

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

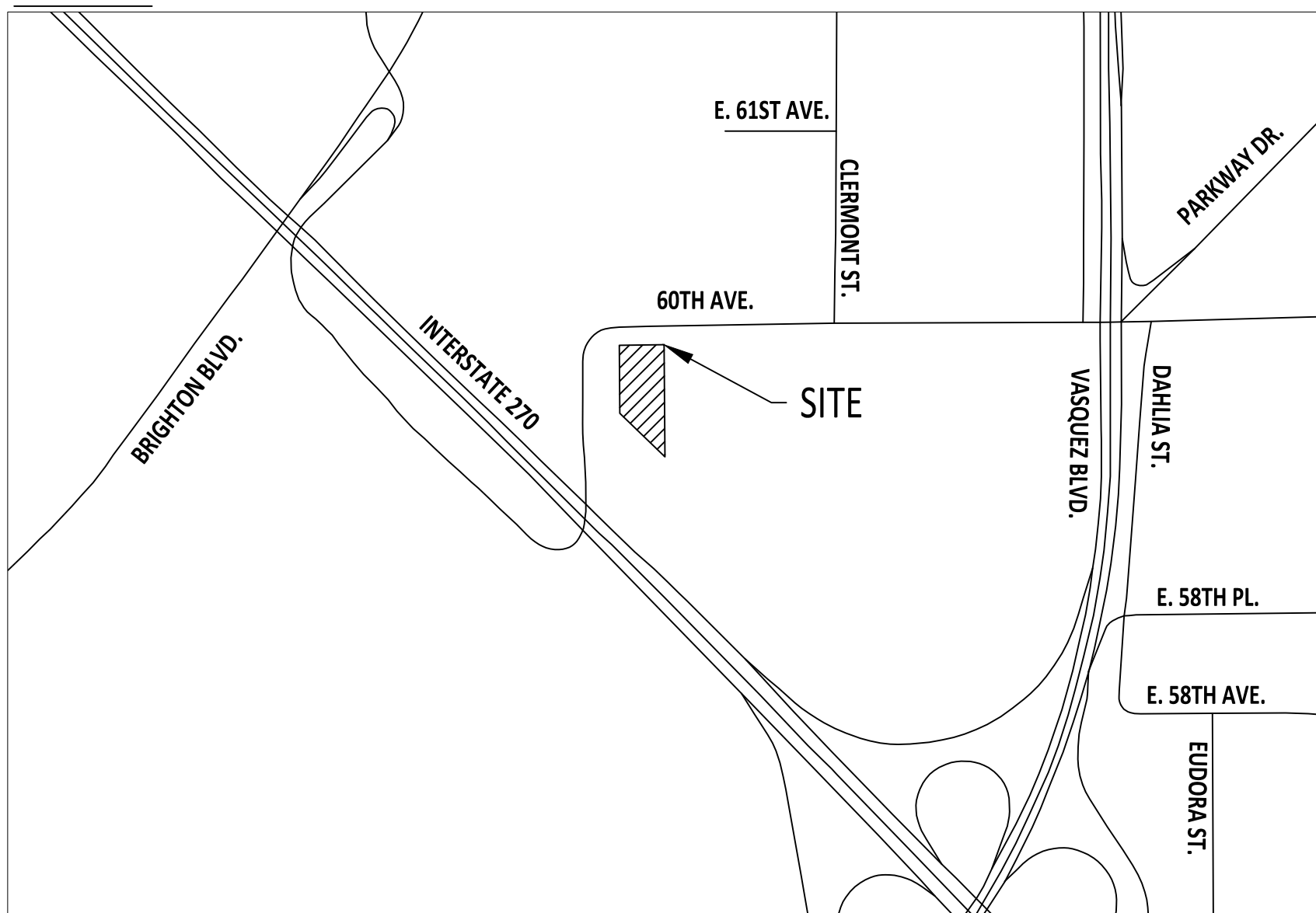
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



STANDARD STREET DESIGN NOTES:

- A CONSTRUCTION (STREET CUT) PERMIT FROM THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS IS REQUIRED PRIOR TO COMMENCING WORK WITHIN THE CITY RIGHT-OF-WAY.
- ANY WORK WITHIN STATE HIGHWAY RIGHT-OF-WAY WILL REQUIRE A CDOT CONSTRUCTION PERMIT IN ADDITION TO A CITY PERMIT.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION WITHIN THE RIGHT-OF-WAY AT TELEPHONE NUMBER (303) 289-8150.
- THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAG MEN, LIGHTS OR OTHER DEVICES NECESSARY FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE COLORADO SUPPLEMENT TO THE MUTCD. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT FOR WORK WITHIN CITY RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. CALL 1-800-922-1987 OR 811.
- CONSTRUCTION SPECIFICATIONS: CURRENT EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION HEREFTER REFERRED TO AS STANDARD SPECIFICATIONS. SPECIAL PROVISIONS AND REVISIONS THERETO AND THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- THE SUBGRADE MATERIAL SHALL BE SCARIFIED OR REMOVED TO A DEPTH REQUIRED BY THE CITY OF COMMERCE CITY ACCORDING TO INFORMATION OBTAINED FROM LABORATORY TESTS AND/OR AS REQUIRED IN THE PAVEMENT DESIGN REPORT. ADDITIVES OR APPROVED MATERIAL MAY BE REQUIRED IF THE NATIVE MATERIAL IS UNSATISFACTORY. THE SUBGRADE SHALL BE COMPACTED TO A MINIMUM DENSITY DETERMINED IN ACCORDANCE WITH AASHTO DESIGNATION T180 OR T99 AND IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 203.07 (1991 EDITION OR NEWER). SERVICE TRENCHES AND UTILITY MAIN TRENCHES SHALL BE COMPACTED THROUGHOUT THE DEPTH OF TRENCH AS SPECIFIED IN ABOVE NOTE. EXACT EXTENT OF NEW PAVEMENT TO BE INSTALLED FOR A STREET CUT PATCH SHALL BE DETERMINED BY THE CITY CONSTRUCTION INSPECTOR UPON COMPLETION OF ROADWAY EXCAVATION. NEW PAVEMENT SHALL CONFORM TO EXISTING SOUND STRUCTURAL SECTION.
- CLASS 6 AGGREGATE BASE COURSE FOR SHOULDERS SHALL BE PLACED AND COMPACTED TO 100% STANDARD PROCTOR AFTER PLACEMENT OF ASPHALT.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT CSS-1H TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES, INCLUDING SAW CUTS, POTHOLES, TRENCHES AND ASPHALT OVERLAY.
- STRUCTURAL SECTIONS SHALL BE AS APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS, WITH PAVEMENT DESIGN IN ACCORDANCE WITH THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- CONCRETE MAY BE PLACED BY MACHINE METHODS PROVIDED THAT ALL FINISH LINES ARE WITHIN 1/8" ± TOLERANCE OF THE LINES SHOWN ON THE PLANS. THE FLOWLINE MUST BE FREE DRAINING.
- ONE HALF (1/2) INCH EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHEN ABUTTING ANY EXISTING CONCRETE OR A FIXED STRUCTURE.
- SIDEWALKS AND DRIVEWAYS SHALL HAVE THE NAME OF THE CONTRACTOR AND THE YEAR OF CONSTRUCTION IMPRESSED THEREIN USING LOCK LETTERS NOT LESS THAN (1) INCH HIGH AND THREE-EIGHTHS (3/8) INCH DEEP IN EACH DRIVEWAY AND EACH END OF CONSTRUCTION, OR A MINIMUM OF EVERY 150 LINEAL FEET OF SIDEWALK.
- A REFLECTIVE CITY OF COMMERCE CITY LOGO SHALL BE ADDED TO EACH STREET SIGN. STREET NAME SIGN PLATES SHALL BE PROVIDED AND INSTALLED BY THE DEVELOPER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. COORDINATE WITH CITY OF COMMERCE CITY TRAFFIC ENGINEERING AT (303) 289-8170.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK BY THE CITY AND SHALL REPAIR OR REPLACE ANY OR ALL SUCH WORK, TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN SO DOING, THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN THE ONE YEAR PERIOD FROM DATE OF ACCEPTANCE WITHOUT EXPENSE WHATSOEVER TO THE CITY, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT EXCEPTED. PRIOR TO INITIAL ACCEPTANCE OF PUBLIC IMPROVEMENTS, THE CITY MAY REQUIRE THE APPLICANT OR HIS CONTRACTOR TO FILE A MAINTENANCE BOND WITH THE CITY IN THE AMOUNT OF FIFTEEN (15) PERCENT OF THE ESTIMATED COST OF CONSTRUCTION OR AN AMOUNT ADEQUATE TO ENSURE THE SATISFACTORY MAINTENANCE AND CONDITION OF THE REQUIRED PUBLIC IMPROVEMENTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF THEIR FINAL ACCEPTANCE AND DEDICATION TO THE CITY.
- NO PORTION OF ANY STREET SHALL BE PAVED WITH THE FINAL LIFT OF ASPHALT UNTIL ALL UTILITIES HAVE BEEN RELOCATED, INSTALLED OR STUBBED TO THE BACK OF SIDEWALK AND ALL STREET LIGHTS RELOCATED AS NECESSARY.
- ANGLE POINTS IN THE CURB AND GUTTER AND ALL POINTS OF GRADE CHANGE NOT WITHIN A VERTICAL CURVE SHALL BE ROUNDED IN THE FIELD TO PRODUCE A SMOOTH GRADUAL CURVE FOR PROPER APPEARANCE.
- SURVEY MONUMENTS. THE STANDARD SURVEY MONUMENT SHOWN IN DESIGN STANDARD DETAIL NO. 300-22 WILL BE INSTALLED AT ALL STREET CENTERLINE INTERSECTIONS, THE CENTER OF RADIUS FOR CUL-DE-SACS, AND AT THE END OF DEAD END STREETS. ALL MONUMENTS SHALL BE SET WITHIN SIXTY (60) DAYS OF COMPLETION OF THE STREETS. IF THIS IS NOT DONE, THE CITY WILL CONTRACT THE WORK TO A REGISTERED LAND SURVEYOR AND TAKE THE COLLATERAL TO THE AMOUNT OF COSTS PLUS ADMINISTRATION. SURVEY MONUMENTS FOR SUBDIVISION BOUNDARIES SHALL CONFORM TO REQUIREMENTS BY COLORADO STATE LAW.
- MYLAR COPIES OF "AS BUILT" PLANS SHALL BE SUBMITTED TO THE ENGINEERING DIVISION PRIOR TO INITIAL ACCEPTANCE OF IMPROVEMENTS.
- NO REVISIONS TO THESE PLANS SHALL BE MADE WITHOUT THE APPROVAL OF BOTH THE CITY ENGINEER AND THE DESIGN ENGINEER. ANY REVISIONS OR CHANGES THERETO SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY REQUESTS FOR INSPECTION.
- BENCHMARK. ALL ELEVATIONS SHOWN ON THESE PLANS FOR IMPROVEMENTS OR NOTED ELSEWHERE ARE REFERENCED TO THE BENCHMARK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENT OR BENCHMARK WHICH IS DESTROYED OR DISTURBED. DAMAGED MONUMENT SHALL BE REESTABLISHED AND REPLACED BY A LICENSED LAND SURVEYOR AND A MONUMENT RECORD FILED AS REQUIRED.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF COMMERCE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE CITY OF COMMERCE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATIONS WITH THE APPROPRIATE UTILITY COMPANY.
- ADJUST RIM OF ALL CLEAN-OUTS, MANHOLES, VALVE COVERS AND SURVEY MONUMENT COVERS TO FINISH GRADE.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE WORK THROUGHOUT PERIOD OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER OF ANY PROBLEM IN CONFORMING TO THE APPROVED LINE AND GRADE FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE CONSTRUCTION INSPECTOR, PROPOSED ALTERATIONS TO THE APPROVED PLANS INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE CITY OF COMMERCE CITY FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- LOCATION OF UNDERGROUND UTILITIES WAS TAKEN FROM THE RECORDS OF THE CONTROLLING AGENCIES. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING IMPROVEMENTS, SIDEWALK, ALLEY OR UTILITY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, OR OTHER DAMAGE THAT MIGHT RESULT FROM THE WORK PRESCRIBED ON THIS PLAN. THE LOCAL AGENCY WILL HOLD THE CONTRACTOR RESPONSIBLE FOR CORRECTION OF DAMAGE TO ADJACENT PROPERTY, PUBLIC OR PRIVATE.

