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CONTACT: William Carpenter, AIA, NCARB, LEED AP BD+C

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 Woodward Ave.  
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Tel. (248) 332-7931  
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CONTACT: Patrick J. Williams, P.E.

**Landscape Architect**

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Pontiac, MI 48342-5032  
Tel. (248) 332-7931  
Fax. (248) 332-8257

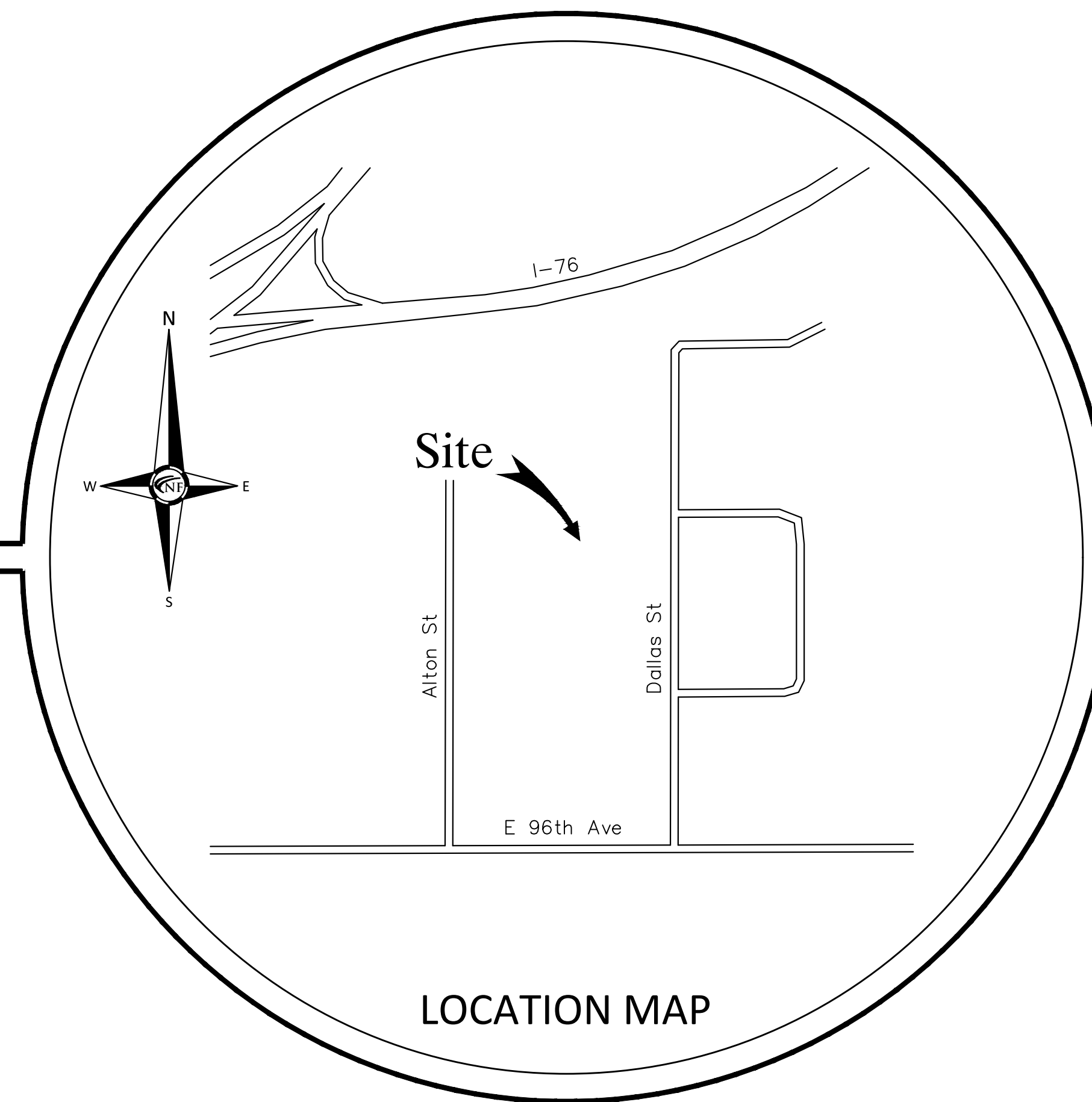
CONTACT: George A. Ostrowski, PLA, LEED AP

**SHEET INDEX**

- SP00 Cover Sheet
- 1 of 1 Land Survey Plat
- SP01 Partial Boundary\_ Topographic Survey
- SP02 Site Plan
- L1 Landscape Plan
- L2 Landscape Notes and Details

