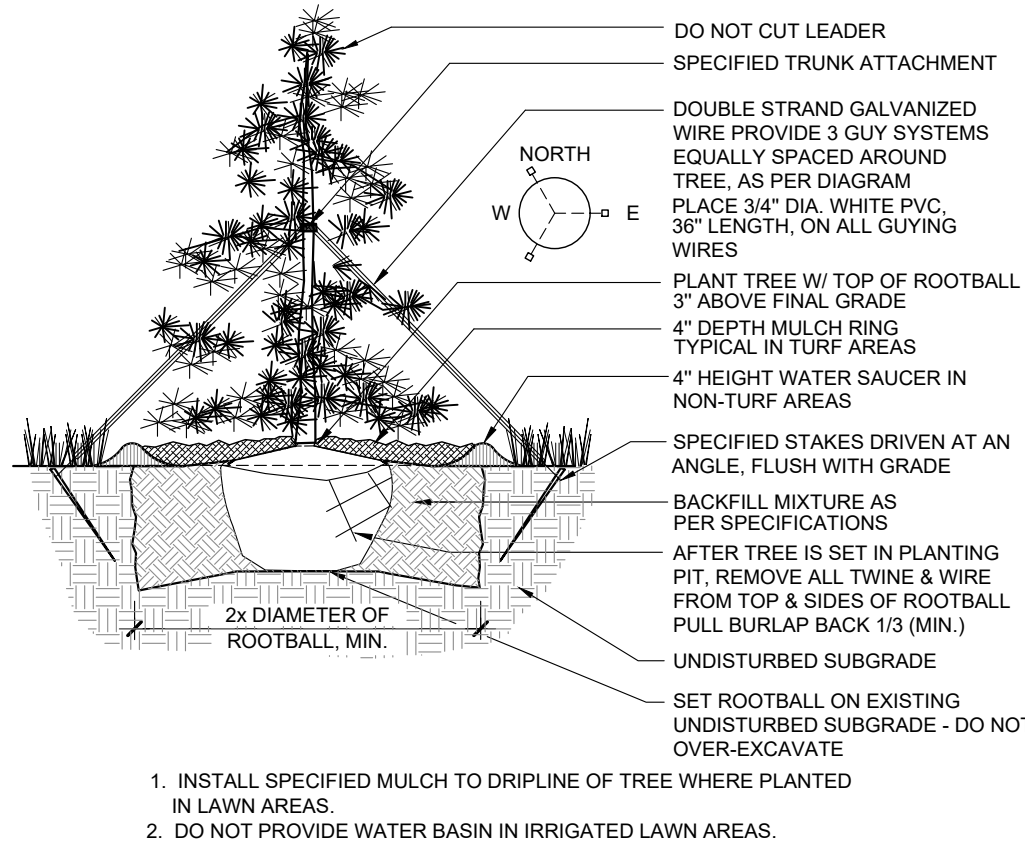
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L1.7

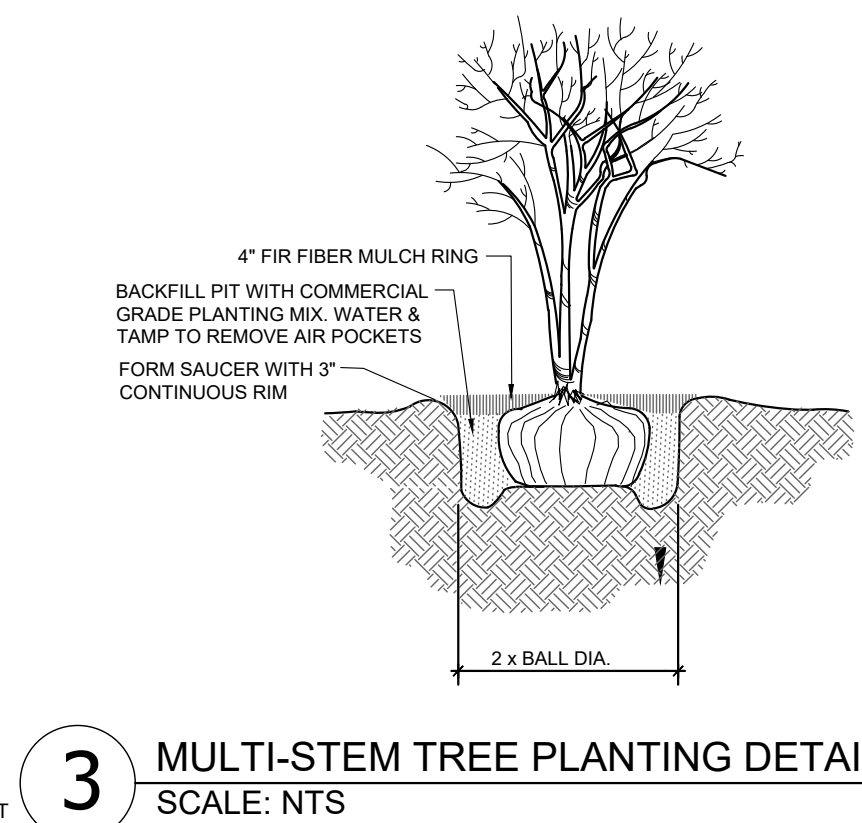
SHEET 8 OF 15



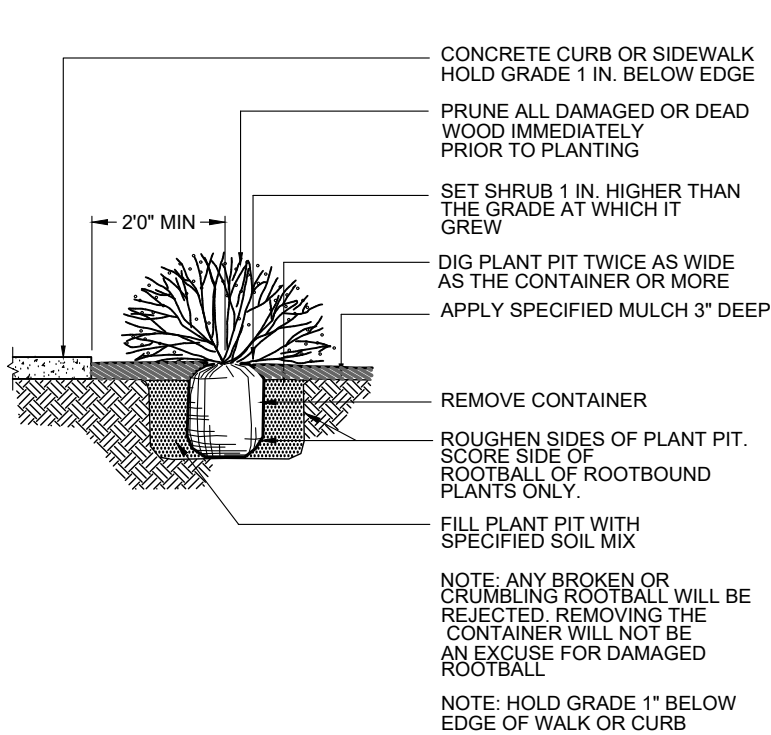
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



