

# Master Model Elevation Review



## Facts to Know

### RELATED FACTS TO KNOW:

Approved Plant List, Bulk Standards (for the relevant zone district), Development Plan (PUD Development Permit), Helpful Contact Information, Minor Modification, Neighborhood Meeting, Park, School, and Water Acquisition Fees, PUD (Planned Unit Development), Pre-Application Meeting, Severed Mineral Rights, Single-Family Detached Landscaping, Subdivision (Plat), and Variance.

### INTRODUCTION:

The Planning Division reviews Master Model Elevations to ensure compliance with any Planned Unit Development (PUD) requirements, the requirements for single-family detached residential construction found in Article VII of the Land Development Code (LDC), and the proposed Master Model Elevation's compatibility with existing homes in the development.

### GENERAL TIMEFRAME:

- In order to maximize the efficient processing of an application, **it is in the applicant's best interest to ensure that a complete and thorough application has been submitted** and that any subsequent submittals adequately address all comments that were provided.
- Master Model Elevations may be reviewed concurrently with other required land use applications.
- No submittals to the Building Safety Division may be made until the Planning Division approves a Master Model Elevation.
- The length of time to review a Master Model Elevation may vary depending whether the Master Model Elevation needs to be reviewed during a Planning Commission study session, the size of the development where it is proposed, whether or not the Master Model Elevation review is part of other land use requests, or if there are unique circumstances. However, Master Model Elevations can generally be processed in **12 weeks to 4 months**. **The exact review time is as follows:**
  - **For 5 or less models: 1st review = 6 weeks, 2nd review = 5 weeks, 3rd review = 4 weeks**
  - **For 6 or greater models: 1st review= 8 weeks, 2nd review = 7 weeks, 3rd review= 6 weeks**

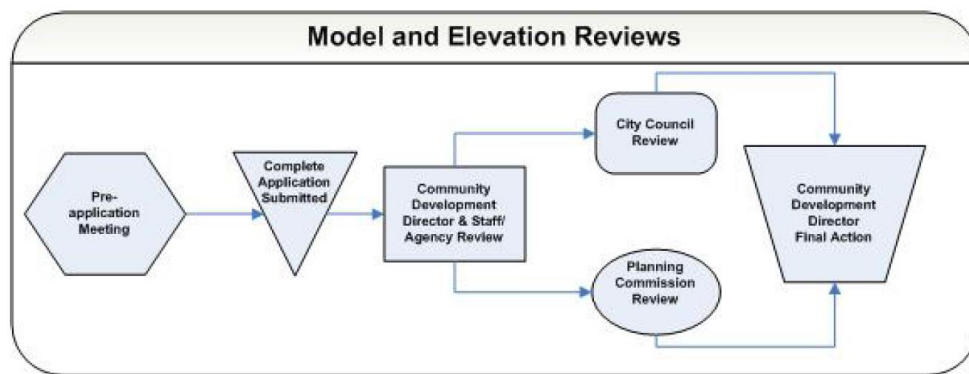
### GENERAL NOTES:

- Flag poles, trap fencing, temporary signs, etc., require separate temporary use and/or sign applications. These regulations can be found in Article VIII of the LDC. A final Certificate of Occupancy for display model homes will be issued once the display model home is converted back into residential living space and all trap fencing, signage, landscaping, etc., is determined to meet the requirements of the applicable PUD and the LDC.

# FTK: Master Home Model Review

- ❑ Occasionally, the city may require a neighborhood meeting when it appears that an application may have impacts to the surroundings area.
- ❑ The city is authorized to impose on the approval of a Master Model Elevation any condition(s) that are necessary to carry out the general purpose and intent of the LDC or the Comprehensive Plan.
- ❑ The city may revoke an approved Master Model Elevation if the applicant fails to comply with any of the conditions that were imposed by the city in conjunction with the approval.
- ❑ The right to develop in accordance with the approved Master Model Elevation shall lapse if the approved Master Model Elevation is not constructed within 90 days from the date of approval.
- ❑ Each residential home builder in a subdivision or development may have an informational sign, located at each entrance into the subdivision from a collector or arterial street, provided that each sign is at least 25 feet from the public right-of-way, is a maximum height of 12 feet, is a maximum area of 100 square feet, and is not illuminated.