# City of Commerce, City Adams County, Colorado SITE PLAN DOCUMENTS

PART OF THE NE 1/4 of SW 1/4 OF SECTION 15, T.2S., R.67W.,

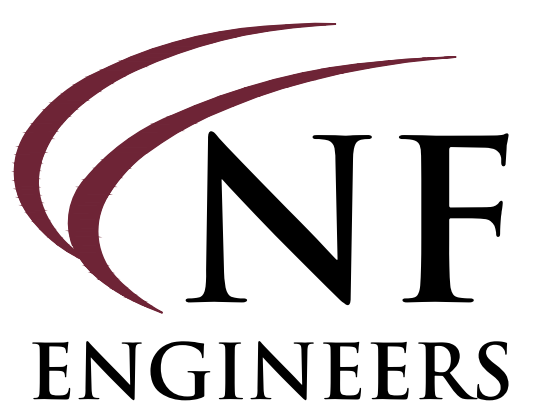
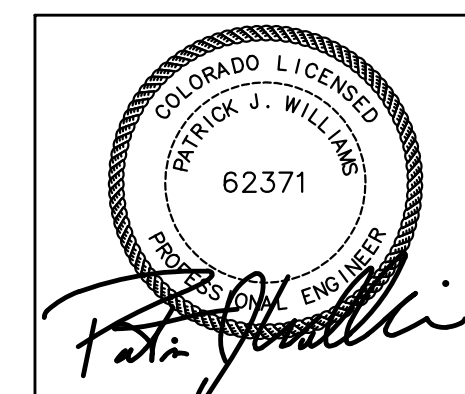


REVISIONS:  
07-25-23 ISSUED FOR SITE PLAN REVIEW

Project Name

# XPO LOGISTICS 9801 Dallas St.

N & F JOB #N657



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

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46777 WOODWARD AVE.  
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TEL. (248) 332-7931  
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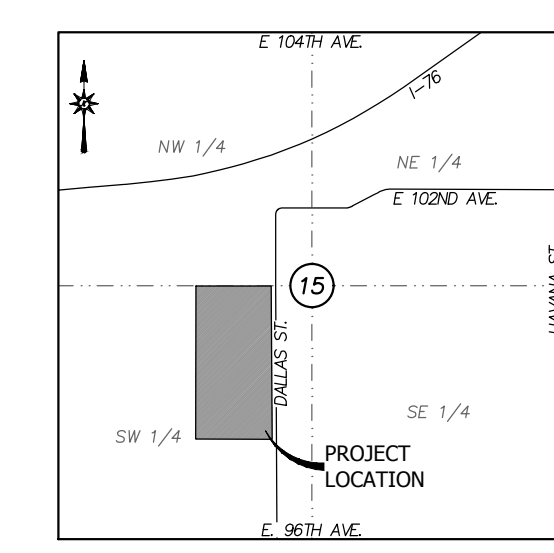
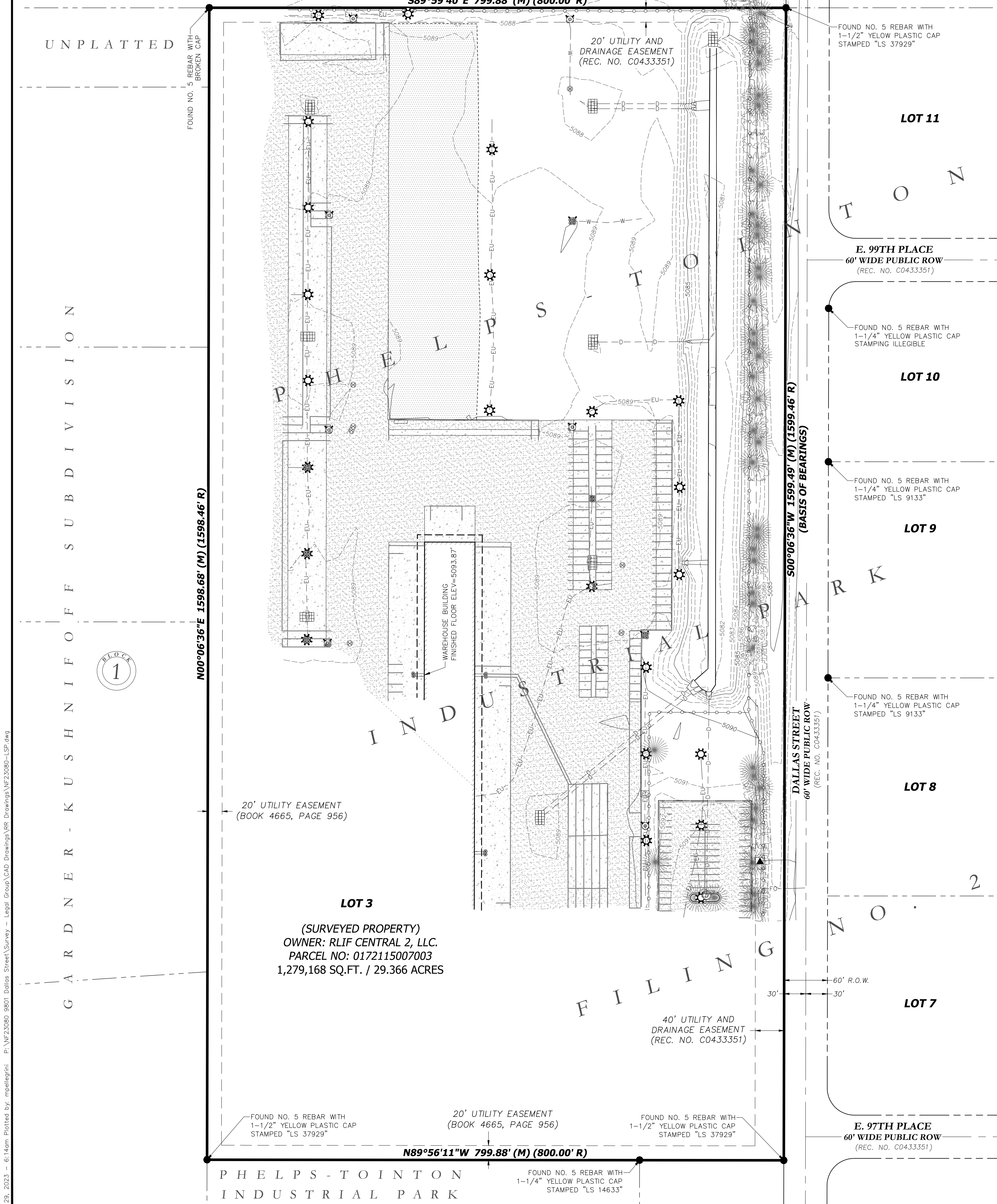
# LAND SURVEY PLAT