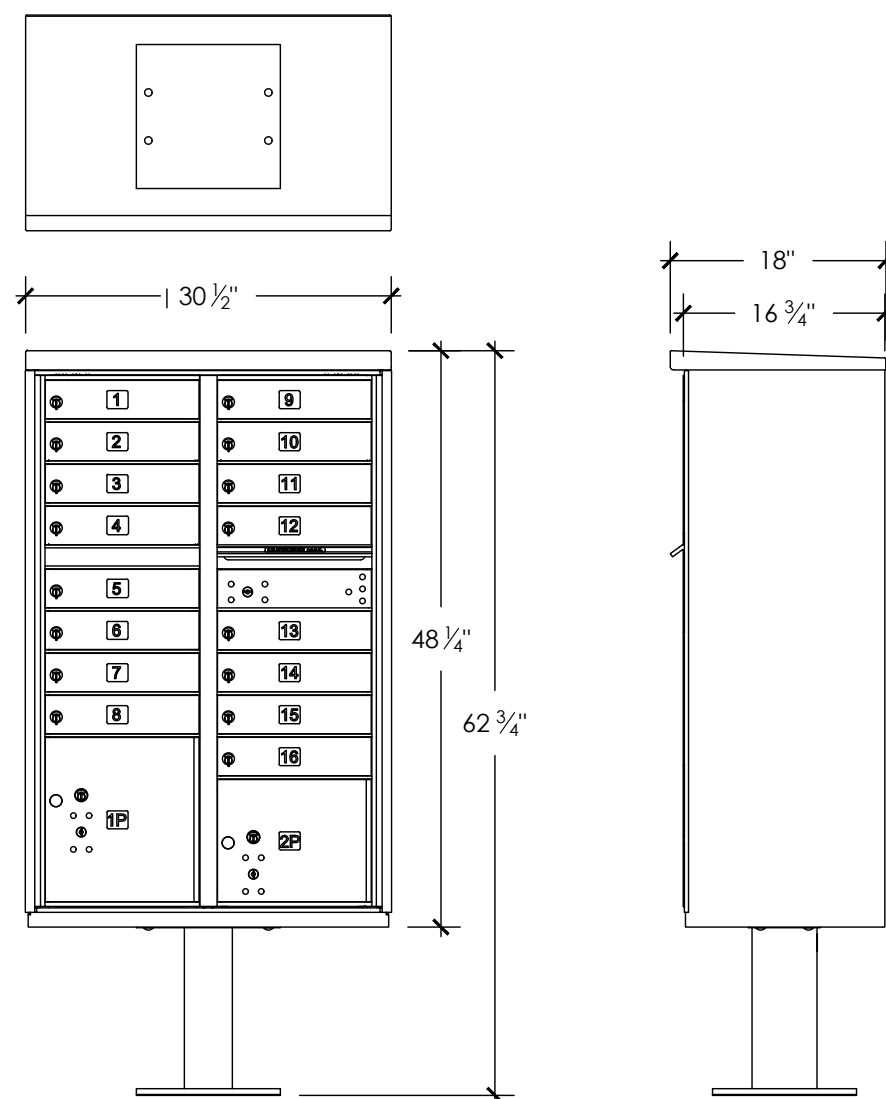
2 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



3 MULTI-STEM TREE PLANTING DETAIL
SCALE: NTS

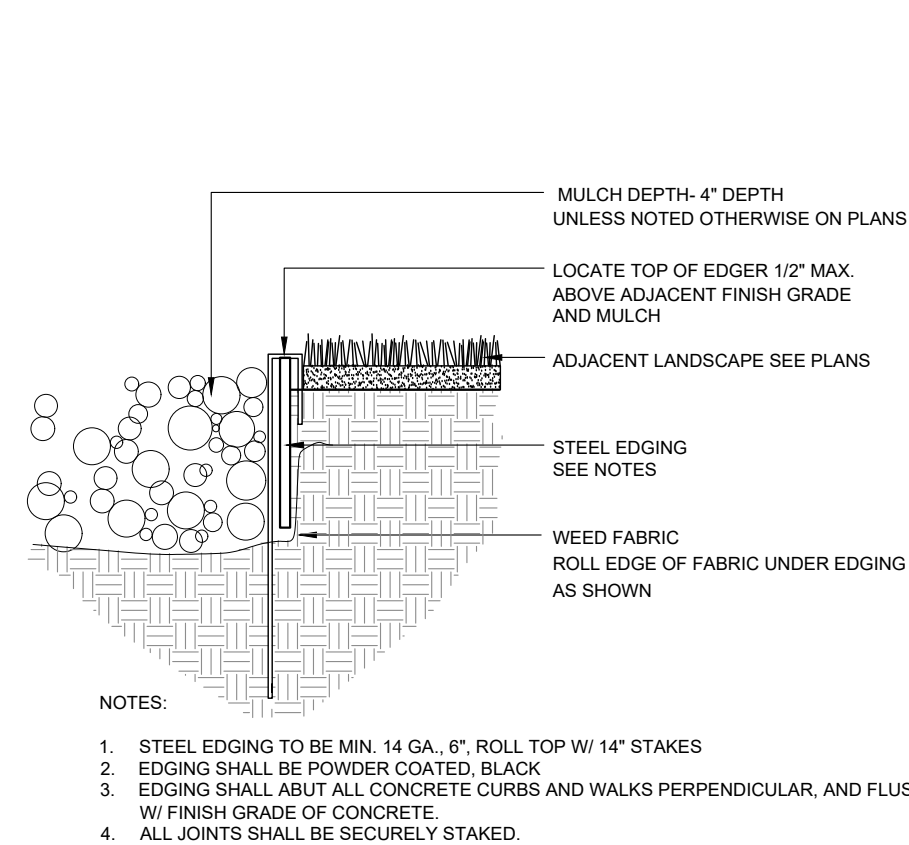


4 TYPICAL SHRUB PLANTING DETAIL
SCALE: NTS



NOTES:
1) MODEL # 3300 SERIES "F" CBU OR APPROVED EQUAL
2) COLOR TO BE SANDSTONE
3) (16) MAILBOXES, (1) OUTGOING, (2) PARCEL LOCKERS
4) MANUFACTURER: SALSBURY INDUSTRIES
1010 E. 62ND STREET
LOS ANGELES, CA 90001
P: (800) 624-5269
ENGINEERING@MAILBOXES.COM

5 MAIL KIOSK
SCALE: NTS



6 STEEL EDGER
SCALE: NTS

NOTE:
DETAILS SHOWN ARE PRELIMINARY.
FINAL DETAILS TO BE PROVIDED AT
CONSTRUCTION DOCUMENTS.