VICINITY MAP:



SHEET INDEX	
1	COVER SHEET
2	DEVELOPMENT PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	SITE DETAILS
6	ARCHITECTURAL FLOOR PLANS
7	EXTERIOR ELEVATIONS
8	SITE PHOTOMETRICS PLAN
9	SITE LUMINARIES
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN

GRADING & EROSION CONTROL NOTES:

- GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED DRAINAGE AND SITE PLAN.
- A WATER TRUCK SHALL BE KEPT ON-SITE TO CONTROL WIND EROSION AND DUST.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE PREPARED IMMEDIATELY BY THE CONTRACTOR.
- NO GRADING SHALL TAKE PLACE IN ANY DELINEATED FLOOD HAZARD AREA UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. UPON WRITTEN NOTICE BY THE CITY, FAILURE TO REMOVE THE MUD OR DEBRIS BY THE CONTRACTOR WITHIN 24 HOURS SHALL CAUSE THE CITY TO STOP ALL WORK UNTIL THE SITUATION IS RESOLVED.
- WHEN REQUIRED, A COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE), WATER QUALITY DIVISION, STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED AND A COPY SHALL BE SUBMITTED TO THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS.
- AREAS DISTURBED BY GRADING SHALL BE MULCHED AND RESEEDED WITH NATIVE VEGETATION OR AS APPROVED ON THE PLAN.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR SAFETY CONDITIONS ON AND ADJACENT TO THE SITE 24 HOURS A DAY, SEVEN DAYS A WEEK.
- CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. (811 OR 1-800-922-1987)
- THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY OF COMMERCE CITY PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY'S STORMWATER QUALITY CONTROL CRITERIA. THE CITY ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
- THE ADEQUACY OF THIS ESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE COMMERCE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE APPROVED PLANS.
- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN ACCORDANCE WITH THE CITY APPROVED PLANS.
- ANY VARIATION IN MATERIAL TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMP'S FROM THE CITY APPROVED PLANS WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE CITY OF COMMERCE CITY ENGINEERING DIVISION.
- AFTER THE ESC PLAN HAS BEEN APPROVED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMP'S INDICATED ON THE ACCEPTED ESC PLAN.
- THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
- AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMP'S, THE PERMITTEE SHALL CALL THE PUBLIC WORKS AT 303-289-8150 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME. NO CONSTRUCTION ACTIVITIES SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING.
- THE ESC MANAGER SHALL BE CERTIFIED IN STORMWATER MANAGEMENT AND EROSION CONTROL AND DOCUMENTATION SHALL BE PROVIDED TO THE CITY.
- THE OWNER OR OWNER'S REPRESENTATIVE, THE ESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE INSTALLATION OF THE INITIAL BMP'S ARE NOT APPROVED BY THE CITY ESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE START OF CONSTRUCTION. THE CITY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
- CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY ESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMP'S AND THE GRADING PERMIT IS OBTAINED FROM PUBLIC WORKS.
- THE ESC MANAGER SHALL STRICTLY ADHERE TO THE APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF COMMERCE CITY ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- A COPY OF THE GRADING PERMIT AND APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
- THE ESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GRADING PERMIT. THE ESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER.
- THE ESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS. PAVED AREAS, INCLUDING STREETS, ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE CITY'S ESC INSPECTOR. STREET WASHING IS NOT ALLOWED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS.
- THE APPROVED PLANS MAY REQUIRE CHANGES OR ALTERATIONS AFTER APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICIENCIES IN DESIGN OR INSTALLATION. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE CITY APPROVED ACCESS POINTS. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINTS ON THE ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE COMMERCE CITY ENGINEERING DIVISION.
- THE ESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND COMMERCE CITY ENGINEERING DIVISION FOR ANY PROPOSED CHANGES.
- NO PERMANENT EARTH SLOPES GREATER THAN 3:1 SHALL BE ALLOWED.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE ESC MANAGER. THE ESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY, IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. NO STOCKPILES SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE COMMERCE CITY ENGINEERING DIVISION.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE CDPHE PER CRS 25-8-601, AND COMMERCE CITY. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 118) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER, SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT AS WELL AS THE CDPHE. SPILLS THAT POSE AN IMMEDIATE RISK TO HUMAN LIFE SHALL BE REPORTED TO 911. FAILURE TO REPORT AND CLEAN UP ANY SPILL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER.
- THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED AT AN APPROPRIATE LOCATION.
- COMMERCE CITY DOES NOT ALLOW HAY BALES AS A FORM OF EROSION AND SEDIMENT CONTROL.
- ONCE THE SITE HAS REACHED FINAL STABILIZATION, A FINAL INSPECTION SHALL BE SCHEDULED WITH THE CITY'S ESC INSPECTOR. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED AND/OR THE GRADING BOND WILL NOT BE RELEASED UNTIL THE CITY'S ESC INSPECTOR APPROVES FINAL STABILIZATION.

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

ENGINEERS STATEMENT:

THESE IMPROVEMENT PLANS FOR CARBAJAL AUTO DEALERSHIP DEVELOPMENT PLANS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE CITY OF COMMERCE CITY ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE CITY OF COMMERCE CITY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA.

ERIC T. BURTZLAFF
REGISTERED PROFESSIONAL ENGINEER
COLORADO NO. 50651 _____ DATE _____

PROJECT STATISTICS TABLE	
SITE AREA	ACRES
GROSS SITE AREA	1.04
NET SITE AREA	1.04
NET LANDSCAPE AREA	0.17
BUILDING SQUARE FOOTAGE	SQUARE FEET
EXISTING OFFICE/SERVICE BAYS	3,553
PROPOSED BUILDING EXPANSION	7,140
LOT COVERAGE	PROVIDED
STRUCTURE LOT COVERAGE	24%
BAYS	
TOTAL VEHICLE BAYS	8
PARKING	
REQUIRED PARKING SPACES	
3 SPACES / BAY	24
TOTAL	24
PROVIDED PARKING SPACES	24
BUILDING USE	
TYPE OF BUILDING	MAJOR VEHICLE/EQUIPMENT REPAIR
TYPE OF OCCUPANCY	B, S1
ZONING	
CURRENT ZONING	I-3
REQUESTED ZONING	I-3

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

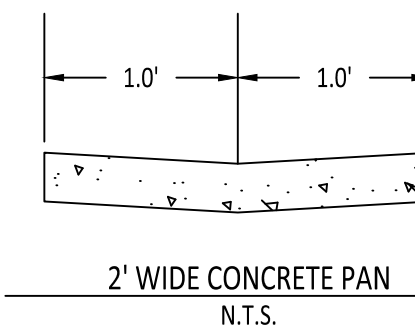
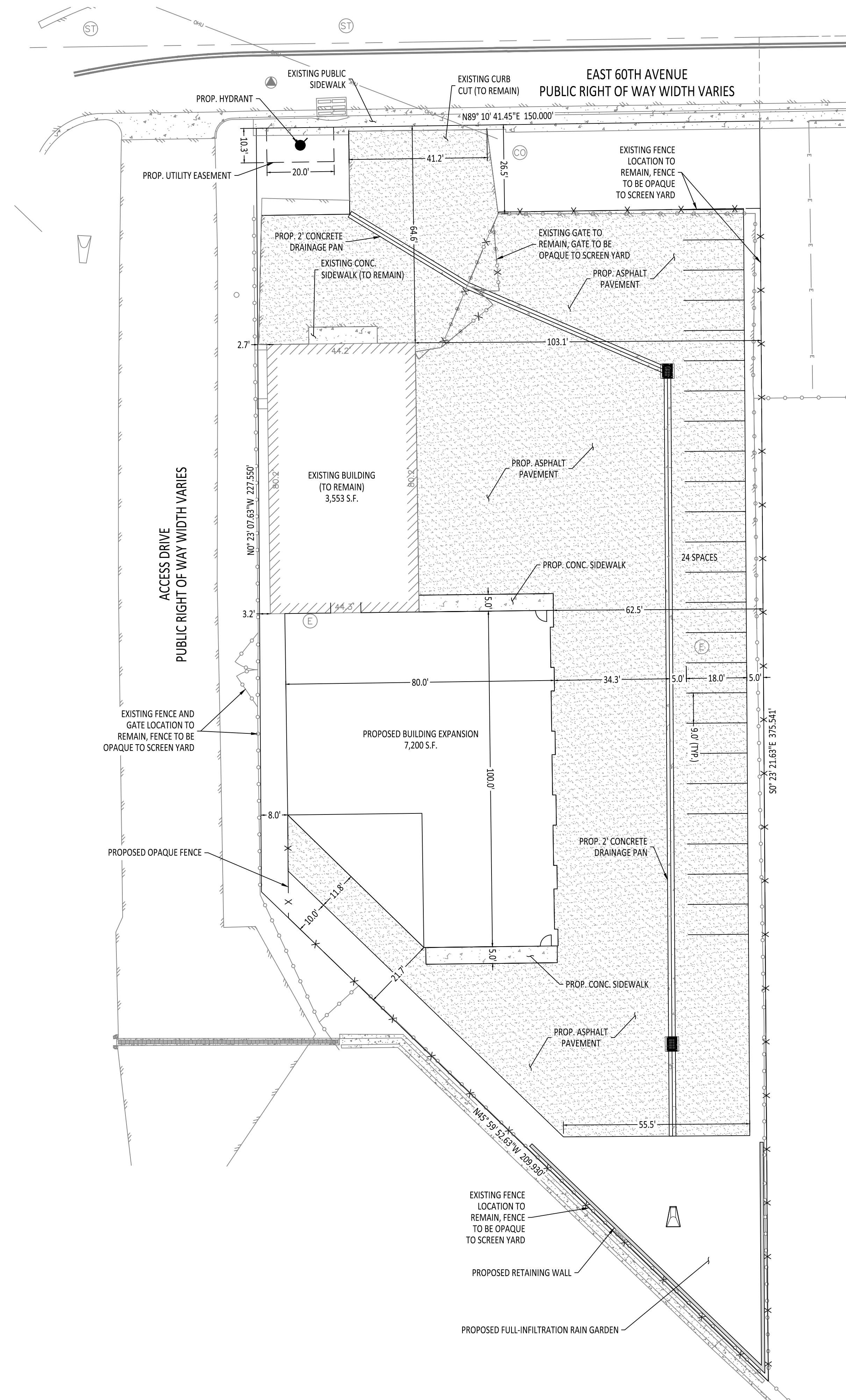
COVER SHEET

1

SHEET 1 OF 11

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



LIGHTING NOTE:
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE:
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE:
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE:
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BE THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS. APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

FENCING NOTE:
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO CITY STANDARDS.

DOWNSPOUT NOTE:
NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICANS WITH DISABILITIES NOTE:
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH TALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

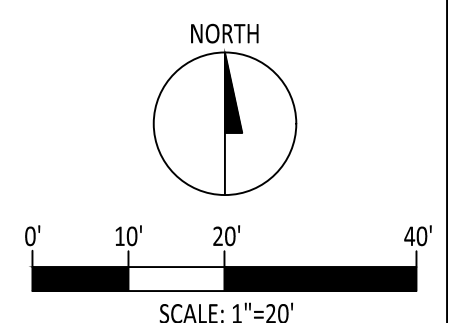
CONSTRUCTION NOTE:
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BE THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

FIRE LANES:
CURBS OUTSIDE OF PARKING SPACES ARE TO BE PAINTED RED TO INDICATE FIRE LANE.

CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT



LEGEND:

	PROPERTY LINE
	ROW DEDICATION
	ADA ROUTE
	CONCRETE
	ASPHALT
	RETAINING WALL
	FENCE
	DOWNSPOUT

4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

DEVELOPMENT PLAN

2

SHEET 2 OF 11

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

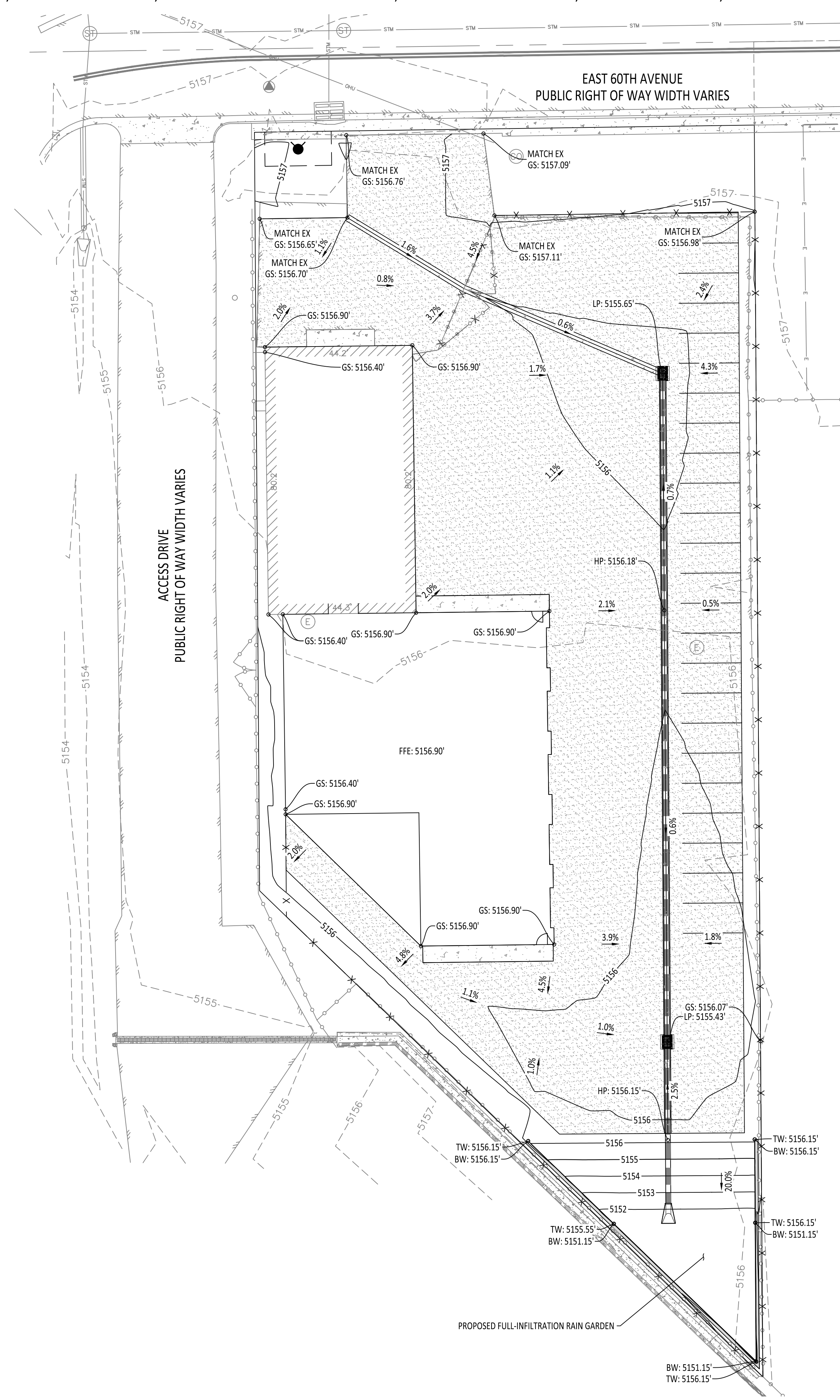
23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