## MASTER MODEL ELEVATION REVIEW FLOWCHART:



## REVIEW PROCESS:

- ❑ A complete application is submitted for review.
  - ➔ At the time of submittal, staff will determine if the application is complete (**incomplete applications will not be accepted and will be returned without review**).
- ❑ After a review period of approximately 2 weeks, the applicant will receive a comment letter identifying necessary revisions and questions to be answered. Common areas to address include:
  - ➔ The square footage of the house is absent or it does not meet the requirements of the LDC or PUD.
  - ➔ There is a lack of substantial change in plane on each side of the house as required by the LDC.
  - ➔ There is a lack of enhanced architectural elements for lots that are adjacent to public space as required by the LDC.
  - ➔ The 3rd car garage is not recessed a minimum of three feet as required by the LDC.
  - ➔ The submitted plans do not meet the requirements for a limited design garage layout (garage forward).
- ❑ The applicant will address these comments and resubmit to the city for an additional review cycle of approximately one week. This process will continue until all comments are resolved (which may involve multiple review cycles) and the application is ready for approval.

# FTK: Master Home Model Review

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- ➔ If city staff and the applicant cannot reach a tentative agreement on the necessary changes to the proposed Master Model Elevations within 3 review cycles, staff may deny the application. In the event of a denial, the applicant may request an appeal to Planning Commission and City Council.
- After the Planning Division provides a letter of approval for the Master Model Elevation, the applicant may submit construction drawings for review by the Building Safety Division. The Building Safety Division may be reached at 303.289.3790.
- The Certificate of Occupancy shall not be issued until all final inspections are conducted and approved.

## MASTER MODEL ELEVATION APPROVAL CRITERIA:

1. Complies with all applicable city standards;
2. Is consistent with any previously approved subdivision plat, rezoning, concept plan, or other precedent plan or land use approval;
3. Is in harmony and compatible with adjacent development in the area; and
4. Creates a positive precedent for the future cumulative development of the immediate area.

## SUBMITTAL REQUIREMENTS FOR MASTER MODEL ELEVATION REVIEW:

Please note that incomplete submittals will not be accepted for review. Any inaccurate or incomplete information provided by the applicant may cause the application to be returned to the applicant and/or delay review cycles which may impact the case completion time frame. Please visit [c3gov.com/etrakit](https://c3gov.com/etrakit) for complete information for submitting for this application type. The following items will need to be included in your submittal package. When applying for a Master Model Elevation review the address will be the name of the subdivision and filing.

- New Single-Family Model/Elevation Review Application* and the non-refundable review fee.
- Drawings for each Master Model Elevation (including floor plans) on 11" x 17" paper. These plans must be to scale. Construction drawings are not necessary at this stage.
- If the Master Model Elevation is new to Commerce City, a color and material board may be required.
- Landscape lot typical for each Master Model Elevation (one interior lot and one corner lot).
- Architectural review committee approval letter (if applicable).
- Overall subdivision plat map no larger than 11" x 17" that shows the location and total numbers of lots that are proposed for construction with the Master Model Elevation. If applicable, also show the locations of model homes.
- City Council, Planning Commission, or staff may require additional information or technical studies on a case by case basis.

## SUBMITTAL REQUIREMENTS FOR LANDSCAPE LOT TYPICALS:

The following is a list of items that must be included on the landscape lot typical (only for front yard or front and side yard on a corner lot):

1. The typical total square footage of the lot.
2. The typical total square footage of the landscape treatment area.
3. The typical total square footage of sod (50% max).
4. The typical total square footage of mulch.
5. The typical total square footage of living plant material (75% min @ 2/3 growth).
6. All mulching material must be identified.
7. A planting legend containing the number of plants with their species, size, and condition.