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

NOT FOR CONSTRUCTION

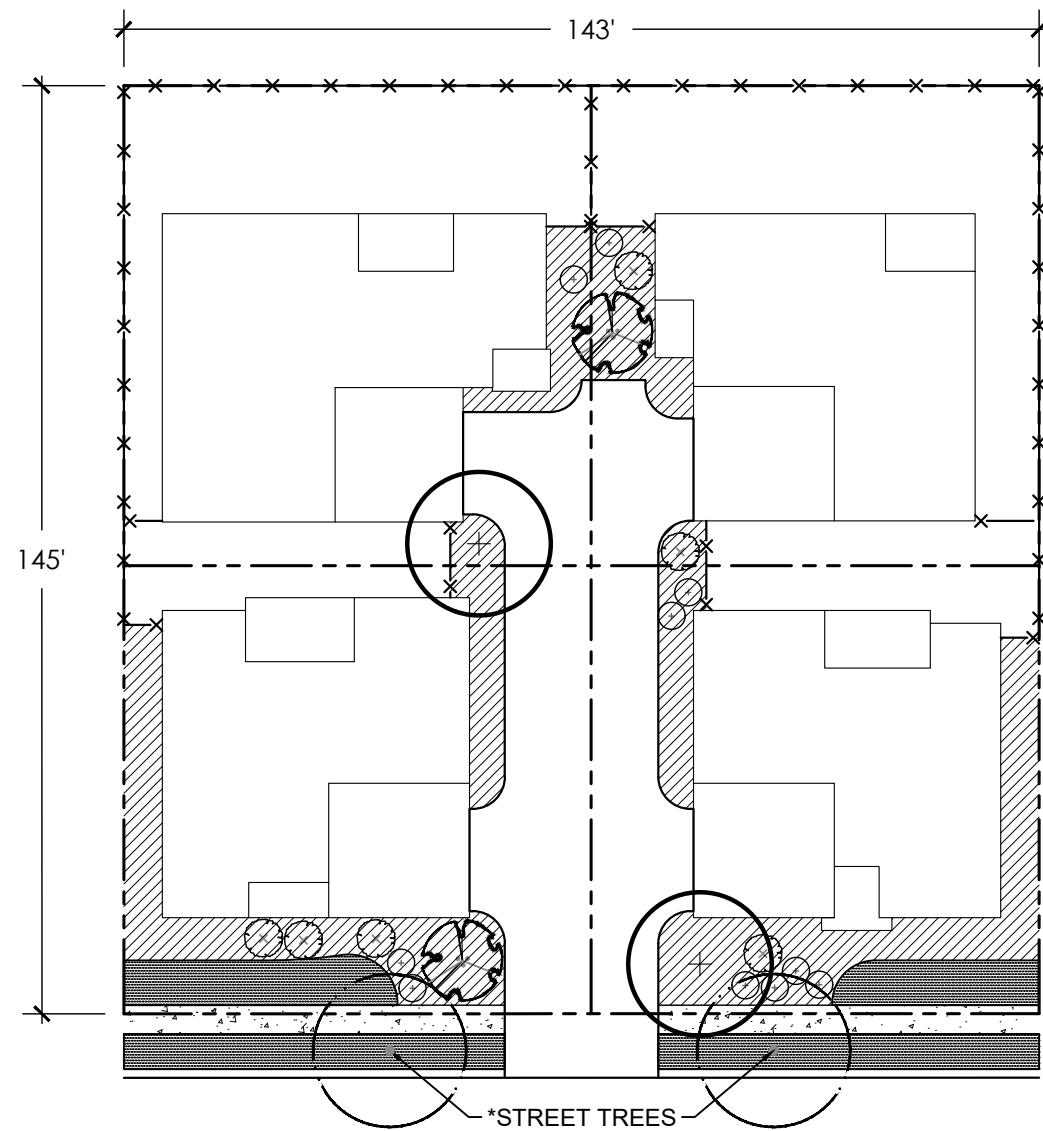



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PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	July 14, 2022
REVISION DATES	
SHEET TITLE	
PRODUCT TYPICALS	
SHEET NUMBER	L2.1
	SHEET 9 OF 15

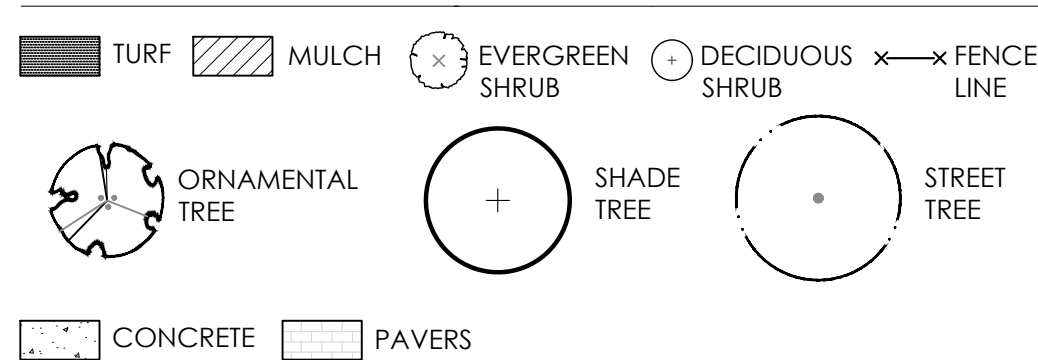


**STANDARD 4 PACK BUNGALOW CLUSTER
TYPICAL LANDSCAPE**

PROVIDE A MINIMUM OF:
EACH CLUSTER SHALL HAVE ONE (1) TREE/HOME
EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

- NOTES:
1. STREET TREES NOT COUNTED TOWARD THE LANDSCAPE REQUIREMENT.
2. LANDSCAPE REQUIREMENTS MAY BE MET ON ANY OR ALL LOTS IN A CLUSTER.

LEGEND



ARCHITECTURAL STANDARDS

HOUSING MODELS

1. INCORPORATE THE FOLLOWING MATERIALS FOR ALL MODELS AS APPROPRIATE: STONE, VERTICAL SIDING, WINDOW GRIDS, SHUTTERS, GABLE BRACKETS

GARAGES

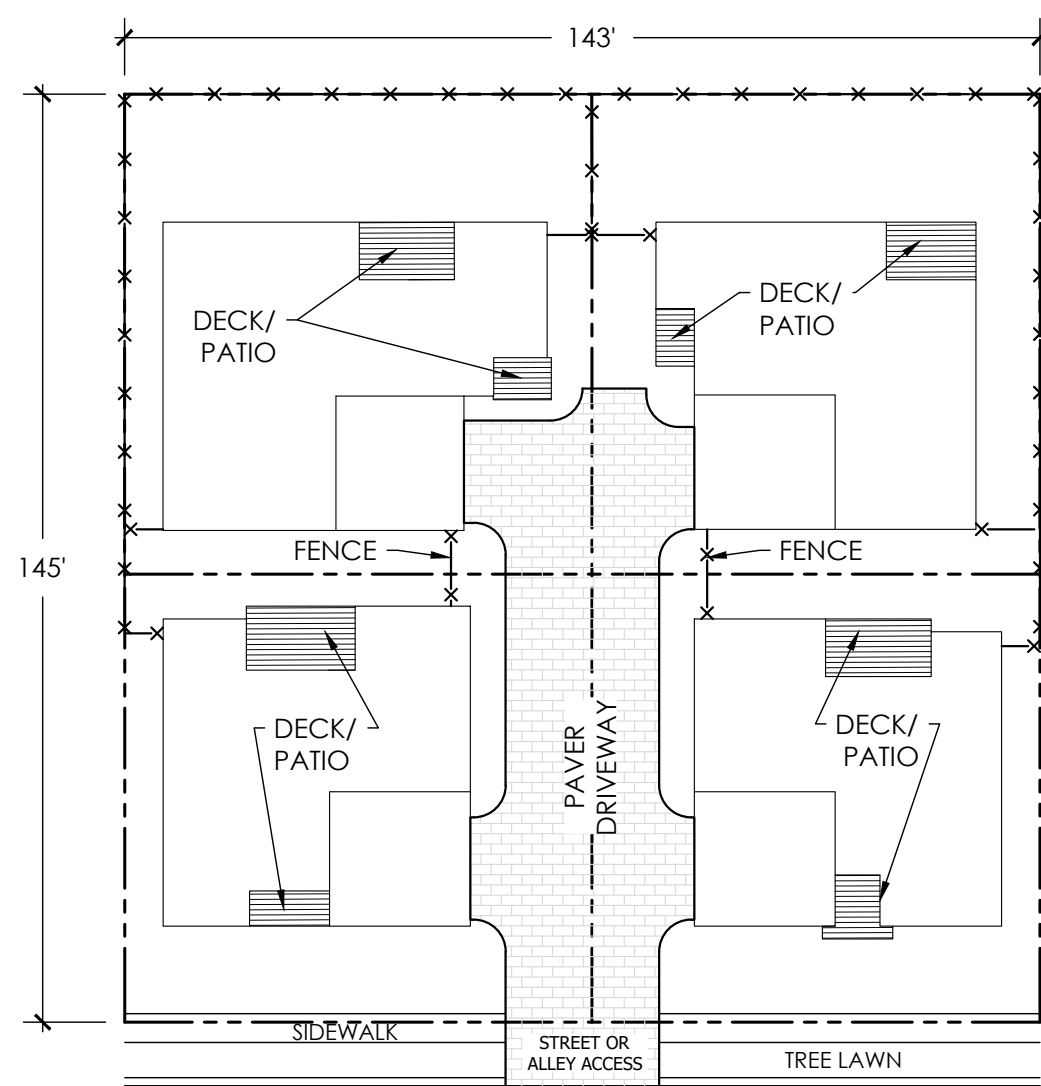
1. GARAGES THAT ACCESS OFF A MOTOR COURT SHALL BE CONSIDERED PREFERRED DESIGN. CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT, CITY OF COMMERCE CITY.