With Partial Topography and Improvements

LOT 3, PHELPS-TOINTON INDUSTRIAL PARK FILING NO. 2 (9801 Dallas St.)

Located in the Southwest Quarter of Section 15, Township 2 South, Range 67 West of the 6th Principal Meridian  
City of Henderson, County of Adams, State of Colorado

PHELPS TOINTON INDUSTRIAL PARK FILING NO. 3



**SURVEYOR'S CERTIFICATION**

I, KEVIN J. KUCHARCZYK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HAVE AFFIXED MY STAMP AND SIGNATURE REPRESENTING THAT THE SURVEYING SERVICES ADDRESSED HEREON HAVE BEEN PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND ARE BASED UPON THE PROFESSIONAL SURVEYOR'S KNOWLEDGE, INFORMATION, BELIEF AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ME OR R&R ENGINEERS-SURVEYORS, INC. TO DETERMINE OWNERSHIP. THE FIELD WORK WAS COMPLETED ON JUNE 23, 2023.

THIS CERTIFICATION IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



KEVIN J. KUCHARCZYK P.L.S.  
COLORADO REG. NO. 34591  
FOR AND ON BEHALF OF  
R&R ENGINEERS-SURVEYORS, INC.

**SURVEYED PROPERTY (PER SPECIAL WARRANTY DEED)**

LOT 3, PHELPS-TOINTON INDUSTRIAL PARK FILING NO. 2, RECORDED AUGUST 20, 1998 IN PLAT BOOK F17 AT PAGE 912, AS RECEPTION NO. C0433351, COUNTY OF ADAMS, STATE OF COLORADO.

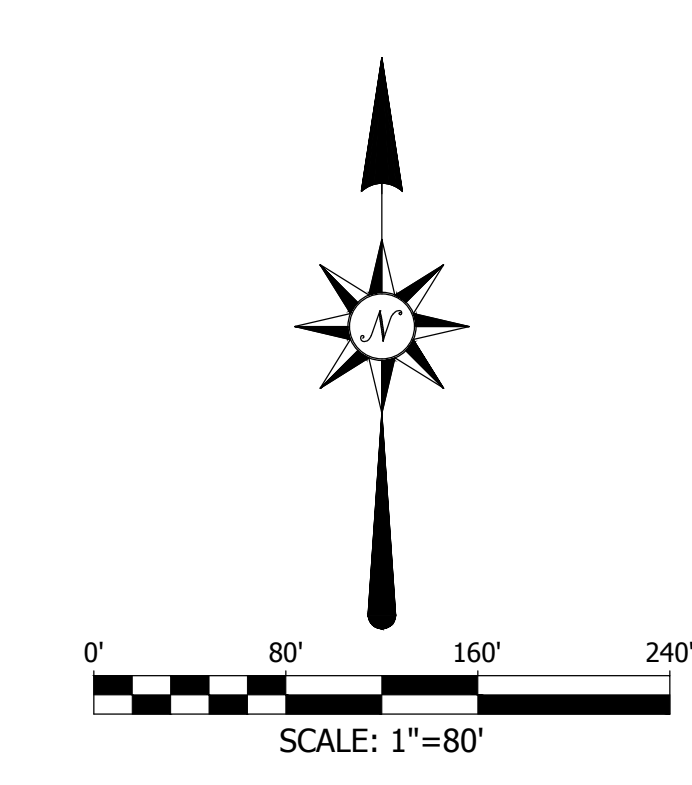
ALSO KNOWN BY STREET AND NUMBER AS : 9801 DALLAS STREET, HENDERSON, COLORADO.