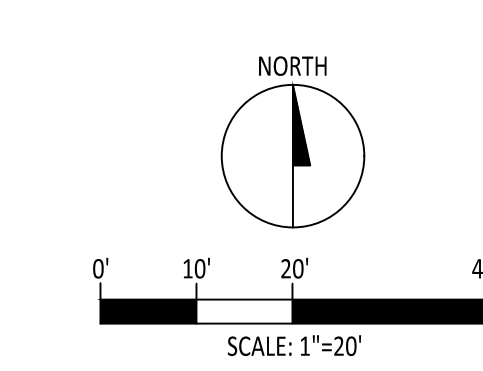
GRADING PLAN
3
SHEET 3 OF 11



- GRADING NOTES:**
- 1) CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION. IF IT IS DETERMINED IN THE FIELD THAT POSITIVE DRAINAGE IS NOT POSSIBLE, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
 - 2) CONTRACTOR SHALL ENSURE FAMILIARITY WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR SURFACE DRAINAGE ON THE PROJECT. CONTRACTOR SHALL ENSURE 4" CLEARANCE FROM BOTTOM OF BUILDING FACADE TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL ENSURE 6" CLEARANCE FROM TOP OF SLAB TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. IF THESE CONDITIONS ARE NOT POSSIBLE IN FIELD, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
 - 3) DOWNSPOUT DISCHARGE SHALL NOT BE ROUTED TOWARD ADJACENT PROPERTIES. ADDITIONALLY, DOWNSPOUTS SHALL BE ROUTED AWAY FROM SIDEWALKS WHENEVER POSSIBLE TO AVOID ICING AND PEDESTRIAN RISK.
 - 4) ALL CONCENTRATED FLOWS SHALL BE RELEASED NO CLOSER THAN 10' TO FRONT PROPERTY LINE AND 3' TO SIDE PROPERTY LINES. ALL FLOWS SHALL BE ROUTED AWAY FROM ADJACENT PROPERTIES.
 - 5) ALL CURBS SHOWN HEREON ARE ASSUMED TO BE 6" VERTICAL CURB UNLESS OTHERWISE NOTED. ALL ADA RAMPS SHOWN HEREON ARE ASSUMED TO BE 12:1 SLOPE UNLESS OTHERWISE NOTED.
 - 6) CONTRACTOR SHALL REFER TO ALL STRUCTURAL DRAWINGS AND CIVIL ENGINEER DRAWINGS PRIOR TO CONSTRUCTION OF FOUNDATION. ANY DISCREPANCIES SHALL BE BROUGHT TO CIVIL ENGINEER'S ATTENTION IMMEDIATELY.
 - 7) MAXIMUM ADA CROSS-SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAILS. CONTRACTOR SHALL CONTACT ENGINEER IF ADA PATHES/ACCESS POINTS DO NOT MEET THESE CONDITIONS IN THE FIELD.

CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

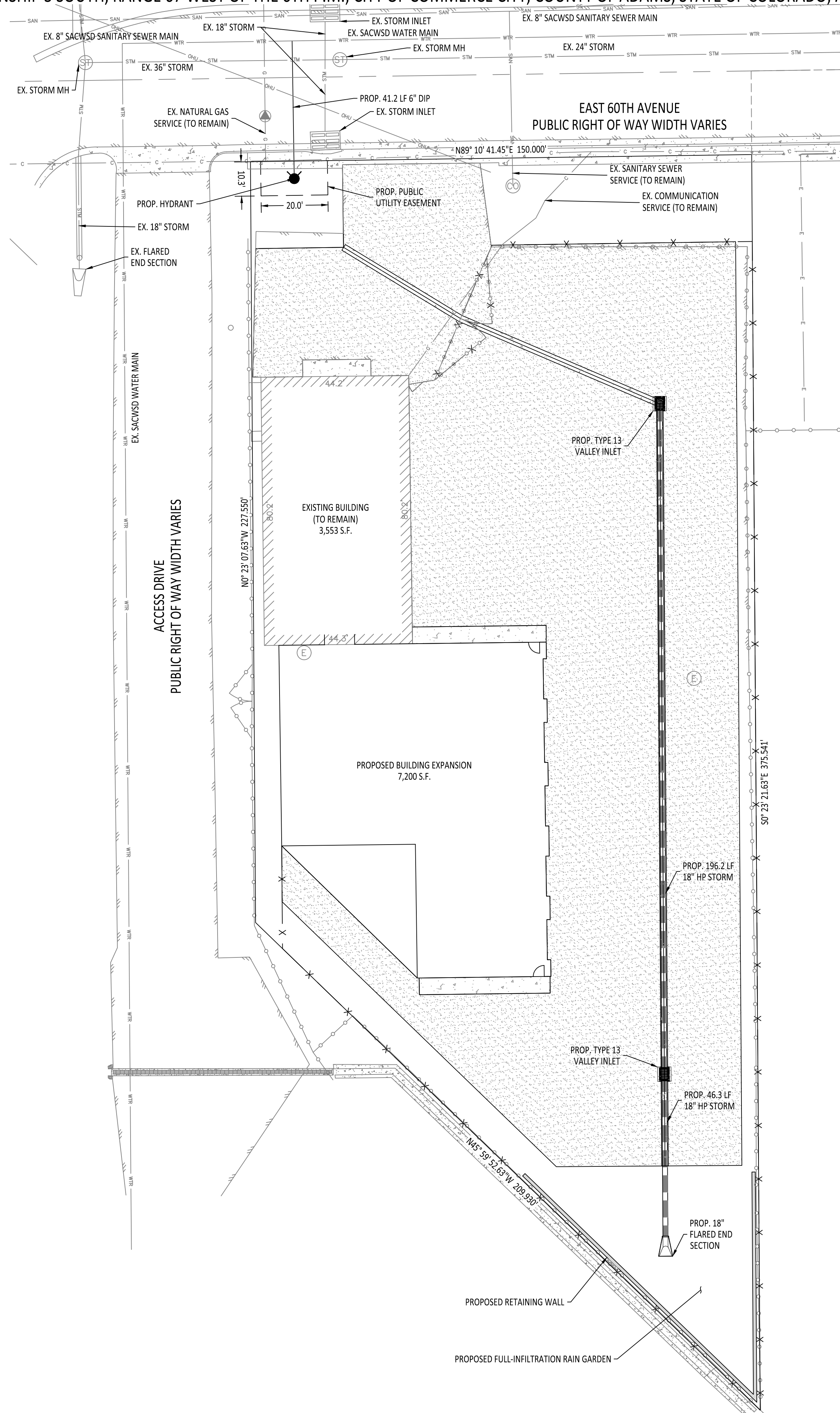


ABBREVIATION LIST:
FG: FINISHED GRADE
EG: EXISTING GRADE
FL: FLOWLINE
TC: TOP OF CURB
TW: TOP OF WALL
BW: BOTTOM OF WALL
GS: GROUND SHOT
TS: TOP OF STEP
BS: BOTTOM OF STEP
GB: GRADE BREAK
FFE: FINISHED FLOOR ELEVATION
HP: HIGH POINT
LP: LOW POINT

LEGEND:
- - - PROPERTY LINE
▨ ROW DEDICATION
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - SLOPE ARROW
○ FL: 78.00' SPOT ELEVATION
- - - RETAINING WALL

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

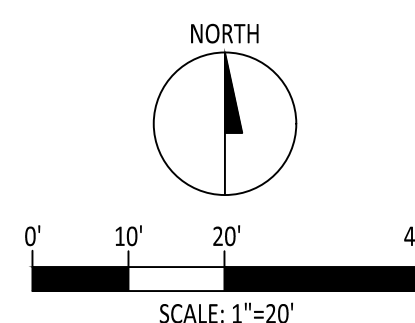
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



- UTILITY NOTES:**
- 1) ALL UTILITIES SHOWN HEREON ARE BASED UPON LAND SURVEY PROVIDED TO ENGINEER. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS BOTH HORIZONTAL AND VERTICAL IN THE FIELD. IF UTILITY CONFLICTS EXIST IN THE FIELD, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
 - 2) ALL DOMESTIC TAPS SHALL BE INSPECTED BY LOCAL WATER JURISDICTION AT TIME OF TAP. CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER FIELD INSPECTIONS ARE COMPLETED.
 - 3) CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE WITHIN GRAVITY PIPES. MINIMUM LONGITUDINAL SLOPE OF STORM PIPES IS 0.5%. MINIMUM LONGITUDINAL OF SANITARY SEWER PIPES IS 2% (4 INCH), 1% (6 INCH) AND 0.4% (8 INCH). RCE RECOMMENDS EXCEEDING THESE MINIMUMS WHEREVER POSSIBLE.
 - 4) ALL STORM MANHOLES SHALL HAVE 0.1' DROP MINIMUM UNLESS OTHERWISE NOTED ON THIS PLAN. ALL SANITARY MANHOLES SHALL HAVE 0.2' DROP MINIMUM UNLESS OTHERWISE NOTED ON THIS PLAN. CONTRACTOR SHALL CONTACT ENGINEER WITH ANY FIELD DISCREPANCIES.

CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20____.

DEPARTMENT OF COMMUNITY DEVELOPMENT



LEGEND:

---	PROPERTY LINE
- - - -	EASEMENT
▨	ASPHALT
▩	CONCRETE
—+—+—	STORM PIPE
○	WATER METER
●	FIRE HYDRANT

4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

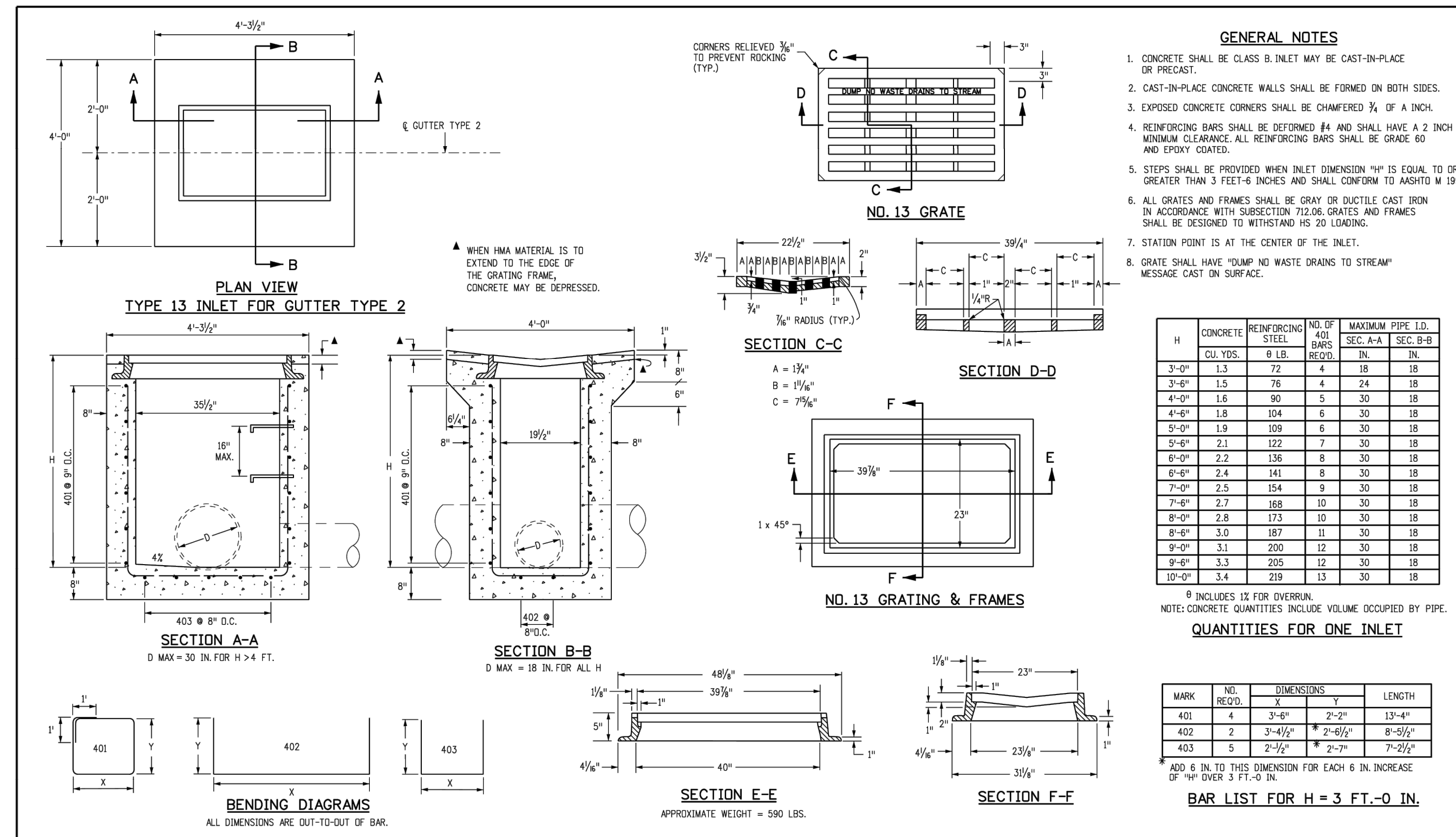
UTILITY PLAN
4
SHEET 4 OF 11

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

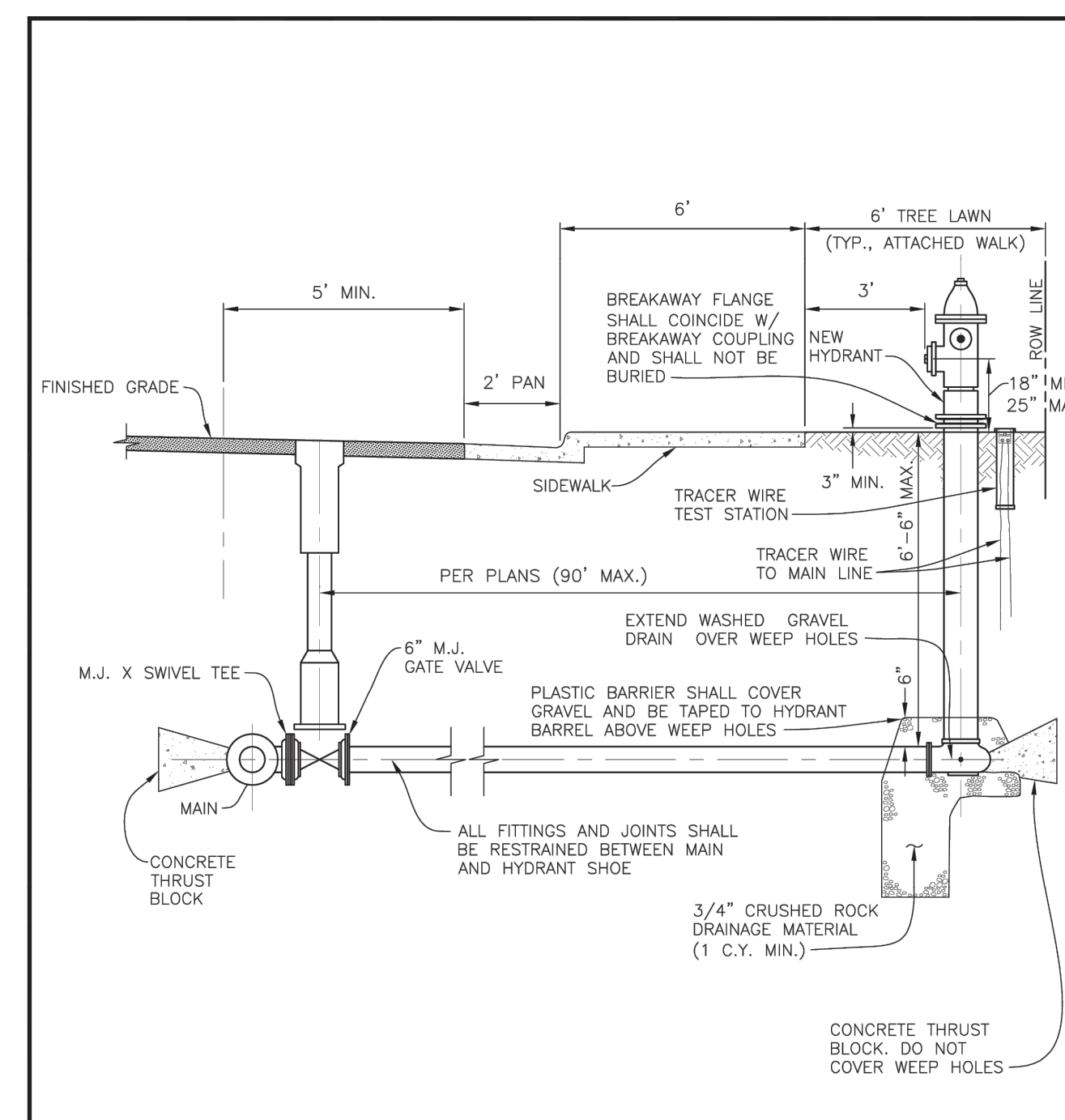
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



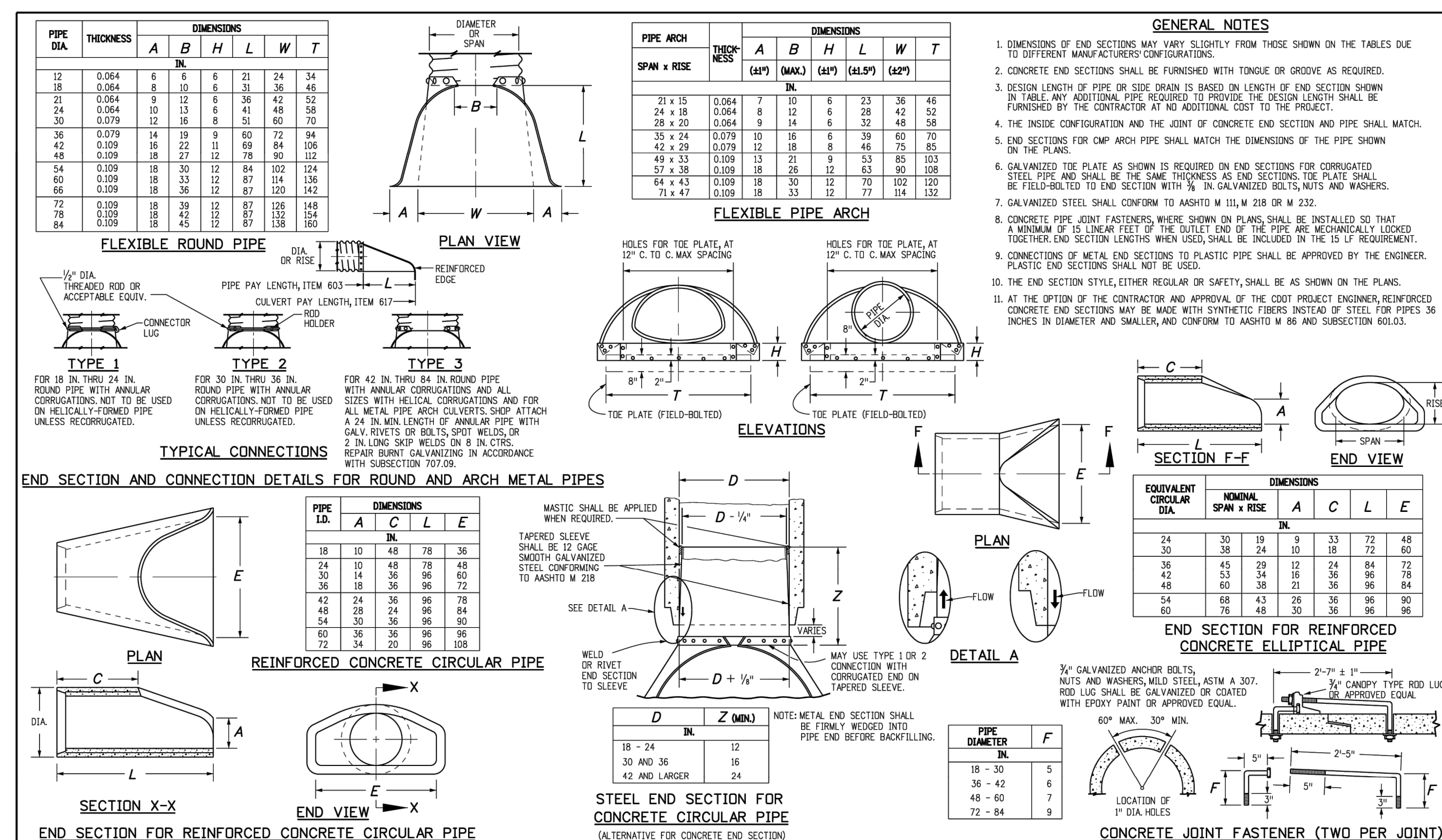
4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



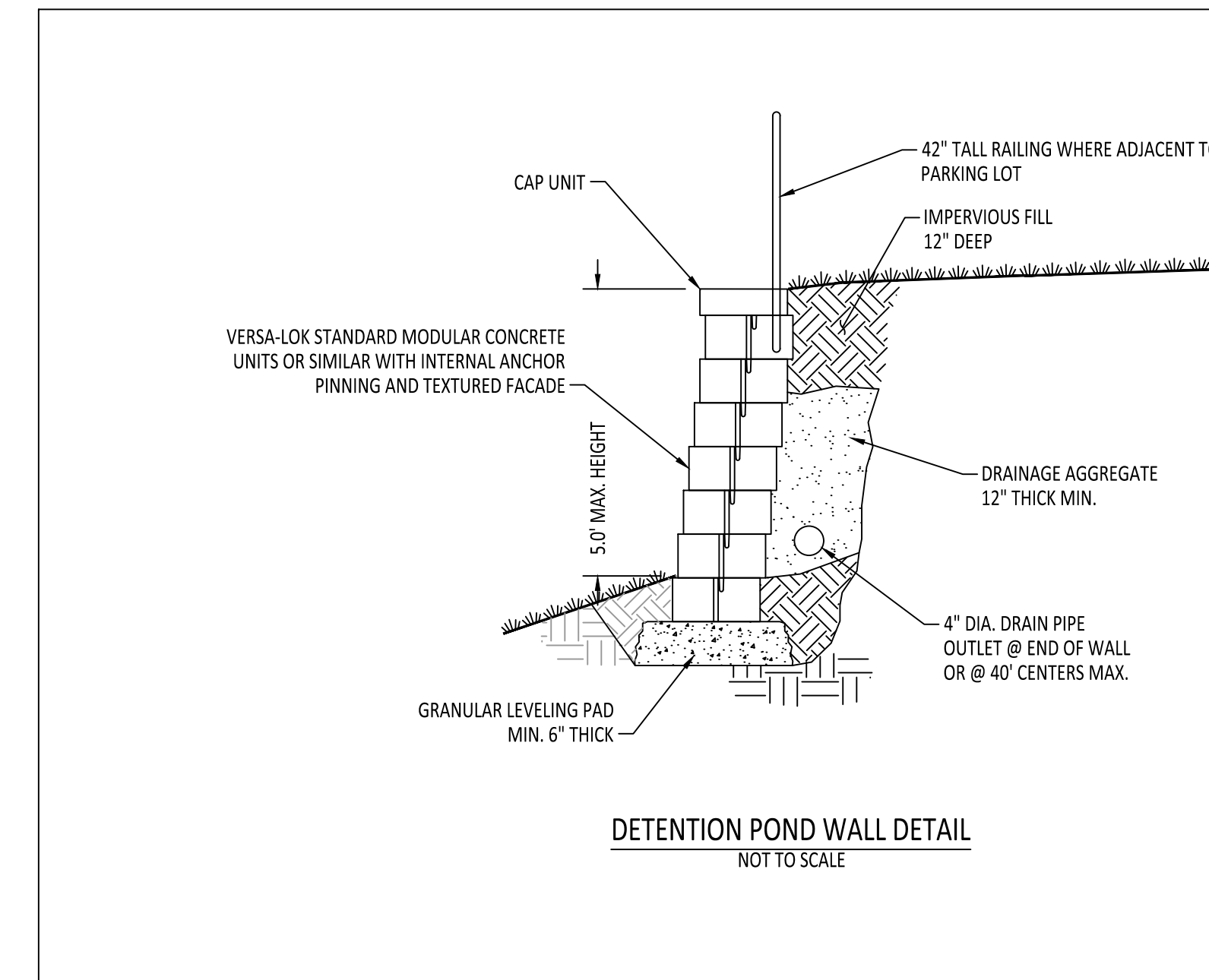
Computer File Information	Sheet Revisions	Colorado Department of Transportation	CONCRETE INLET TYPE 13	STANDARD PLAN NO.
Creation Date: 07/31/19		2829 West Howard Place CODOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	Issued by the Project Development Branch: July 31, 2019	M-604-13
Designer Initials: JBK		Project Development Branch		Standard Sheet No. 1 of 1
Last Modification Date: 07/31/19		JBK		
Detailer Initials: LTA				
CAD Ver.: MicroStation V8	Scale: Not to Scale			



REVISIONS:	SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT	WP-5
6/7/00		
2/1/01		
8/1/02		
7/13/11		



Computer File Information	Sheet Revisions	Colorado Department of Transportation	CONCRETE AND METAL END SECTIONS	STANDARD PLAN NO.
Creation Date: 07/31/19		2829 West Howard Place CODOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	Issued by the Project Development Branch: July 31, 2019	M-603-10
Designer Initials: JBK		Project Development Branch		Standard Sheet No. 1 of 1
Last Modification Date: 07/31/19		JBK		
Detailer Initials: LTA				
CAD Ver.: MicroStation V8	Scale: Not to Scale			