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8. The minimum number of trees and shrubs required with the provided number of trees and shrubs.
9. The tree lawn must be shown with street trees placed every 30 – 40 feet with irrigated sod.
10. The following notes must be on the plans:
  - a. 5 cubic yards of soil amendment per 1,000 square feet of landscape area, tilled to a depth of 6 inches.
  - b. Irrigation:
    - i. Max design pressure of 60 p.s.i. (Water District recommendation)
    - ii. Tree and shrub beds to be irrigated with drip and bubbler/emitter method.
    - iii. Rotary spray heads for sod areas will be used when applicable.
    - iv. Rain sensors for all systems will be provided.
    - v. Strip type spray nozzles for irrigated turf in tree lawns.
  - c. Trees in the tree lawn of a corner lot must be at least 20 feet from the front of a stop sign.
  - d. Ash tree installation is prohibited.
11. Signature blocks for both the builder and city.

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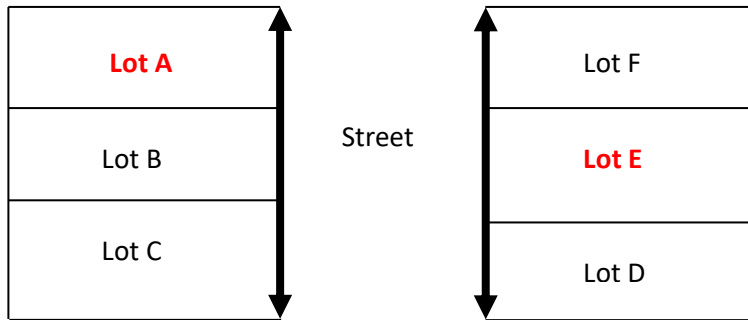
## ADJACENCY RULES FOR SUBDIVISIONS:

Section 21-7631(3)(c)(i):

The same housing model with the identical street elevation design (or nearly identical) shall not be placed directly adjacent to one another or directly across the street from one another. "Across the street" is defined as lots that overlap each other when the side lot lines are extended across the street to the opposite lot. The same housing model used at the end of one block shall not be repeated on the first lot of the neighboring block.

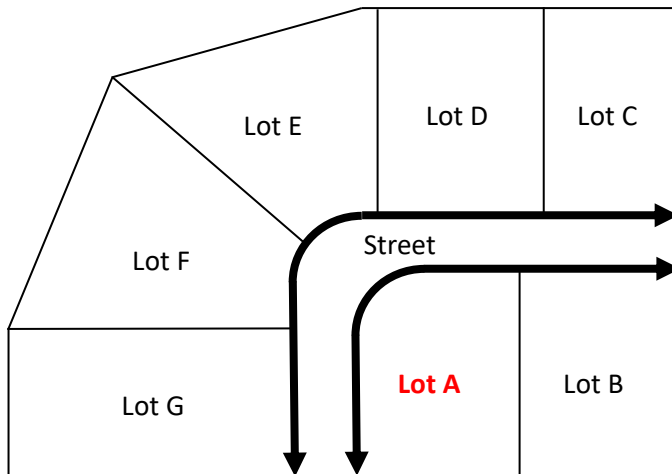
### Straight Street Configuration:

Lot A is across the street and adjacent to Lots B and F (it is not adjacent to Lot E). Lot E is across the street and adjacent to Lots B, C, D, and F.



### Corner Configuration:

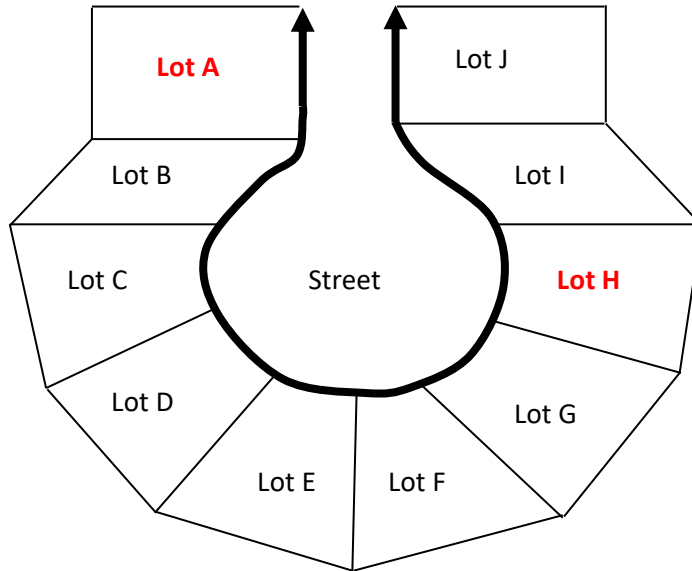
Lot A is across the street and adjacent to Lots B, D, E, F, and G.