ASSESSOR'S SCHEDULE OR PARCEL NUMBER: 0172115007003.

- GENERAL NOTES**
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
  - NOTICE: PURSUANT TO COLORADO REVISED STATUTES TITLE 13, ARTICLE 80, SECTION 105 (C.R.S. 13-80-105) - YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
  - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R&R ENGINEERS-SURVEYORS TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD AND NO TITLE REPORTS AND/OR TITLE COMPANY RESEARCH TO IDENTIFY CURRENT RIGHTS-OF-WAY AND EASEMENTS WERE PROVIDED TO THE SURVEYOR. PURSUANT TO C.R.S. 38-51-106, RECORDED AND APPARENT RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE DEPICTED ACCORDING TO PHELPS-TOINTON INDUSTRIAL PARK FILING NO. 2 AS RECORDED AUGUST 20, 1998 IN PLAT BOOK F17 AT PAGE 912, AS RECEPTION NO. C0433351, COUNTY OF ADAMS, STATE OF COLORADO. BY CONTRACTUAL AGREEMENT, THE CLIENT HAS NOT OPTED TO HAVE THIS SURVEY SHOW ANY ADDITIONAL RIGHTS-OF-WAY OR EASEMENTS.
  - BEARINGS FOR THIS SURVEY ARE BASED ON THE EAST LINE OF LOT 3, ALSO BEING THE WEST LINE OF DALLAS STREET AS MONUMENTED AT BOTH ENDS BY A FOUND NO. 5 REBAR WITH 1-1/2" YELLOW PLASTIC CAP STAMPED "LS 37929". SAID LINE BEARS SOUTH  $00^{\circ}06'36''$  WEST, A DISTANCE OF 1599.49'.
  - DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
  - THE ABOVE DESCRIPTION OF THE LAND IS THE SAME AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN THE COUNTY OF ADAMS CLERK AND RECORDERS OFFICE AT RECEPTION NO. 202000040724.

**LEGEND**

- Found Survey Monument, As Noted
- Surveyed Property Boundary Line
- Platted Lot Line
- Right-of-Way Line
- Easement Line (As Noted)
- Major Contour
- Minor Contour
- Underground Electric Line
- Underground Water Line
- Underground Drain Line
- Chainlink Fencing
- Wood Fencing
- Underground Fiber Optic Line
- Existing Building Edge
- Asphalt Surface
- Concrete Surface
- Gravel Surface
- Fire Hydrant
- Water Valve
- Light Pole
- Transformer Box (On Concrete Pad)
- Electric Cabinet (Mounted)
- Storm Drain Manhole
- Storm Inlet with Manhole
- Grate Inlet (Rectangle)
- Flared End Section
- Bollard, Concrete or Steel
- Deciduous Tree
- Coniferous Tree



**BENCHMARK (NAVD88 Datum)**

ORIGINATING BENCHMARK NGS PID KK0395: FOUND 3-3/4" BRASS CAP ON STEEL PIPE, STAMPED "USGS 5090 DENVER" AT THE INTERSECTION OF E. 96TH AVE. AND THE UNION PACIFIC RAILROAD, LYING APPROX 55' NORTH OF THE CENTERLINE OF E. 96TH AVE AND 41' WEST OF THE WEST RAILROAD RAIL. (NOT SHOWN, LIES APPROXIMATELY 3254' SOUTHWESTERLY OF SURVEYED AREA.)