23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

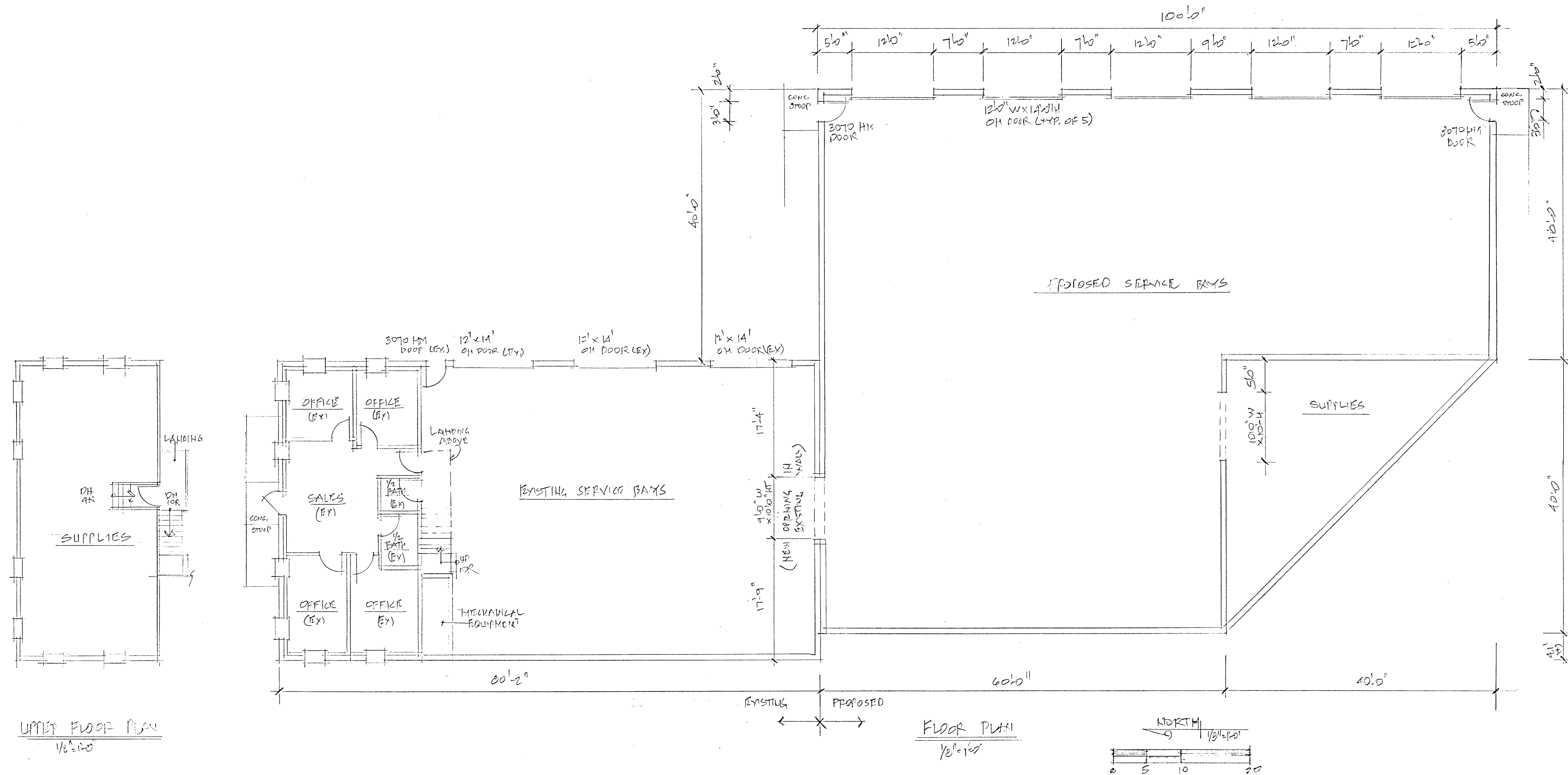
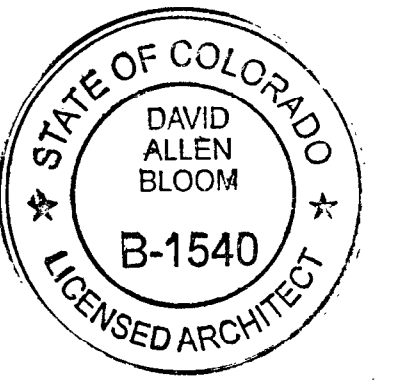
SITE DETAILS
5
SHEET 5 OF 11

ELLIOTT ENGINEERING ARCHITECTURAL FLOOR PLAN

LOCATED IN THE SOUTHWEST ¼ OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF
THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
ADDRESS: 4400 E. 60TH AVE., COMMERCE CITY, CO.

David
Allen
Bloom

Digitally signed
by David Allen
Bloom
Date: 2023.08.03
20:42:41 -06'00'



REVISIONS
7/31/23

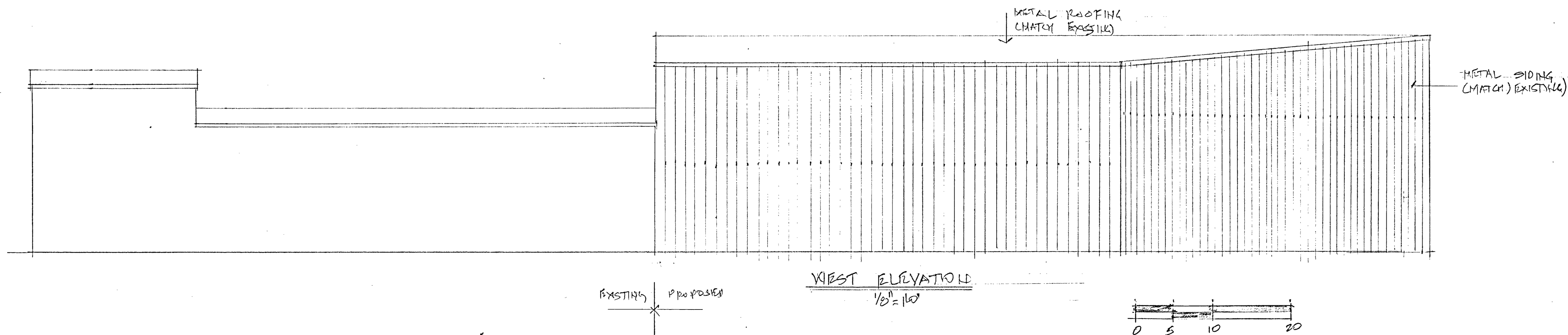
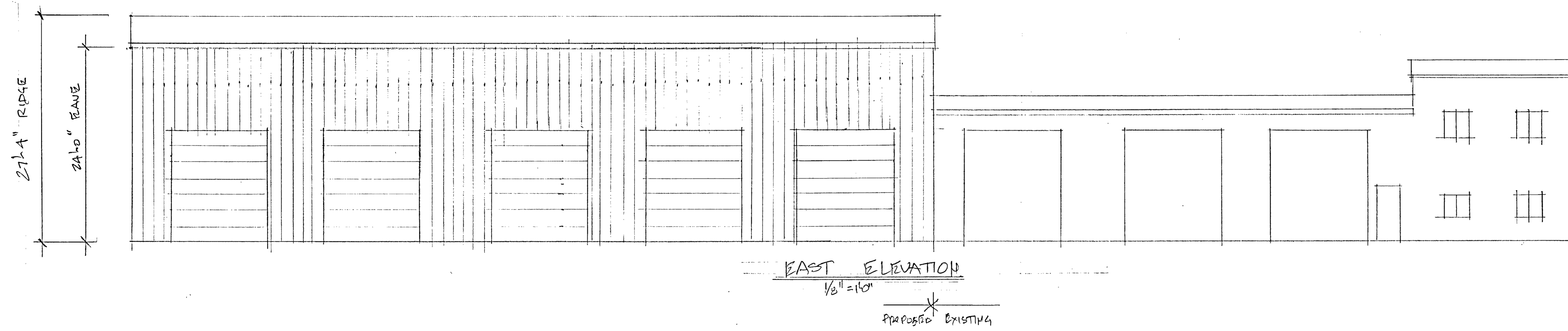
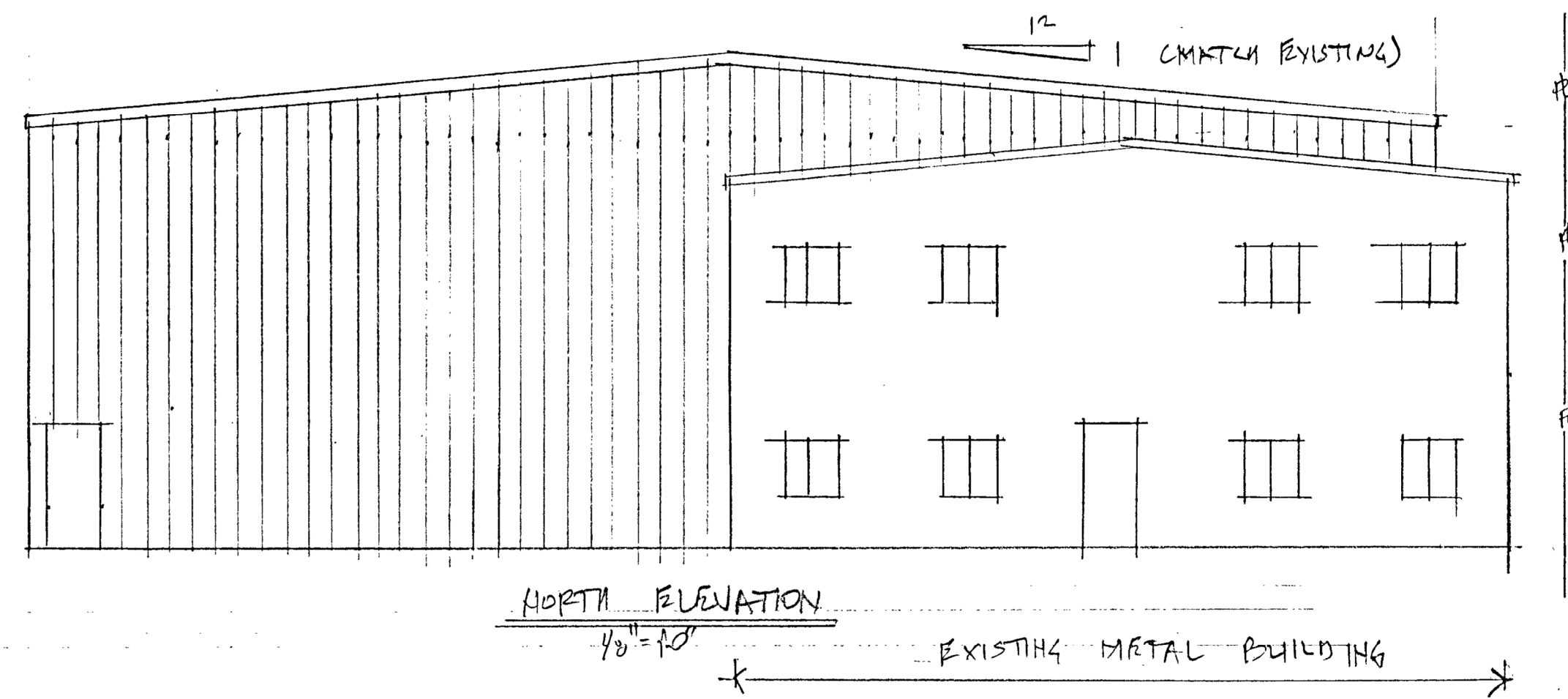
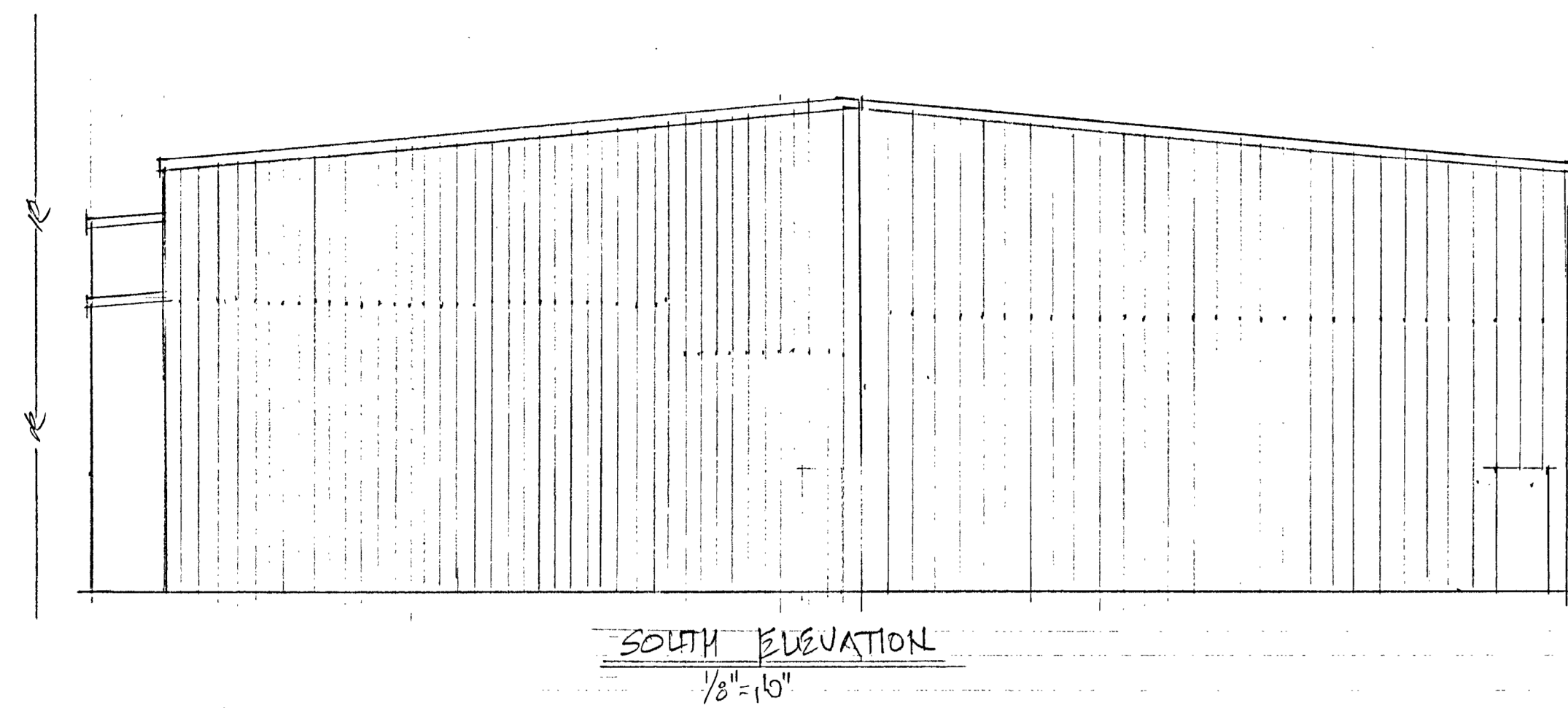
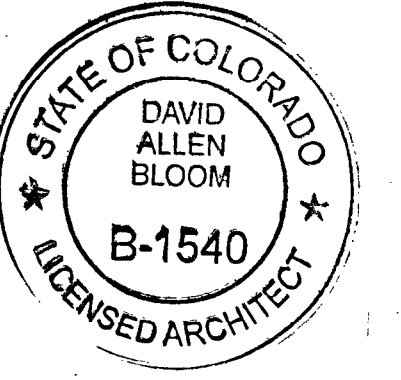
ELLIOTT ENGINEERING