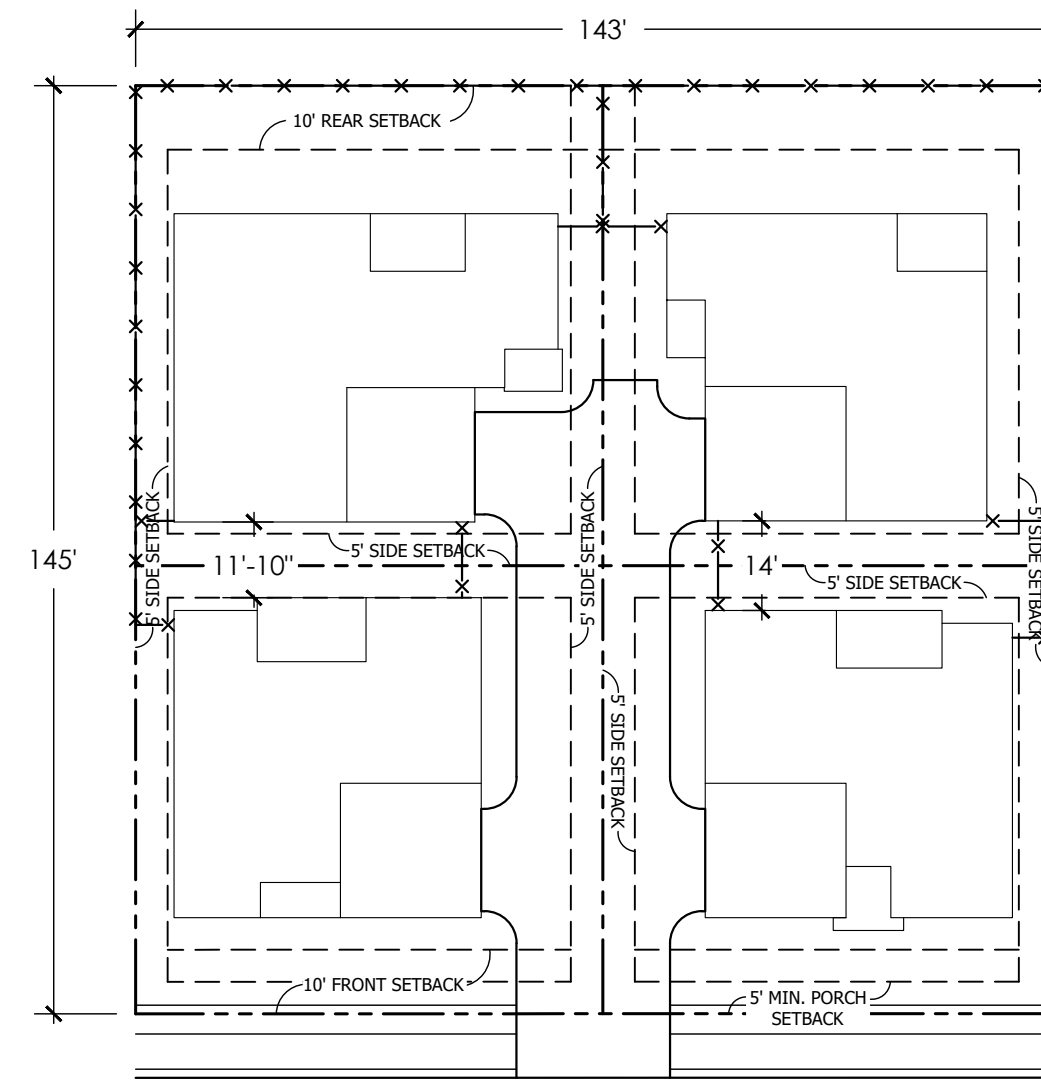
HOUSING FACADES

1. EACH HOME SHALL ADHERE TO THE FOLLOWING FACADE REQUIREMENTS. A MAXIMUM OF ONE FACADE ON EACH HOME MAY BE CONSIDERED AN INTERNAL FACADE. REFER TO SHEETS DEPARTMENT OF COMMUNITY DEVELOPMENT FACADE LOCATIONS.

2. INTERNAL FACADES DO NOT REQUIRE A PLANE BREAK.



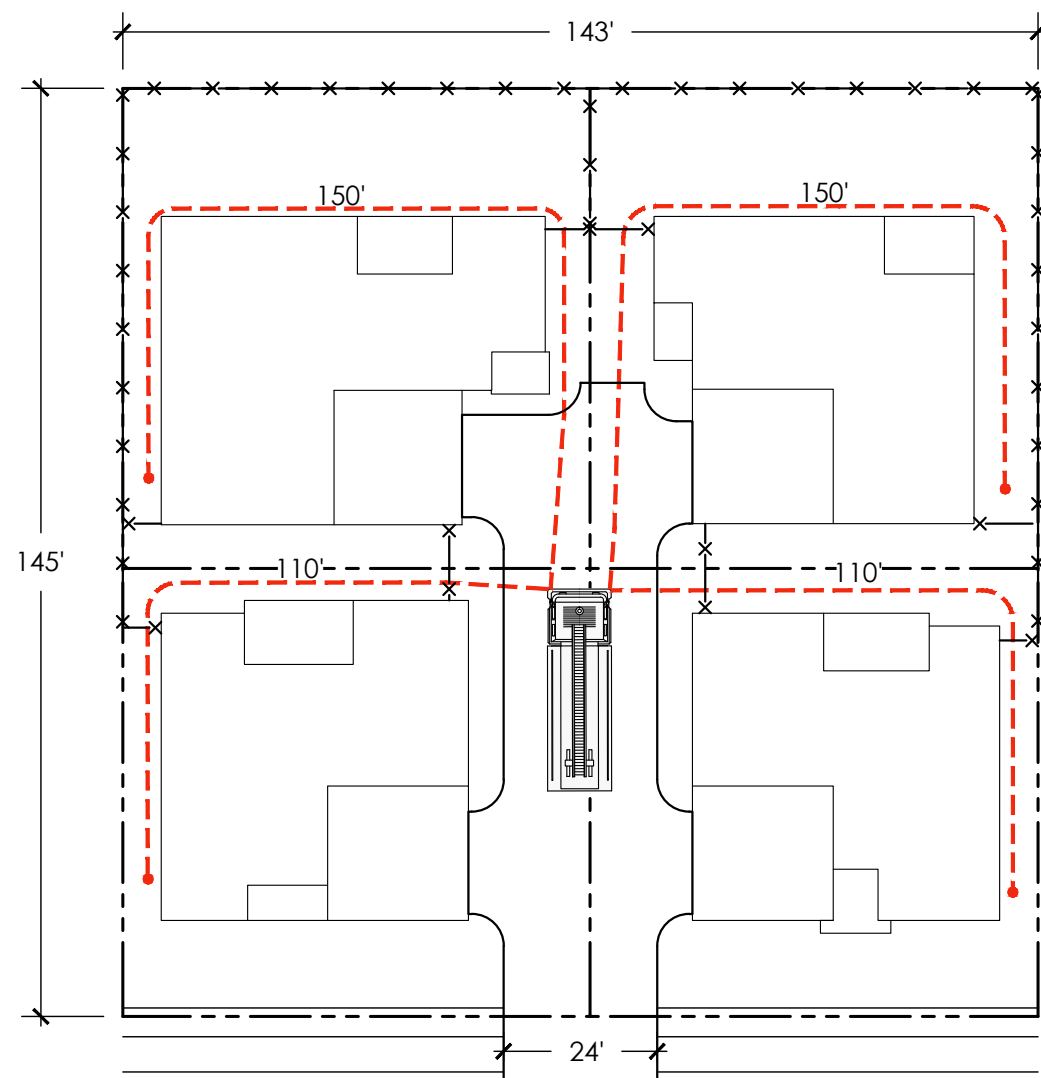
**STANDARD 4 PACK BUNGALOW CLUSTER
SITE FEATURES**