ELEVATION = 5094.87'

**INDEXING CERTIFICATE**

THIS SURVEY HAS BEEN DEPOSITED WITH THE COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT OF ADAMS COUNTY, COLORADO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ M., IN BOOK \_\_\_\_\_ OF LAND SURVEY PLATS AT PAGE \_\_\_\_\_, RECEPTION NO. \_\_\_\_\_

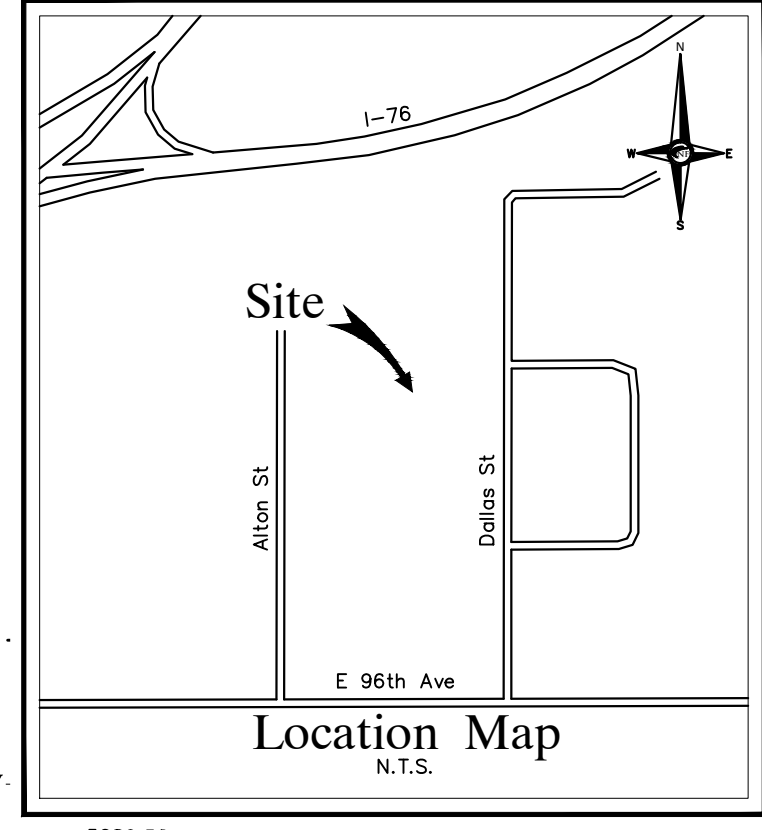
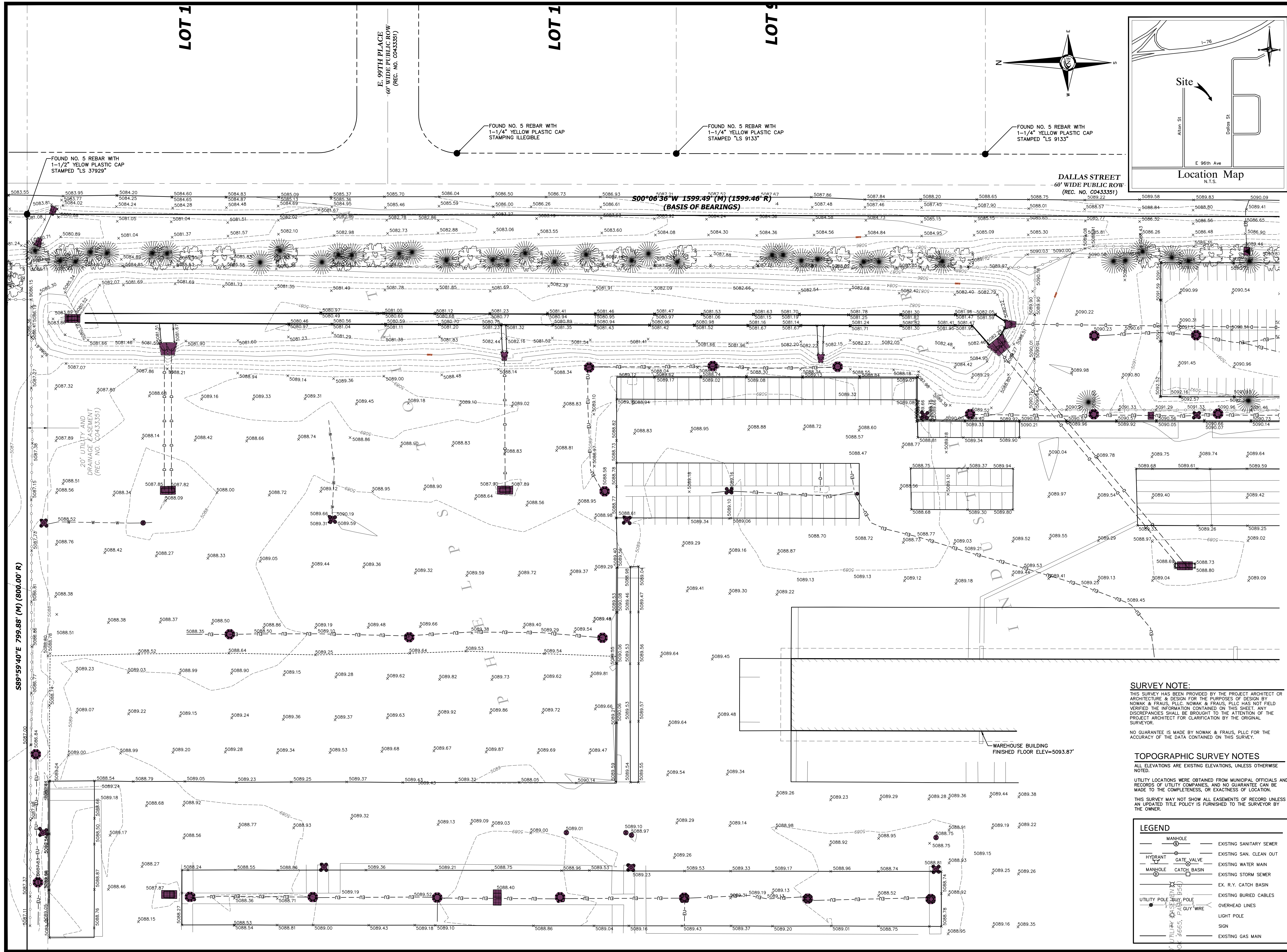
**SURVEYOR NOTE**

THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE PROPERTY BOUNDARY AS WELL AS GATHER LIMITED TOPOGRAPHY AND SITE FEATURES.

<b>R&amp;R ENGINEERS-SURVEYORS, INC.</b> 1635 W. 13TH AVENUE, SUITE 310 DENVER, COLORADO 80204 303-753-6730 www.rrengineers.com		<b>LAND SURVEY PLAT</b> With Partial Topography and Improvements LOT 3, PHELPS-TOINTON INDUSTRIAL PARK FILING NO. 2 (9801 Dallas St.) Located in the Southwest Quarter of Section 15, Township 2 South, Range 67 West of the 6th Principal Meridian City of Henderson, County of Adams, State of Colorado
<b>REVISIONS</b>		File: NF23080-LSP Orig. Issue Date: 6/28/2023 Drawn By: DD/MSP Checked By: KJK Project No: NF23080
Sheet 1 of 1		Sheet 1 of 1

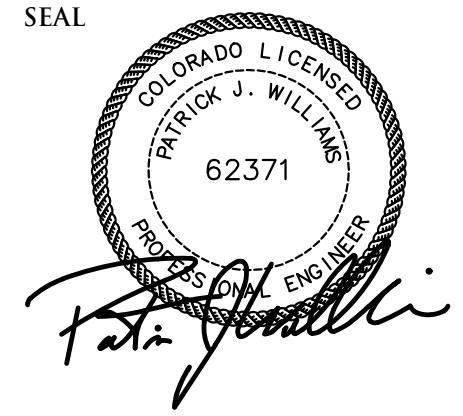
Jun 29, 2023 - E:\Main\Projects\by\_fms\legals\p\_1623080\_9801 Dallas Street\Survey - Legal\_Group\CAD Drawings\NF23080-LSP.dwg  
 P:\NF23080\_9801 Dallas Street\Survey - Legal\_Group\CAD Drawings\NF23080-LSP.dwg





**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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PROJECT  
**XPO LOGISTICS**

CLIENT  
 CR Architecture & Design  
 6001 Cass Avenue  
 Suite 03-120  
 Detroit, MI 48202  
 Tel: 513-721-8080  
 800-469-4949  
 Contact: William Carpenter

PROJECT LOCATION  
 Part of the NE 1/4 of SW 1/4  
 of Section 15, T.2S., R.67W.,  
 City of Commerce,  
 Adams County, CO

SHEET  
 Partial Boundary  
 Topographic Survey



DATE ISSUED/REVISED  
 07-25-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:  
 J. Lawrey

DESIGNED BY:  
 A. Eizember

APPROVED BY:  
 P. Williams

DATE:  
 July 25, 2023

SCALE: 1" = 40'

NFE JOB NO. SHEET NO.  
**N657 SP01**

**SURVEY NOTE:**  
 THIS SURVEY HAS BEEN PROVIDED BY THE PROJECT ARCHITECT OR ARCHITECTURE & DESIGN FOR THE PURPOSES OF DESIGN BY NOWAK & FRAUS, PLLC. NOWAK & FRAUS, PLLC HAS NOT FIELD VERIFIED THE INFORMATION CONTAINED ON THIS SHEET. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT FOR CLARIFICATION BY THE ORIGINAL SURVEYOR.

NO GUARANTEE IS MADE BY NOWAK & FRAUS, PLLC FOR THE ACCURACY OF THE DATA CONTAINED ON THIS SURVEY.