EXTERIOR ELEVATIONS

LOCATED IN THE SOUTHWEST ¼ OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF
THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
ADDRESS: 4400 E. 60TH AVE., COMMERCE CITY, CO.

David
Allen
Bloom

Digitally signed
by David Allen
Bloom
Date: 2023.08.03
20:43:37 -06'00'



REVISIONS
7/21/23

4400 EAST 60TH AVENUE DEVELOPMENT PLANS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

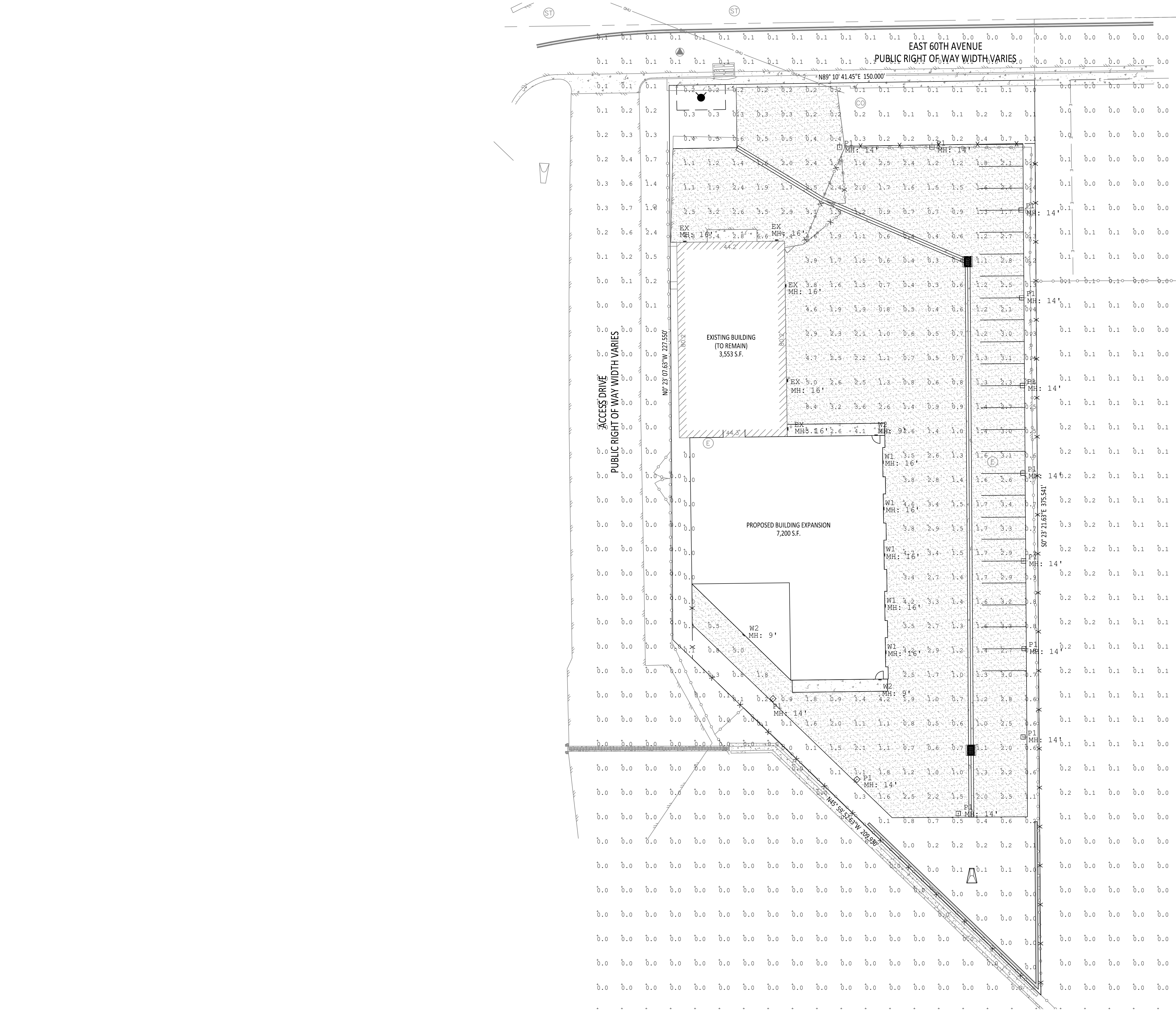
23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

**SITE PHOTOMETRICS
PLAN
8**
SHEET 8 OF 11



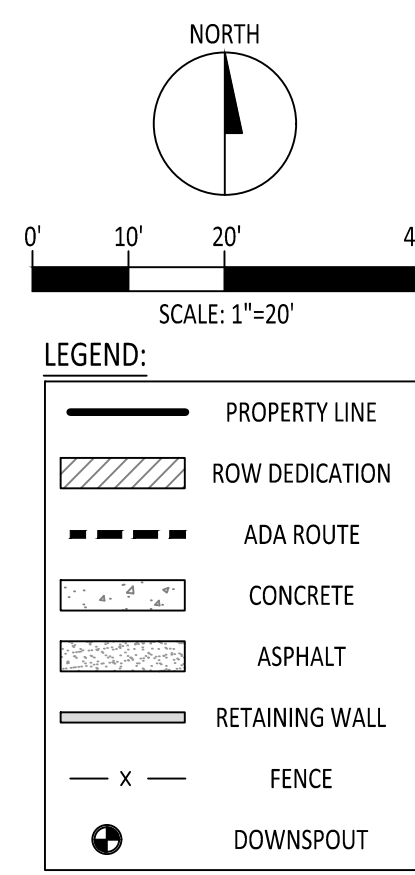
Symbol	Qty	Tag	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts
□	5	EX	Single	MPWP-GL-250-XX	0.600*	11569	250
□	12	P1	Single	LDRV-SL2-E01-E-HSS	1.000	1779	24.7
□	5	W1	Single	LDRP-GL-4B-ED-7040	1.000	4160	31.9
□	3	W2	Single	XTOR1B-W	1.000	1397	12.2

* EXISTING FIXTURE'S EXACT PART NUMBER AND LUMENS ARE NOT AVAILABLE, SO PHOTOMETRICS WERE RUN WITH A TYPICAL OPEN GLASS METAL HALIDE WALL PACK BASED ON IMAGES OF WHAT IS INSTALLED. LLF REFLECTS FIXTURE @ 60% OF INITIAL OUTPUT DUE TO LIGHT LUMEN DEPRECIATION AND DIRT/ENVIRONMENTAL IMPACT.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.43	8.4*	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.25	5.9	0.0	N.A.	N.A.
BEYOND PROPERTY LINE	Illuminance	Fc	0.05	2.4**	0.0	N.A.	N.A.

* EXCEEDS 8.0 FC MAXIMUM WITHIN THE SITE FROM EXISTING FIXTURES. NEW FIXTURES DO NOT CONTRIBUTE AND ARE WITHIN THE ALLOWANCE.
** EXCEEDS 2.0 FC MAXIMUM BEYOND PROPERTY LINE FROM EXISTING FIXTURES. NEW FIXTURES DO NOT CONTRIBUTE AND ARE WITHIN THE ALLOWANCE.

- LIGHTING NOTE:**
- ANY PROPOSED LIGHTING FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE. DISABILITY GLARE IS WHEN VARIANCES IN THE BRIGHTNESS OF THE BACKGROUND AGAINST WHICH AN OBJECT IS VIEWED IMPAIRS THE EYE'S ABILITY TO SEE THAT OBJECT, I.E. STRAY LIGHT FROM A SECURITY LIGHT ON PRIVATE PROPERTY COULD REACH A DRIVER'S EYE AND CHANGE THE VISUAL BACKGROUND OF THE ROADWAY AHEAD AND ALTER THE DRIVER'S ABILITY TO SEE AN ONCOMING OBJECT.
 - ALL PROPOSED LED LUMINAIRES ARE DARK SKY COMPLIANT PER SECTION WITH THE EXCEPTION OF EXISTING LUMINAIRES.
 - MAXIMUM FOOTCANDLE IN PHOTOMETRICS IS BELOW ALLOWED MAXIMUM 8.0 FOOTCANDLES WITH THE EXCEPTION OF EXISTING LUMINAIRES.
 - PHOTOMETRIC GRID IS 10' X 10' FOR SITE.
 - LIGHTING CALCULATION SOFTWARE IS FOR ESTIMATING PURPOSES ONLY, NOT GENERATED EXACT VALUES. REFLECTANCE OF PAVEMENT, LANDSCAPING AND ARCHITECTURAL CHARACTERISTICS MAY ALTER ACTUAL LIGHT LEVELS OBTAINED, AS WELL AS BORROWED LIGHT FROM SURROUNDING BUILT ENVIRONMENTS AND MOONLIGHT.



4400 EAST 60TH AVENUE DEVELOPMENT PLANS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.; CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO; ADDRESS: 4400 EAST 60TH AVENUE, COMMERCE CITY, CO, 80022



WWW.RAPTOR-CIVIL.COM
WORK@RAPTOR-CIVIL.COM
720-774-7736

4400 EAST 60TH AVENUE
DEVELOPMENT PLANS
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

23-18

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH
REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR
USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED
ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL
ENGINEERING.

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY

SITE LUMINAIRES

9

SHEET 9 OF 11

DESCRIPTION

The Lumark Wal-Pak wall luminaire provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, stainless steel hardware along with a sealed and gasketed optical compartment make the Wal-Pak virtually impervious to contaminants, IP66 Rated. Three available lamp sources including patented energy efficient LED, pulse start metal halide and high pressure sodium, UL/ULC wet location listed. The Wal-Pak wall luminaire is ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways and loading docks.

SPECIFICATION FEATURES

Housing
Rugged one-piece die-cast aluminum housing and hinged, removable die-cast aluminum door. One-piece silicone gasket seals the optical chamber, UL 1588 wet location listed and IP66 ingress protection rated.

Electrical
Ballasts, LED driver and related electrical components are hard mounted to the die-cast housing for optimal heat sinking and operating efficiency. Wiring is extended through a silicone gasket and full-cutoff BSEN compliant configurations. Patented, solid state LED luminaires are thermally optimized with three lamp packages. HID models are offered in horizontal medium or mogul-bulb metal halide (MH) or high pressure sodium (HPS) lamps.

Door Assembly
Single point, captive stainless steel hardware secures the removable hinged door for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-amping. Finish is five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Options to meet Buy American and other domestic preference requirements.

Efficiency Standards Notice
Select luminaires are manufactured to USA and California efficiency regulations.