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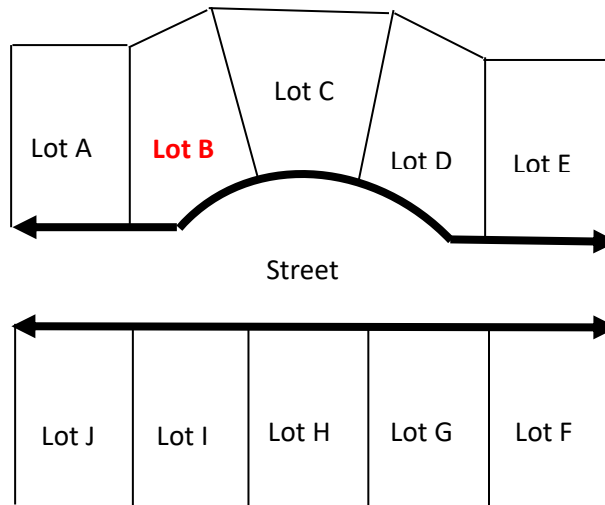
## Cul-de-Sac Configuration:

Lot A is across the street and adjacent to Lots B, I, and J. Lot H is across the street and adjacent to Lots B, C, G, and I.



## Bump-Out Configuration:

Lot B is across the street and adjacent to Lots A, C, H, I, and J.

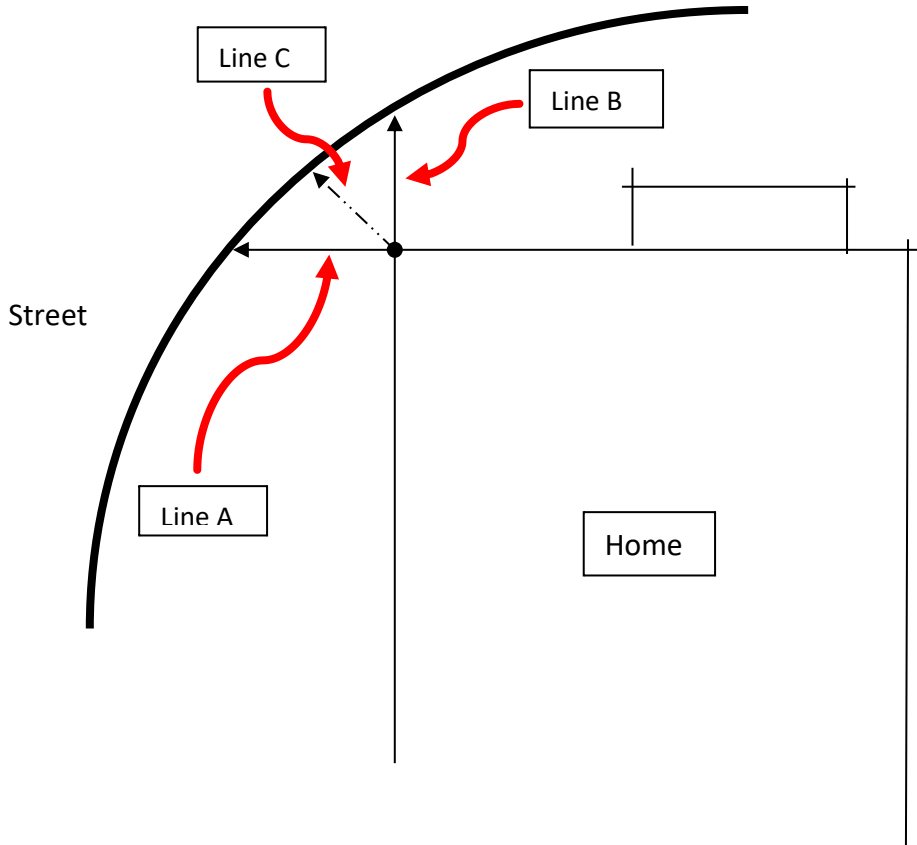


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## MEASURING CORNER LOT SETBACKS ALONG A CURVE:

In order to determine whether the front or the side-on-street setback is applicable for a home on a curved lot:

1. Draw lines A and B from the corner of the principal structure straight out to the street. If the line drawn to the street side is the shortest, then the side setback is applicable. If the line drawn to the front is the shortest, then the front setback is applicable (garage setbacks do not impact this situation since they are not allowed on the street side).
2. Once the determination has been made as to which setback is applicable, compare the required minimum setback to that of the setback distance shown on the plot plan (Line C).



\*In this scenario, Line B is shorter than Line A. Therefore, the front setback would be applicable and Line C would need to meet the front setback requirement.

# FTK: Master Home Model Review

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## RESIDENTIAL DESIGN STANDARDS FOR DEVELOPMENTS GREATER THAN 8 ACRES IN SIZE:

The following standards are intended to promote variety and visual interest in the residential and planned unit development zone districts predominately characterized by mass-production residential building development.

**Housing Models [Section 21-7631 (3)]:** Each housing model shall provide and exhibit at least three features that clearly and obviously distinguish them from other housing models. These features can include any of the following:

- Building mass. Building mass is considered to be the outline of the structure. This is determined by the height, width, and depth of the structure,
- Building form. Building form is considered to be the style of the home, including ranch, tri-level or two-story structures.
- Roof type. Roof types consist of mansard, hip (full or clip), flat, gambrel, gable, and front-to-back (shed style). Differentiation may also be achieved through the use of roof dormers, gables, and hips. Flat or A-frame roofs should be avoided unless appropriate to the architectural style.
- Windows and doors. The vertical or horizontal variation in the placement of at least two windows and/or doors on the front façade elevation or window shapes that are substantially different.
- Materials. The use of different materials on the front façade elevation (brick vs. stone).
- Garages. Substantial variation in the location and/or proportion of garages and garage doors, such as alley-loaded garages, side-loaded garages, etc. (2-car garage vs. 3-car garage of the same elevation do not meet the intent).
- Porches. Variation in the location, width, and proportion of front porches.
- Other distinct and substantial architectural design variations approved by the director. The sole use of minor cosmetic changes such as different paint color, reversing or creating mirrored images of the exterior architectural elevations, shutters, decorative brackets, or using different brick or stone color shall not meet the intent of this section.

Housing models with identical (or nearly identical) street elevation designs shall not be placed adjacent to or across the street from one another, as defined in the adjacency rules discussed on Page 4 of this packet.

**Façades [Sections 21-7633(2) and 21-7633(3)]:** Each side of a house shall have a minimum of two differentiated planes to relieve flat, monotonous façades. Differentiation may include incorporation of a feature such as a bay window, entry, porch, overhang, or chimney, and shall be a minimum of 12 inches in depth.

In addition to the standards above for all sides of a house, each side or rear façade of a single-family dwelling which faces a street, park, open space or golf course shall include at least two of the following:

- An additional change in the vertical or horizontal wall plane within 20 feet above grade;
- A change in the color or material of the wall;
- An increased masonry return;
- A bay window, porch or balcony;
- Structured transition from public to private areas using built elements such as arbors, low walls, trellis work, and/or similar elements integrated with plantings;
- Detailing the wall with reveals, belt courses, cornices, projections or other devices; or
- Shuttered windows or glazed doors to overlook the street, park, open space or golf course.

All roof overhangs and/or soffits must be a minimum of 12 inches, unless the structure embodies architectural styles of an historical nature. For example, a Santa Fe style has a flat roof without any overhang.