**TOPOGRAPHIC SURVEY NOTES**  
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

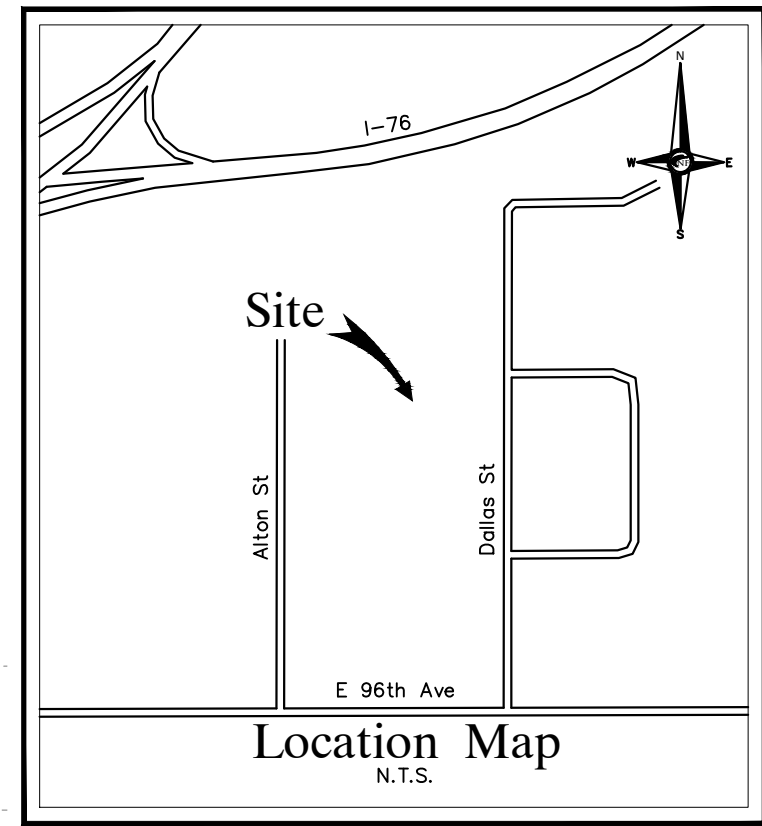
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**LEGEND**

	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN





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PROJECT LOCATION  
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 City of Commerce,  
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SHEET  
 Site Plan



DATE ISSUED/REVISED  
 07-25-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:  
 J. Lawrey  
 DESIGNED BY:  
 A. Eizember  
 APPROVED BY:  
 P. Williams  
 DATE:  
 July 25, 2023  
 SCALE: 1" = 40'  
 NFE JOB NO. SHEET NO.  
 N657 SP02

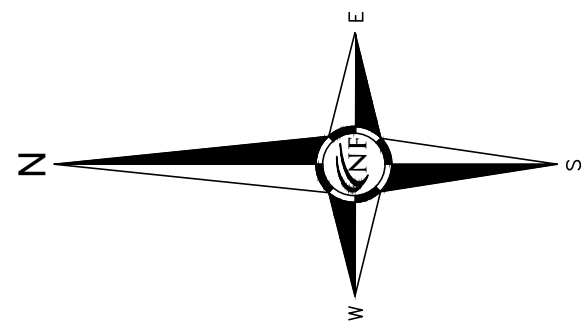
**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		GATE VALVE
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		





**LANDSCAPE REQUIREMENTS**

EXISTING SITE AREA: 1.279,037.74 S.F. OR 29.26 ACRES  
 LANDSCAPE OPEN SPACE  
 TOTAL LANDSCAPE AREA PROVIDED: 299,689.57 S.F. (23% OF SITE)

**IRRIGATION NOTE:**

IN LIEU OF INSTALLATION OF AN UNDERGROUND IRRIGATION SYSTEM, ALL TREES SHALL BE OUTHITTED WITH A 20 GAL. SELF WATERING TREE BAG, FOR A PERIOD OF TWO YEARS UNTIL TREES ARE ESTABLISHED.

**GROUND COVER KEY**

- 1 RESEED EXISTING LAWN AREAS W/ XERISCAPE LAWN MIX
- 2 4' DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 3 2-3" DEPTH WASHED PEA GRAVEL MULCH

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL/Common Name	SIZE	SPACING	ROOT	COMMENT
<b>TREES</b>						
CO	21	<i>Celtis occidentalis</i> 'Prairie Sentinel' Prairie Sentinel Hackberry	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
CE	11	<i>Cercis canadensis</i> Eastern Redbud	2' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
JC	27	<i>Juniperus chinensis</i> 'Spartan' Spartan Juniper	6' HT	SEE PLAN	B&B	FULL TO GROUND
PG	17	<i>Picea glauca</i> 'Denata' Black Hills Spruce	8' HT	SEE PLAN	B&B	FULL TO GROUND
<b>SHRUBS</b>						
CC	56	<i>Caragana x clandonensis</i> 'Blue Mist' Blue Mist Bluebeard	5 GAL	5' OC	CONT	
PF	44	<i>Potentilla fruticosa</i> 'Abbotswood' Abbotswood Cinquefoil	5 GAL	5' OC	CONT	