TYPE EX Lumark

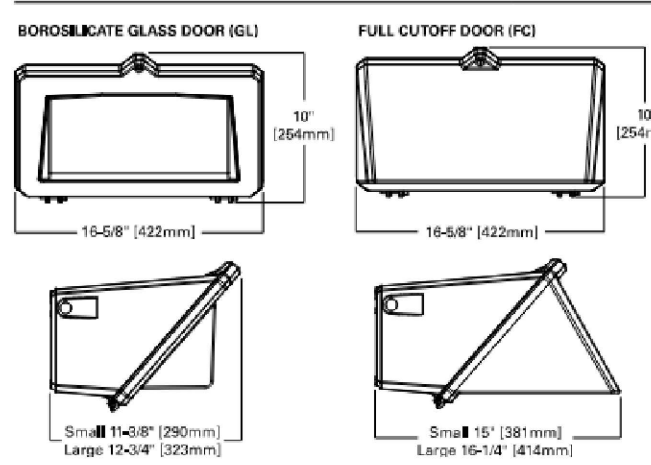
Catalog #	Type
Project	Date
Comments	
Prepared by	



WP WAL-PAK

27, 32 and 46W LED
250-400W Pulse Start Metal Halide
250-400W High Pressure Sodium

WALL MOUNT LUMINAIRE



Product Family	Lamp Type	Lamp Wattage	Door/Glass Type
WP-Wal-Pak	L-LED 1"	27-32W	(Black) Standard G-Full Cutoff Door
WP-Wal-Pak	P-Pulse Start Metal Halide	250-400W	
WP-Wal-Pak	H-High Pressure Sodium	250-400W	

COOPER Lighting Solutions

DESCRIPTION

The patented Lumark Crosstour™ Super Wall Pack Series of luminaires provides an architectural style with LED bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour luminaires ideal for wall/vertical, inverted mount for landscape illumination, postoffice, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks etc.

SPECIFICATION FEATURES

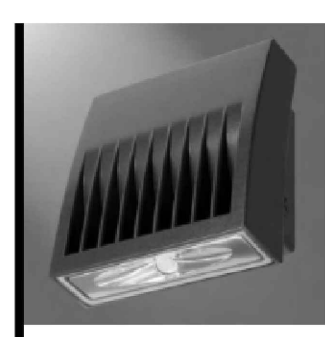
Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 36W model. Patented secure lock hinge feature allows for safe and easy toolless electrical connections with the supplied push-in connectors. Back box includes half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 2x4" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hinge gasket allows for adaptation to masonry box or wall. External fin design extracts heat from the fixture surfaces. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Electrical
Single-point, captive stainless steel hardware secures the removable hinged door for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-amping. Finish is five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Options to meet Buy American and other domestic preference requirements.

Warranty
Five-year warranty.

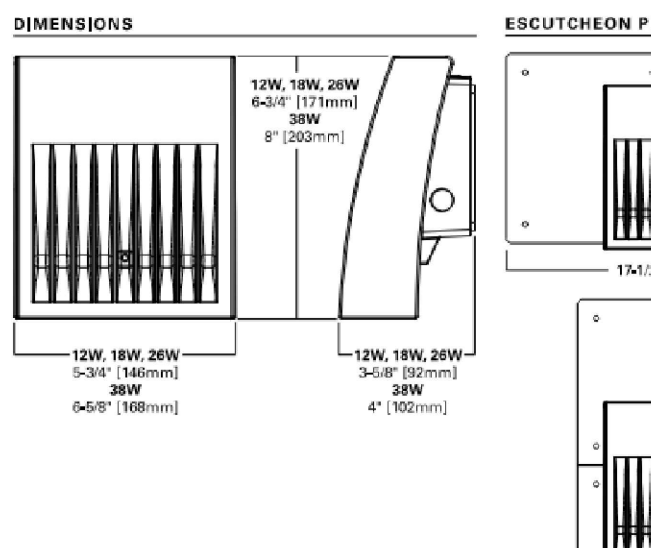
TYPE W2 Lumark

Catalog #	Type
Project	Date
Comments	
Prepared by	



XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / SILLAR
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING



Product Family	Lamp Type	Lamp Wattage	Door/Glass Type
XTOR-B	L-LED 1"	12W, 18W, 20W	
XTOR-B	P-Pulse Start Metal Halide	250-400W	
XTOR-B	H-High Pressure Sodium	250-400W	

COOPER Lighting Solutions

DESCRIPTION

The Lumark Wal-Pak wall luminaire provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, stainless steel hardware along with a sealed and gasketed optical compartment make the Wal-Pak virtually impervious to contaminants, IP66 Rated. Three available lamp sources including patented energy efficient LED, pulse start metal halide and high pressure sodium, UL/ULC wet location listed. The Wal-Pak wall luminaire is ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways and loading docks.

SPECIFICATION FEATURES

Housing
Rugged one-piece die-cast aluminum housing and hinged, removable die-cast aluminum door. One-piece silicone gasket seals the optical chamber, UL 1588 wet location listed and IP66 ingress protection rated.

Electrical
Ballasts, LED driver and related electrical components are hard mounted to the die-cast housing for optimal heat sinking and operating efficiency. Wiring is extended through a silicone gasket and full-cutoff BSEN compliant configurations. Patented, solid state LED luminaires are thermally optimized with three lamp packages. HID models are offered in horizontal medium or mogul-bulb metal halide (MH) or high pressure sodium (HPS) lamps.

Door Assembly
Single point, captive stainless steel hardware secures the removable hinged door allowing for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-amping. Finish is five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Options to meet Buy American and other domestic preference requirements.

Efficiency Standards Notice
Select luminaires are manufactured to USA and California efficiency regulations.

TYPE W1 Lumark

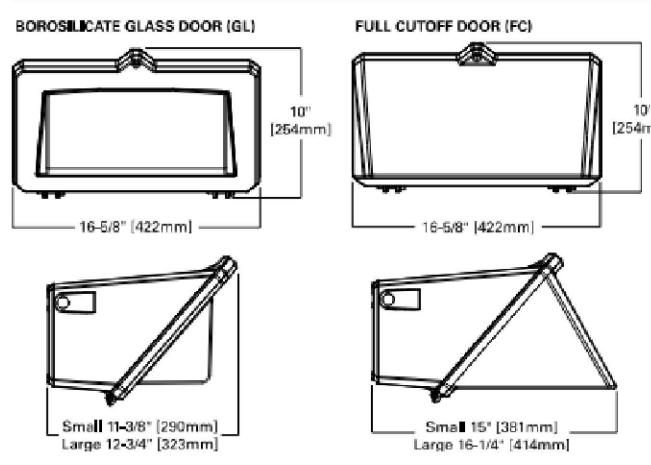
Catalog #	Type
Project	Date
Comments	
Prepared by	



WP WAL-PAK

27, 32 and 46W LED
250-400W Pulse Start Metal Halide
250-400W High Pressure Sodium

WALL MOUNT LUMINAIRE



Product Family	Lamp Type	Lamp Wattage	Door/Glass Type
WP-Wal-Pak	L-LED 1"	27-32W	(Black) Standard G-Full Cutoff Door
WP-Wal-Pak	P-Pulse Start Metal Halide	250-400W	
WP-Wal-Pak	H-High Pressure Sodium	250-400W	

COOPER Lighting Solutions

DESCRIPTION

The Ridgeview™ LED area luminaire is the compact, efficient, economical approach to LED area lighting. A pure blend of traditional form and LED technology, the Ridgeview luminaire provides functional, low-profile design with excellent operating performance. Patented modular LIGHTBAR™ technology delivers uniform and energy-efficient illumination to parking lots and perimeter security lighting applications.

SPECIFICATION FEATURES

Construction
Rugged one-piece, die-cast aluminum housing with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 36W model. Patented secure lock hinge feature allows for safe and easy toolless electrical connections with the supplied push-in connectors. Back box includes half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 2x4" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hinge gasket allows for adaptation to masonry box or wall. External fin design extracts heat from the fixture surfaces. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Electrical
Single-point, captive stainless steel hardware secures the removable hinged door allowing for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-amping. Finish is five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Options to meet Buy American and other domestic preference requirements.

Warranty
Five-year warranty.

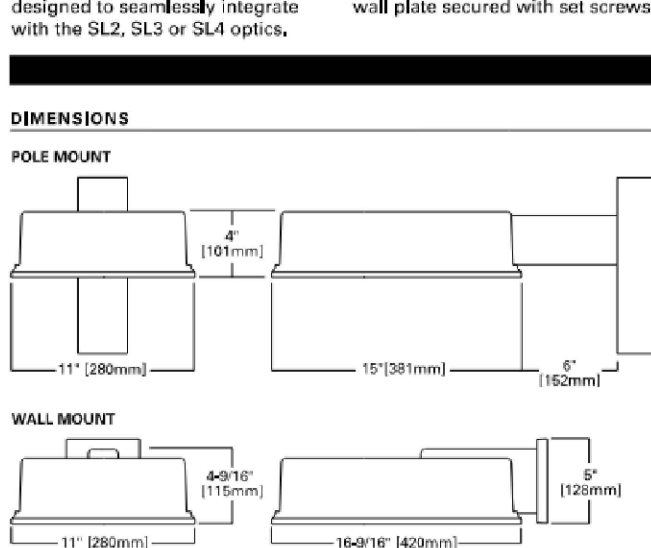
TYPE P1 Lumark

Catalog #	Type
Project	Date
Comments	
Prepared by	



RV RIDGEVIEW

1-4 LightBars
Solid State LED
AREA LUMINAIRE



Product Family	Lamp Type	Lamp Wattage	Door/Glass Type
P1	L-LED 1"	12W, 18W, 20W	

COOPER Lighting Solutions

COOPER Lighting Solutions

COOPER Lighting Solutions

COOPER Lighting Solutions

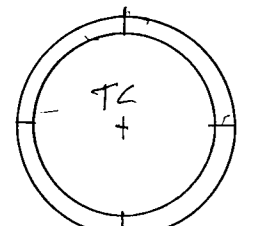
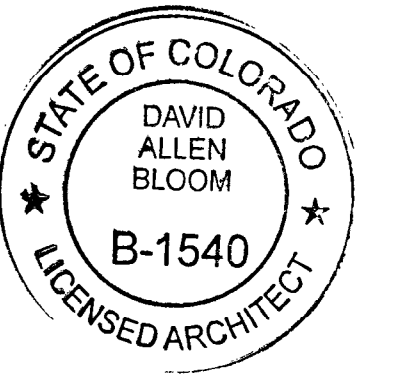
COOPER Lighting Solutions

ELLIOTT ENGINEERING LANDSCAPE PLAN

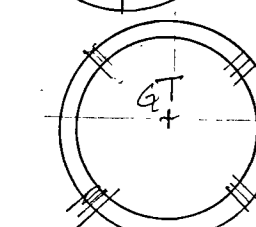
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF
THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
ADDRESS: 4400 E. 60TH AVE., COMMERCE CITY, CO.

David
Allen
Bloom

Digitally signed
by David Allen
Bloom
Date: 2023.08.03
20:45:01 -06'00'



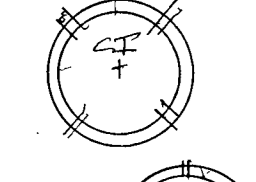
PLANT MATERIAL SCHEDULE			
STREET TREES			
BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE	
Tilia cordata "Greenspire"/ Linden "Greenspire"	3	2" B & B	



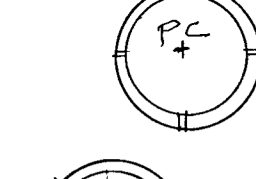
Gleditsia tricanthos "Skyline"/ Skyline Honeylocust	1	2" B & B	
---	---	----------	--



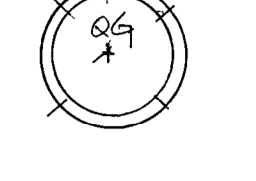
ORNAMENTAL TREES			
BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE	
Crataegus crus-galli inermis/ Cockspur Hawthorn	8	2" B & B	



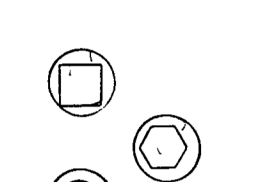
Prunus cerasifera "Newport"/ Newport Flowering Plum	10	2" B & B	
---	----	----------	--



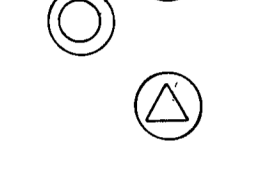
Quercus gambelli/ Gambel Oak	8	6'-8' clump B & B	
------------------------------	---	-------------------	--



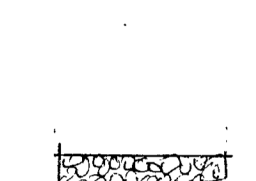
SHRUBS			
BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE	
Spirea japonica 'Goldmound'/ Goldmound Spirea	14	5 gallon container	



Spirea x 'Anthony Waterer'/ Anthony Waterer Spirea	15	5 gallon container	
--	----	--------------------	--



Potentilla fruticosa "Gold Drop"/ Gold Drop Bush Cinquefoil	20	5 gallon container	
---	----	--------------------	--



Cotoneaster acutifolius/ Peking Cotoneaster	15	5 gallon container	
---	----	--------------------	--

ELLIOTT ENGINEERING
4400 E. 60th Ave.
Commerce City, CO

LANDSCAPE ANALYSIS

Zoning:	I-3
Current and Proposed Use:	Commercial Truck Repair Facility
Lot Area:	45,233 sq. ft.
Structure Area:	10,745 sq. ft.
Asphalt Pavement Area:	25,189 sq. ft.
Concrete Sidewalk Area:	730 sq. ft.
Landscape Area:	8,569 sq. ft.
Trees: 8,569 sq. ft./ 600 sq. ft./ tree =	15 trees
100% Increase	15 trees
Total Required:	30 trees
Shrubs: 8,596 sq. ft./ 300 sq. ft./ shrub =	29 shrubs
100% Increase	29 shrubs
Total Required:	58 shrubs
Sod:	3,812 sq. ft. 44.49%
Native Grasses:	2,775 sq. ft. 32.38%
Mulch:	1,382 sq. ft. 16.13%
Granite Rock:	600 sq. ft. 7.00%

3" depth of 1 - 1 1/2" mountain granite over weed barrier fabric. Hold rock away from root ball and cover with a 3" depth of shredded redwood mulch.