# FTK: Master Home Model Review

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**Doorways [Section 21-7632(1)]:** Each residence shall have at least one primary pedestrian access (doorway) into the dwelling located on the elevation of the dwelling facing the front lot line of the property, and clearly visible from the street or public area adjacent to the front lot line. On corner lots, the primary doorway may be located facing any adjacent street. An exception shall be made for alley-loaded single-family detached units that do not have street frontage but do front onto a park or park-like common open area. In such case where the dwelling unit does not have street frontage, one primary doorway shall be oriented toward a pedestrian walk in the park that connects to a street.

**Garages (Section 21-7634):** A minimum of 50 percent of the dwellings within a subdivision must be **Preferred Design**, with garages located in one or more of the following ways:

- ➔ Attached and recessed from the front facade of the building by a minimum of three feet, with access from the front;
- ➔ Attached and in the side or rear yard, with access by either an alley or a driveway from the side. The garage shall be a minimum of three feet behind the front facade;
- ➔ Detached with front, side, or rear access. The garage shall be a minimum of three feet behind the front facade;
- ➔ Attached and flush with the front facade, provided that a covered porch extends at least six feet forward from the front facade of the house and is a minimum of 10 feet in width; or
- ➔ Flush with the front facade and side-loaded with a driveway to the front.

A maximum of 50% of the dwellings within a subdivision may be **Limited Design**, with garages provided in any of the following ways

- ➔ Extending from the front facade of the living unit not more than 10 feet, but with an architectural design element such as a bay/box window; covered porch at least six feet in depth across the front facade of the living unit; or a defined outdoor space (such as a patio or courtyard surrounded by a masonry wall or fence no more than 42 inches in height) that is designed to include the entire front yard space between the front facade of the living unit and the front facade of the garage, developed to extend outward to be at least flush with the garage door opening;
- ➔ Extending from the front facade not more than 10 feet, but with living space directly above the garage. Such living space shall cover a minimum 50 percent of that portion of the garage in front of the front facade of the living unit;
- ➔ Extending from the front facade not more than 10 feet, but with a complimentary adjoining living space or porch covering five feet of the 10-foot extension, limited to one-car garage door openings; or
- ➔ Extending from the front facade the width of the garage with the garage door on the side of the garage with side yard or front yard access. All models containing split car garage designs will be categorized in this option.

For the purposes of these standards, the front facade includes the enclosed living portion of the house. Side-loaded garages shall have architectural details, masonry, and/or windows on the side of the garage facing the street that mimic the features of the living portion of the dwelling. Any third- or fourth-car garage door opening shall be recessed a minimum of 3 feet from the two-car garage door opening façade or shall not have the same orientation as the first two garage doors.

Garage door openings shall not dominate the front façades of homes. On lots between 50- and 70 feet wide, one- or two-car garage door openings shall comprise no more than 50% of the front building façade, while three or more car garages may comprise up to 60% of the front building façade. On lots greater than 70 feet wide, garage door openings shall not comprise more than 50% of the front building façade, regardless of garage size. On lots less than 50 feet wide, garage door openings should be softened with architectural treatments, which will be handled on a case-by-case basis during the model elevation review process.

*The subsequent sheets contain the review checklist that staff will use to review all  
Master Model Elevation applications.*