**STANDARD 4 PACK BUNGALOW CLUSTER
SETBACKS**

BUNGALOW & DUPLEX BULK STANDARDS

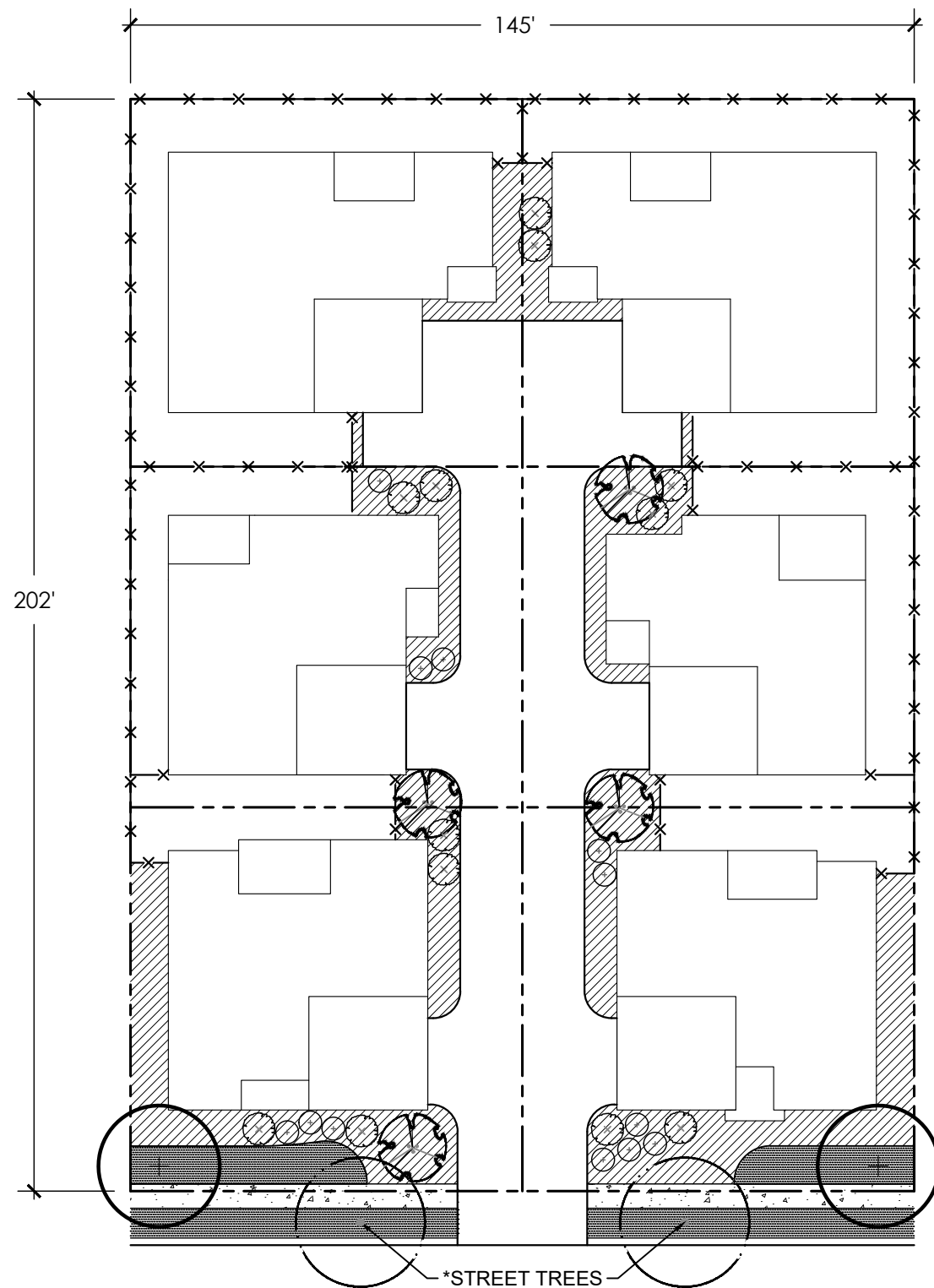
CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street setback	15 feet
Rear Setback Minimum	10 feet
Setback from E 104th Ave	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	Cluster Home = 2,200 SQ. FT. Single Family Attached = N/A
Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit



**STANDARD 4 PACK BUNGALOW CLUSTER
HOSEPULL**

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



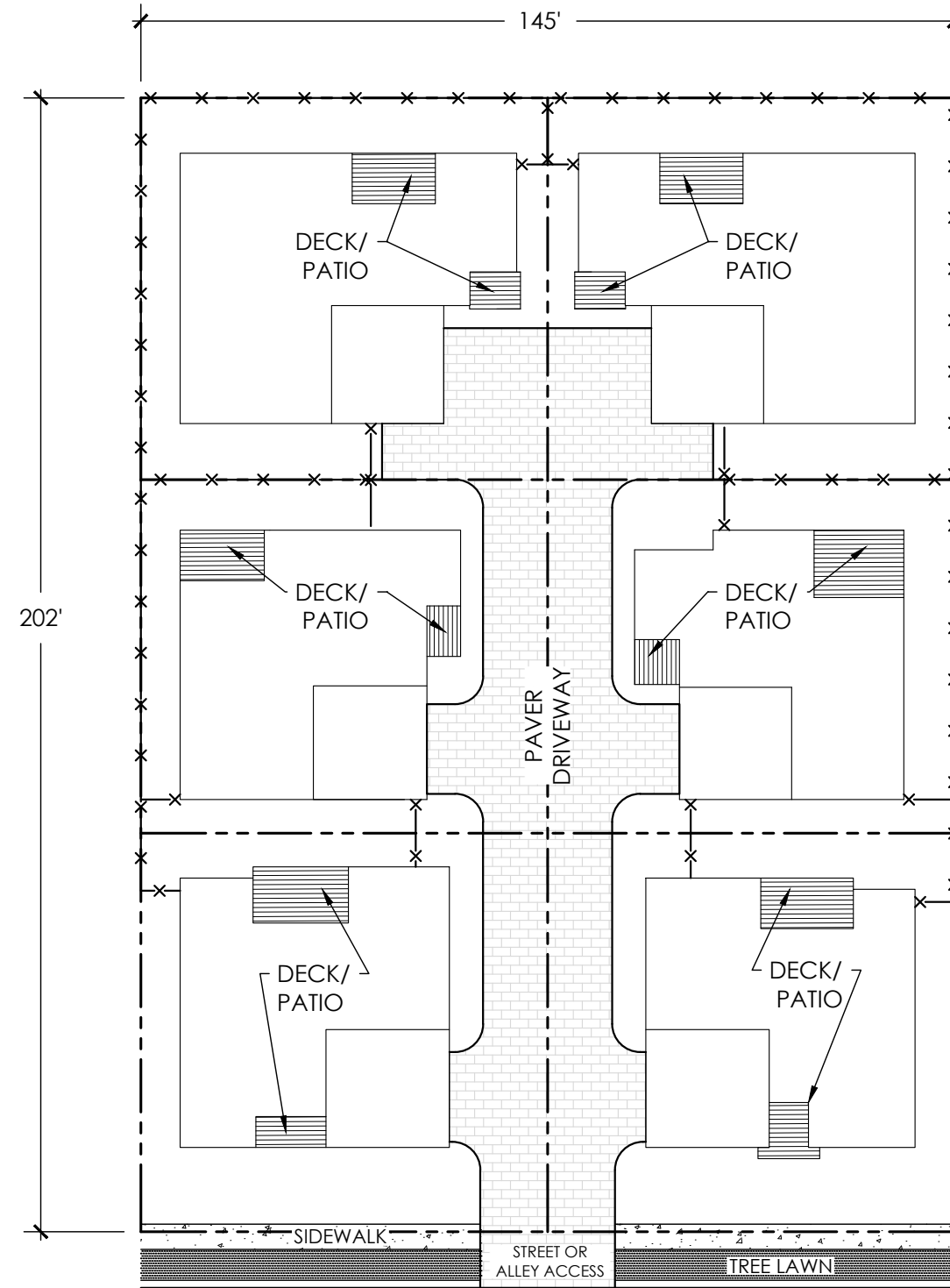
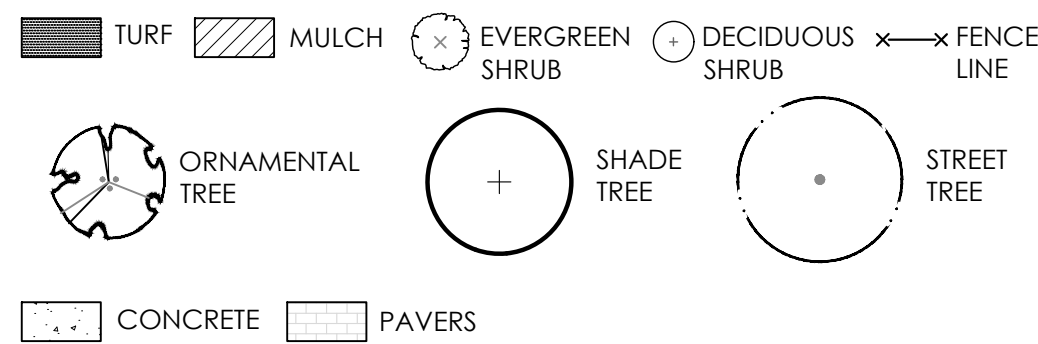
**STANDARD 4 PACK BUNGALOW CLUSTER
TYPICAL LANDSCAPE**

PROVIDE A MINIMUM OF:
 EACH CLUSTER SHALL HAVE ONE (1) TREE/HOME
 EACH CLUSTER SHALL HAVE FOUR (4) SHRUBS/HOME
 75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
 (MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
 1 MULCH TYPE

NOTES:

- STREET TREES NOT COUNTED TOWARD THE LANDSCAPE REQUIREMENT.
- LANDSCAPE REQUIREMENTS MAY BE MET ON ANY OR ALL LOTS IN A CLUSTER.

LEGEND



**STANDARD 4 PACK BUNGALOW CLUSTER
SITE FEATURES**

BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street setback	15 feet
Rear Setback Minimum	10 feet
Setback from E 104th Ave	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	Cluster Home = 2,200 SQ. FT. Single Family Attached = N/A
Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

ARCHITECTURAL STANDARDS

HOUSING MODELS

- INCORPORATE THE FOLLOWING MATERIALS FOR ALL MODELS AS APPROPRIATE: STONE, VERTICAL SIDING, WINDOW GRIDS, SHUTTERS, GABLE BRACKETS

GARAGES

- GARAGES THAT ACCESS OFF A MOTOR COURT SHALL BE CONSIDERED PREFERRED DESIGN.

HOUSING FACADES

- EACH HOME SHALL ADHERE TO THE FOLLOWING FACADE REQUIREMENTS. A MAXIMUM OF ONE FACADE ON EACH HOME MAY BE CONSIDERED AN INTERNAL FACADE. REFER TO SHEETS L4.1-L4.5 FOR INTERNAL FACADE LOCATIONS.
- INTERNAL FACADES DO NOT REQUIRE A PLANE BREAK.

CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY
 DEVELOPMENT OF THE CITY OF COMMERCE CITY,
 THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

NOT FOR CONSTRUCTION



ASSESSOR'S
 PARCEL
 IDENTIFICATION
 NUMBER:
 0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
 A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
 COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
 July 14, 2022

REVISION DATES

SHEET TITLE

PRODUCT
 TYPICALS

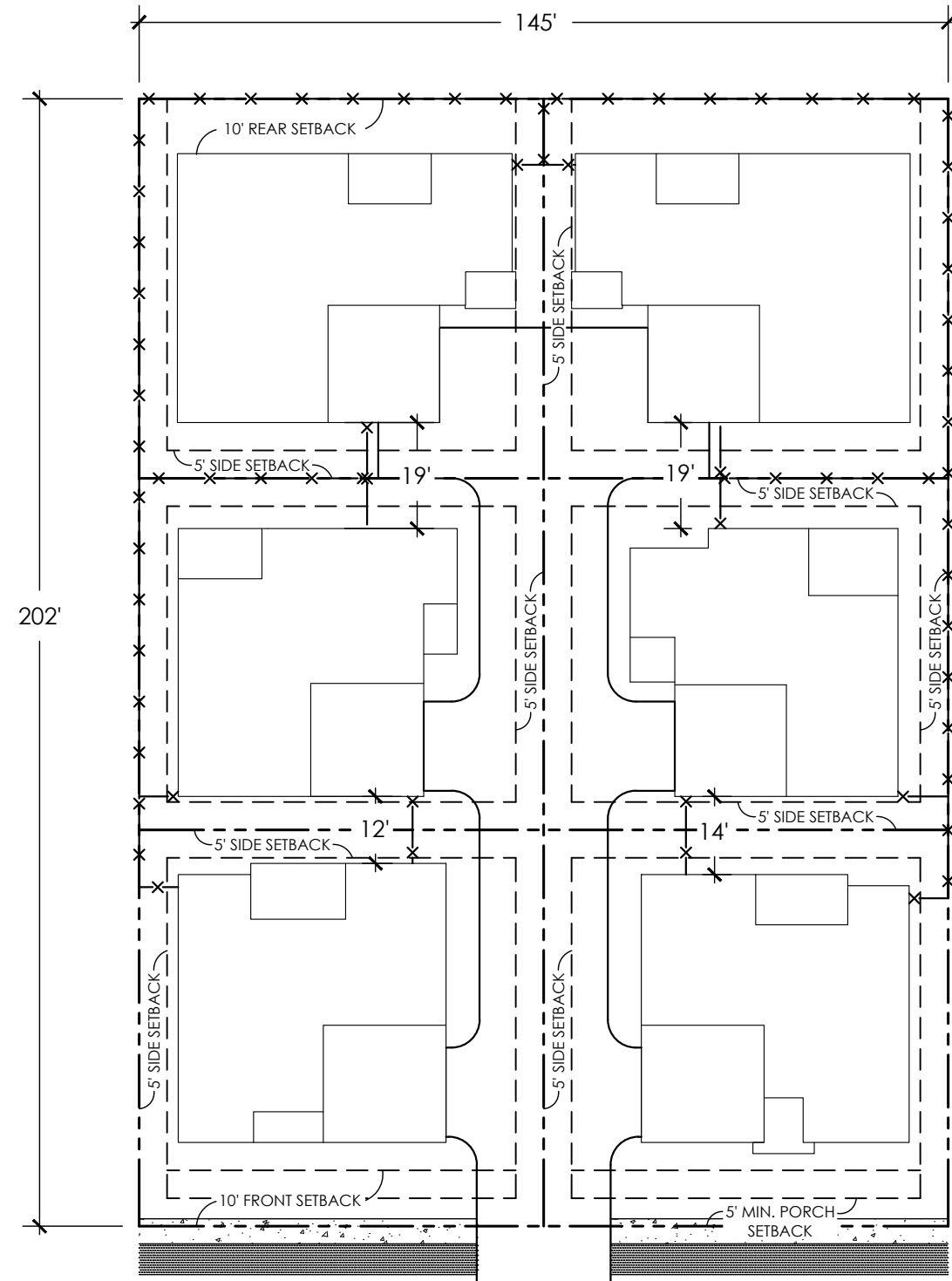
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L2.2