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SEAL

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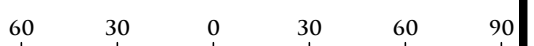
SHEET  
 Landscape Plan



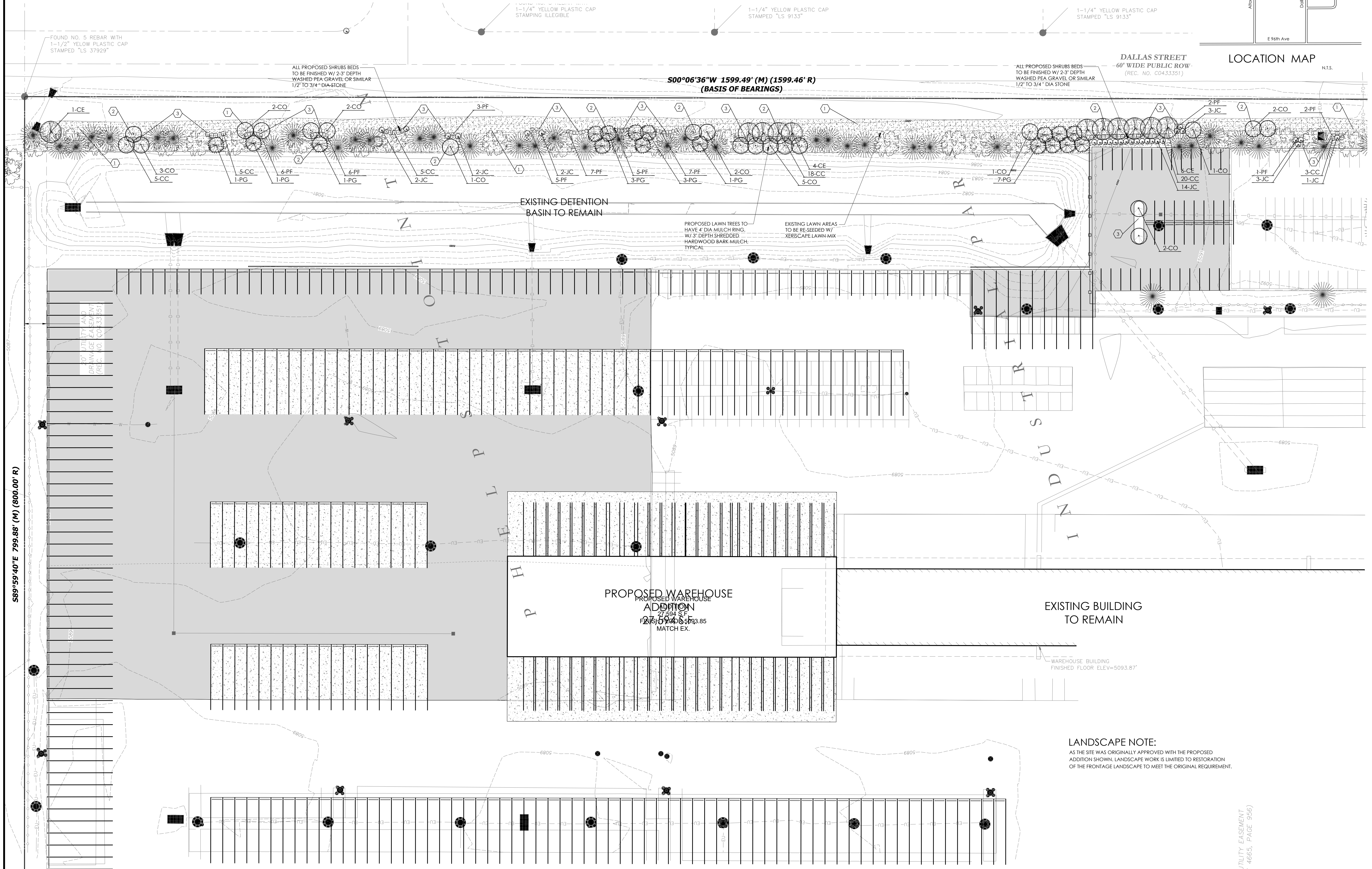
REVISIONS

DRAWN BY:  
**G. Ostrowski**  
 DESIGNED BY:  
**G. Ostrowski**  
 APPROVED BY:  
**G. Ostrowski**  
 DATE:  
**07-25-2023**

SCALE: 1" = 60'



NFE JOB NO. **N657** SHEET NO. **L1**



UTILITY EASEMENT  
 K 4665, PAGE 956)