# FTK: Master Home Model Review

Case #: \_\_\_\_\_

| <b>MASTER HOME MODEL REVIEW CHECKLIST</b>          |  |                          |                          |            |
|--|--|--------------------------|--------------------------|------------|
| <b>ALL SHEETS SHALL INCORPORATE THE FOLLOWING:</b> |  |                          |                          |            |
| No.  | Item   | Yes                      | No                       | Comment(s) |
| 1  | The precise name of the subdivision, development, and the applicant.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 2  | The name of the PUD (if applicable).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 3  | The name, telephone number, and email address of the Architect and/or Engineer designing the plans.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 4  | The date the plans were submitted and/or resubmitted.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 5  | A suitable scale (written and graphic).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 6  | Page Numbers   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 7  | An approval certificate:<br><u>City Staff Certificate:</u><br>Approved by the Department of Community Development of the City of Commerce City, this _____ day of _____, 20____.<br><br>_____<br>Department of Community Development | <input type="checkbox"/> | <input type="checkbox"/> |            |
| <b>COVER PAGE:</b>                                 |  |                          |                          |            |
| No.  | Item   | Yes                      | No                       | Comment(s) |
| 1  | A vicinity map showing the location of the subdivision/filing for the Master Model Elevation.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 2  | A <b>Project Data Table</b> that identifies the relevant statistics.   |                          |                          |            |
|  | a. Garage square footage.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | b. Garage design type (Preferred Design or Limited Design).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | c. Percent of the Development with Preferred Design (staff can help you determine this).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | d. Percent of the Development with Limited Design (staff can help you determine this).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | e. Garage door ratio (garage door length/length of the front façade of the home).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | f. Model Home's height.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | g. Basement square footage (if applicable).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | h. 1st floor square footage.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | i. 2nd floor square footage (if applicable).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | j. 3rd floor square footage (if applicable).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|  | k. Optional square footage(s).   | <input type="checkbox"/> | <input type="checkbox"/> |            |

# FTK: Master Home Model Review

| MASTER HOME MODEL REVIEW CHECKLIST |   |                          |                          |            |
|------------------------------------|---|--------------------------|--------------------------|------------|
| No.                                | Item  | Yes                      | No                       | Comment(s) |
|                                    | <b>l.</b> Total square footage (basements and garages do not count towards this number).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>m.</b> The required square footage for a single-story home (if applicable).  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>n.</b> The required square footage for a two-story home (if applicable).   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>o.</b> Any required options for the model home.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>p.</b> The required enhancements for lots adjacent to public space.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>q.</b> The size of the subdivision/filing.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>r.</b> The total number of lots in the subdivision/filing.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>s.</b> The number of Home Model Elevations that are being submitted with the Master Home Model.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 3                                  | The following notes are required to be on each cover page:  |                          |                          |            |
|                                    | <b>a.</b> No roof overhang or soffit shall be less than 12-inches, as measured from the finished side of the siding or premium material of the structure to the inside of the fascia board, unless the structure embodies architectural styles of an historic nature. | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>b.</b> The same housing model with identical street elevation designs shall not be placed adjacent to or across the street from one another.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
|                                    | <b>c.</b> Unless prohibited by terrain or other site constraints, the orientation of new homes shall repeat the predominant relationship of the existing buildings along the same block.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 4                                  | A sheet index is provided.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 5                                  | Any additional notes that are necessary.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| FLOOR PLAN SHEET(S):               |   |                          |                          |            |
| 1                                  | All of the home's dimensions are labeled.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 2                                  | Each façade incorporates a change in plane of at least 12-inches.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 3                                  | The arrangement and location of all interior rooms are shown.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 4                                  | All optional improvements are shown with dimensions.  | <input type="checkbox"/> | <input type="checkbox"/> |            |

# FTK: Master Home Model Review

| No.                        | Item  | Yes                      | No                       | Comment(s) |
|----------------------------|---|--------------------------|--------------------------|------------|
| 5                          | The garage door length(s) have been identified.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 6                          | The distance from the front of the garage to the front of the living space has been provided.         | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 7                          | The dimensions for the porch have been provided.  | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 8                          | The distance from the front of the garage to the front of the porch has been identified.              | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 9                          | All 3rd car garage doors are recessed at least 3-feet from the front of the 2-car garage.             | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 10                         | The front door has been identified and it faces the front lot line.                                   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| <b>ELEVATION SHEET(S):</b> |   |                          |                          |            |
| 1                          | Elevations for all four sides of the Master Model Elevation have been provided.                       | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 2                          | The height of each elevation has been provided.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 3                          | All exterior materials, including roof materials, have been identified.                               | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 4                          | The roof pitch has been identified.   | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 5                          | The treatments for lots adjacent to public space have been clearly identified.                        | <input type="checkbox"/> | <input type="checkbox"/> |            |
| 6                          | Enhancements for Corner Lots and Lots that back to parks and open spaces have been clearly delineated | <input type="checkbox"/> | <input type="checkbox"/> |            |