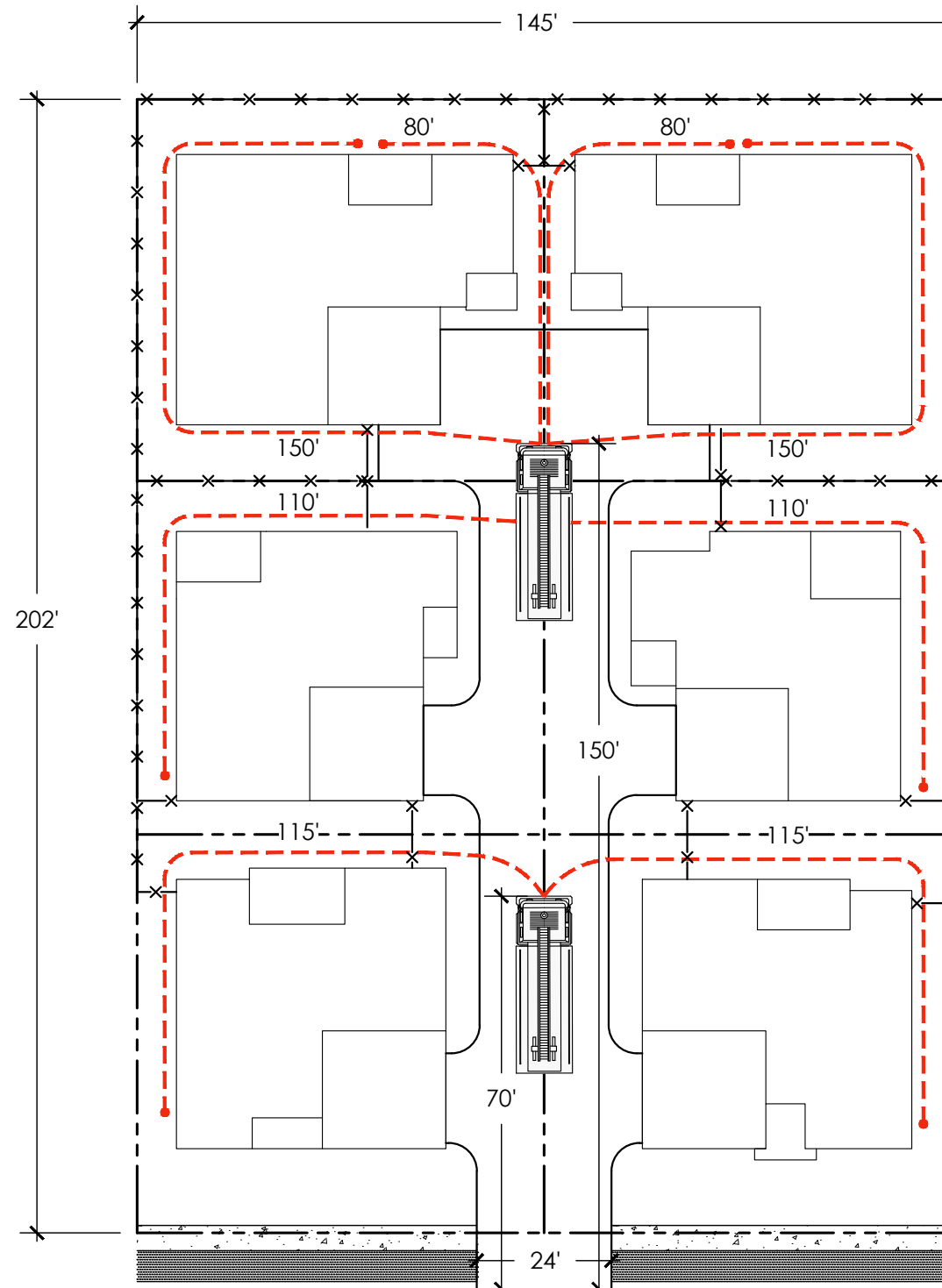
SHEET 10 OF 15

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



STANDARD 4 PACK BUNGALOW CLUSTER SETBACKS



STANDARD 4 PACK BUNGALOW CLUSTER HOSEPULL

BUNGALOW & DUPLEX BULK STANDARDS

CLUSTER HOME & SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street setback	15 feet
Rear Setback Minimum	10 feet
Setback from E 104th Ave	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	Cluster Home = 2,200 SQ. FT. Single Family Attached = N/A
Minimum Dwelling Size	Cluster Home = 900 SQ. FT. Single Family Attached = N/A
Parking Required	2 spaces per unit

NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

ASSESSOR'S
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IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

PRODUCT
TYPICALS

SHEET NUMBER

L2.3

SHEET 11 OF 15

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



NOT FOR CONSTRUCTION



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
July 14, 2022

REVISION DATES

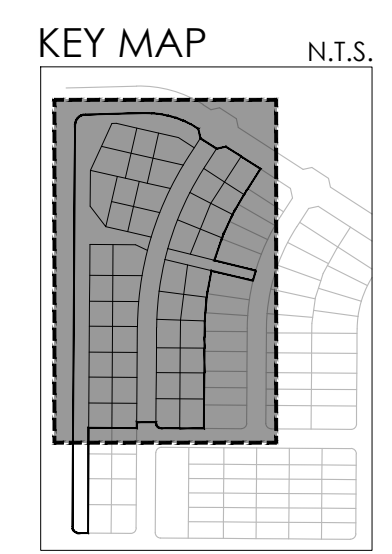
SHEET TITLE

FENCING
PLAN

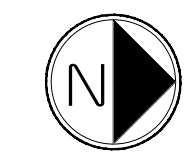
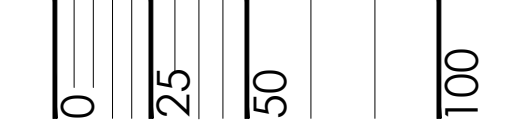
SHEET NUMBER

L3.1

SHEET 12 OF 15



Scale: 1" = 50'-0"



LEGEND

- 60" OPAQUE FENCE
- 48" OPEN RAIL FENCE

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

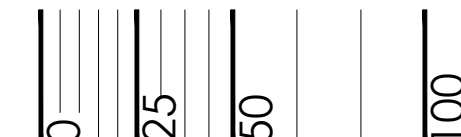
- Ⓢ STREET-SIDE FACADE
- ⓕ FRONT DOOR FACADE
- Ⓛ INTERNAL FACADE
- * LIMITED TO 2-STORIES

CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY
 DEVELOPMENT OF THE CITY OF COMMERCE CITY,
 THIS _____ DAY OF _____, 2022.

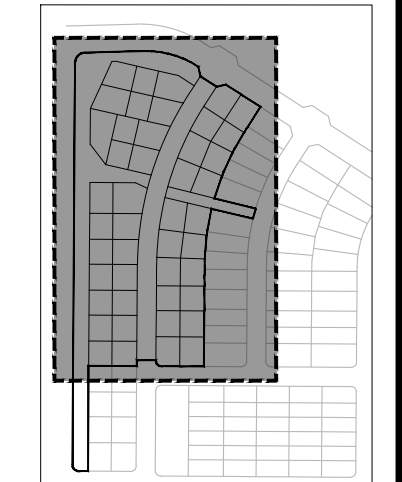
DEPARTMENT OF COMMUNITY DEVELOPMENT



Scale: 1" = 50'-0"



KEY MAP N.T.S.



NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

ASSESSOR'S
 PARCEL
 IDENTIFICATION
 NUMBER:
 0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
 A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
 COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
 July 14, 2022

REVISION DATES

SHEET TITLE

FACADE
 PLAN

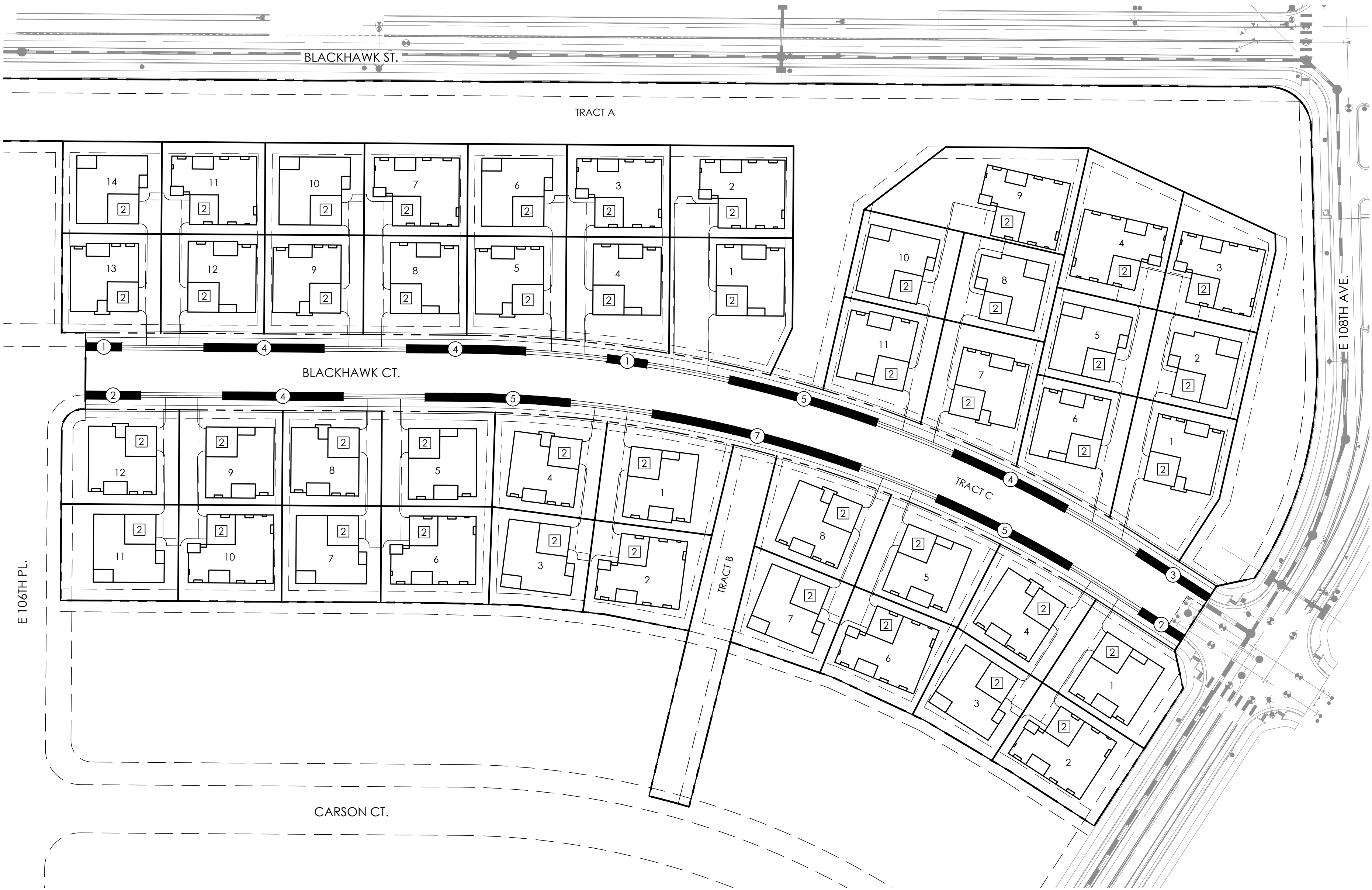
SHEET NUMBER

L4.1

SHEET 13 OF 15

VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



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ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

PARKING
PLAN

SHEET NUMBER

L5.1

SHEET 14 OF 15

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

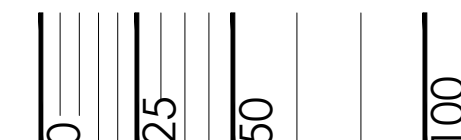
LEGEND

- 2 GARAGE PARKING
- 1 ON-STREET PARKING

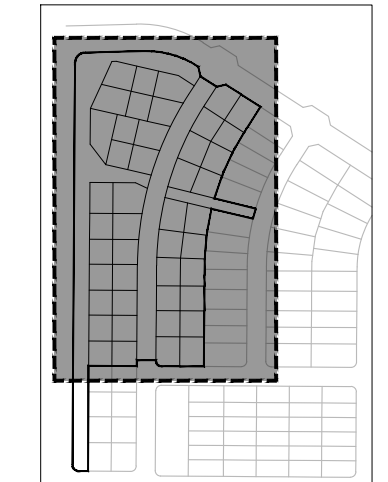
PARKING TABULATION		
TYPE	NUMBER	NUMBER/UNIT
GARAGE	90	2.0
ON-STREET	47	1.0
TOTAL	137	3.0



Scale: 1" = 50'-0"



KEY MAP N.T.S.



VILLAGE 8 FILING 1 AMENDMENT #1 P.U.D. PERMIT

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ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172307100002

VILLAGE 8 FILING 3 P.U.D. PERMIT
A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
July 14, 2022

REVISION DATES

SHEET TITLE

SETBACK
PLAN

SHEET NUMBER

L6.1

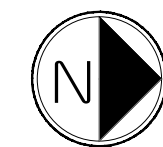
SHEET 15 OF 15

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

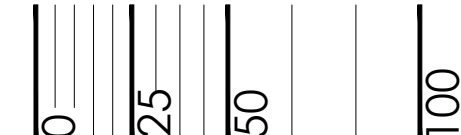
DEPARTMENT OF COMMUNITY DEVELOPMENT

LEGEND

- F** FRONT SETBACK
- S** SIDE SETBACK
- R** REAR SETBACK



Scale: 1" = 50'-0"



KEY MAP N.T.S.