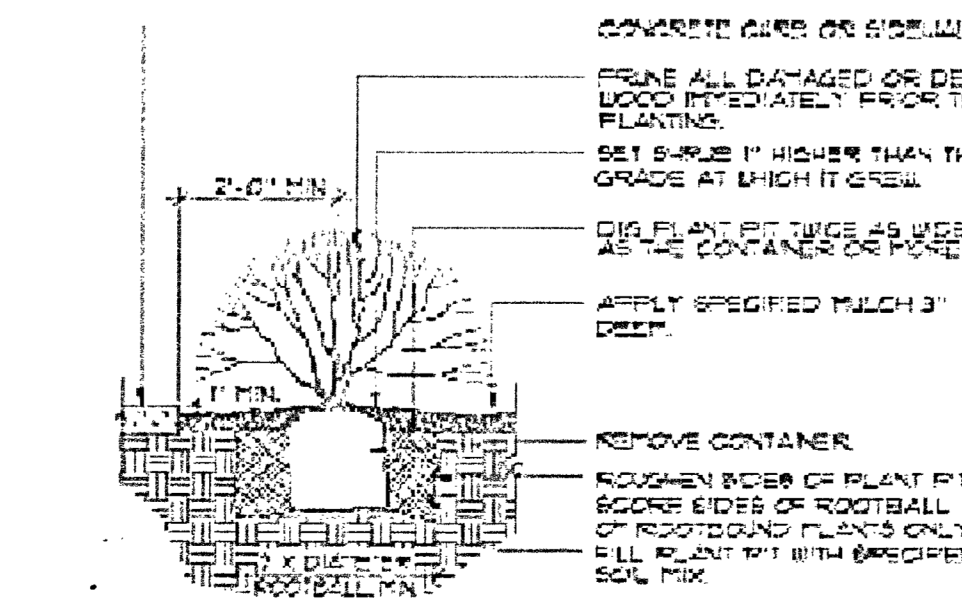
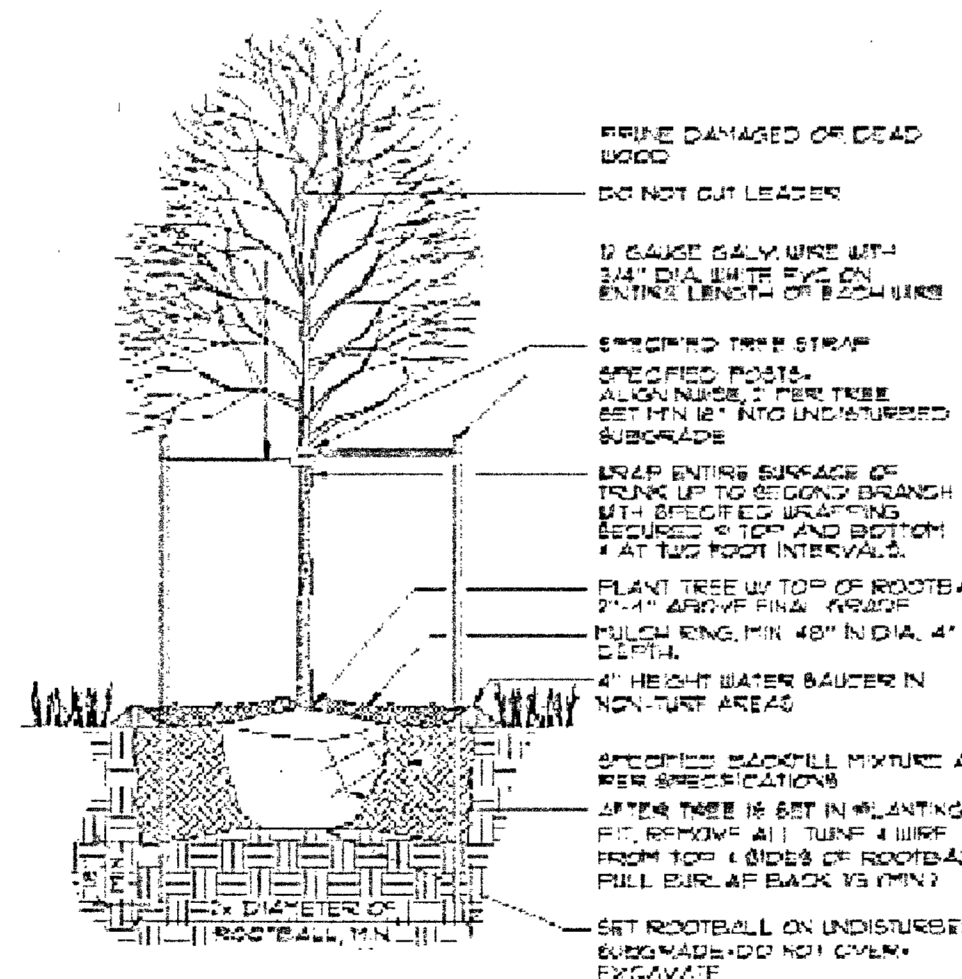
3" depth of shredded redwood mulch over weed barrier fabric.

Irrigated turf/ Kentucky Bluegrass.

Native Grass seed.

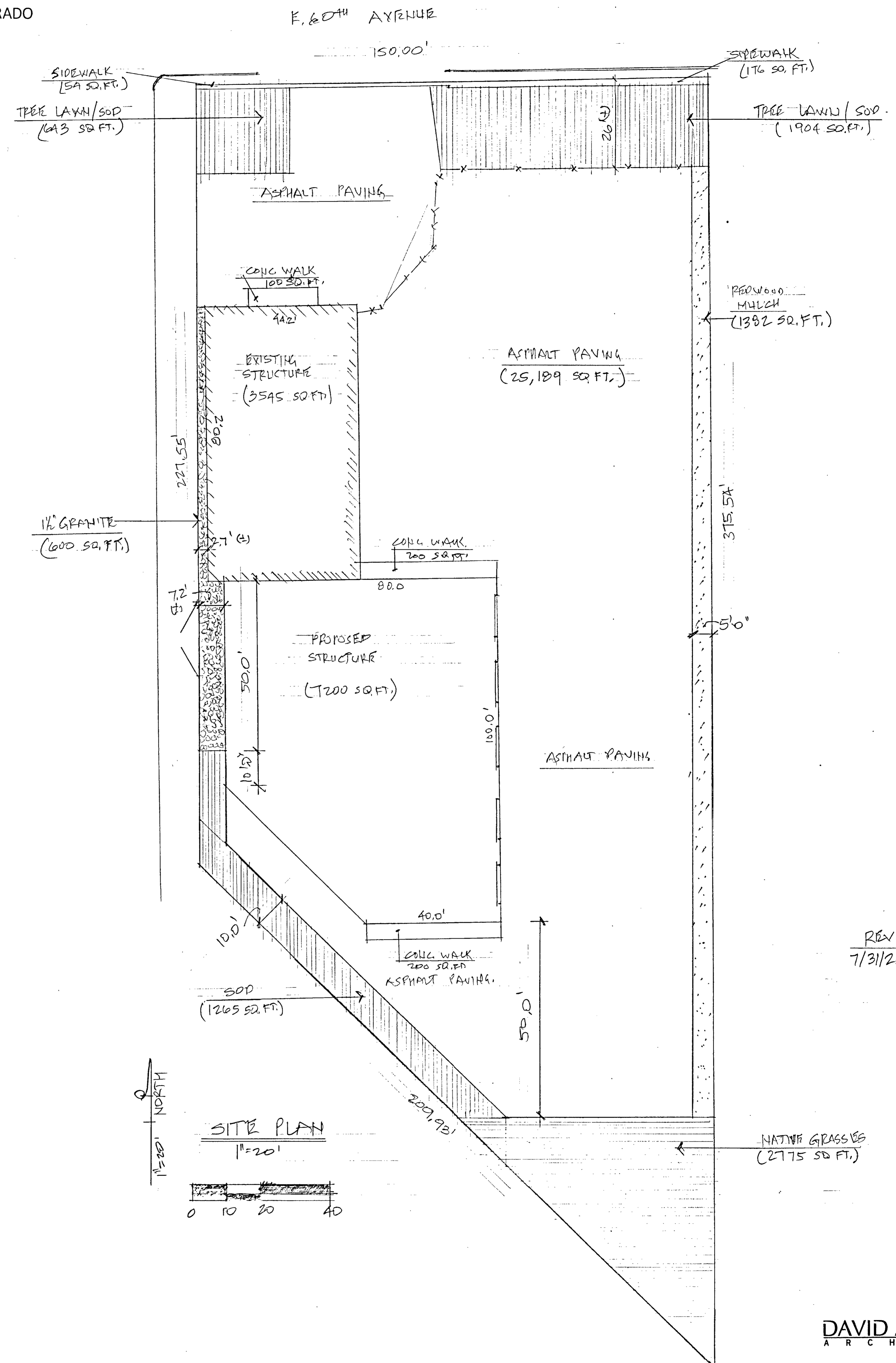
GENERAL LANDSCAPE NOTES

- CONTRACTOR TO VERIFY MEASUREMENTS IN FIELD PRIOR TO START OF CONSTRUCTION AND MAKE ANY ADJUSTMENTS AS NECESSARY. NOTIFY OWNER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
- CONTRACTOR TO SUBMIT SAMPLES OF ALL MATERIALS AT OWNER'S REQUEST BEFORE BEGINNING WORK.
- CONTRACTOR TO FOLLOW BUILDING CODES AND DESIGN GUIDELINES HAVING JURISDICTION OVER THIS PROJECT.
- CONTRACTOR TO PROVIDE UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM TO ALL EXISTING AND PROPOSED PLANT MATERIALS TO ENSURE SURVIVAL.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND MAINTAIN DOWNSPOUT LOCATIONS AND CONNECTIONS.
- ALL LANDSCAPE AREAS SHALL BE PREPPED WITH 4 CUBIC YARDS OF CLASS 1 COMPOST PER 100 S.F. TILLED TO MIN. DEPTH OF 6 INCHES. ALL ROCKS GREATER THAN 1" SHALL BE SCREENED FROM THE SURFACE. AN AFFIDAVIT OF SOIL AMENDMENT SHALL BE SUPPLIED TO THE CITY FROM THE CONTRACTOR.
- TREES IN THE GRASS AREA SHALL BE EDGED WITH A 3" DIAMETER RING. FIBROUS WOOD MULCH SHALL BE PLACED WITHIN THE RING. GRASS SHALL NOT BE ALLOWED BY THE TREE TRUNK.
- ALL ROCK MULCH BEDS TO RECEIVE 1" - 3" RIVER ROCK AT 3" DEPTH OVER DEWITT PRO 5 BARRIER FABRIC.
- ALL WOOD MULCH BEDS SHALL RECEIVE SHREDDED CEDAR MULCH AT 4" DEPTH ABOVE DEWITT PRO 5 BARRIER FABRIC.
- INSTALL ROLL-TOP STEEL EDGING BETWEEN ALL ROCK, WOOD MULCH, AND TURF GRASS AREAS AS SHOWN ON THE PLAN.
- APPLY WELL-ROTTED COMPOST MATERIAL IN ALL SHRUB AND TREE PLANT PITS AT A RATE OF 30% COMPOST TO 70% NATIVE SOIL, WELL MIXED.
- THE OWNER OR HIS ASSIGNEES SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL LANDSCAPE AREAS AND ADJACENT R.O.W. LANDSCAPES.



NOTE: ANY ROTARY OR CRUMBLING ROOTBALL WILL BE REJECTED. RETURNING THE CONTAINER WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.

NOTE: HOLD GRADE 1" BELOW EDGE OF WALK OR CURB

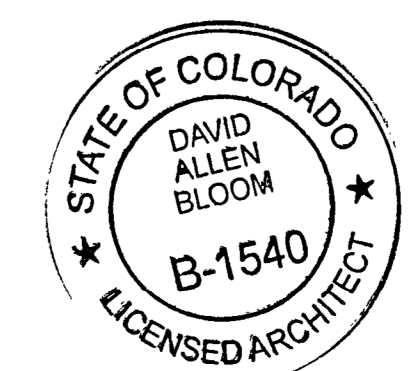
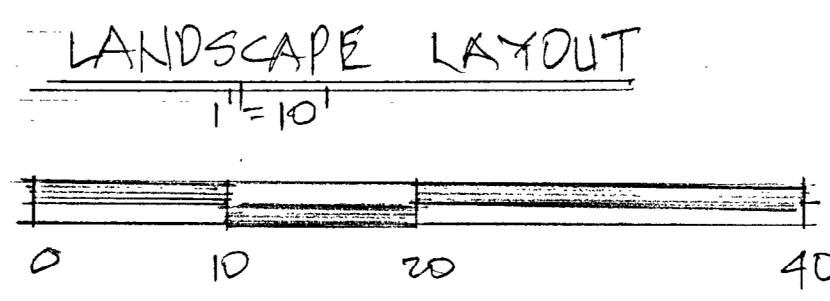
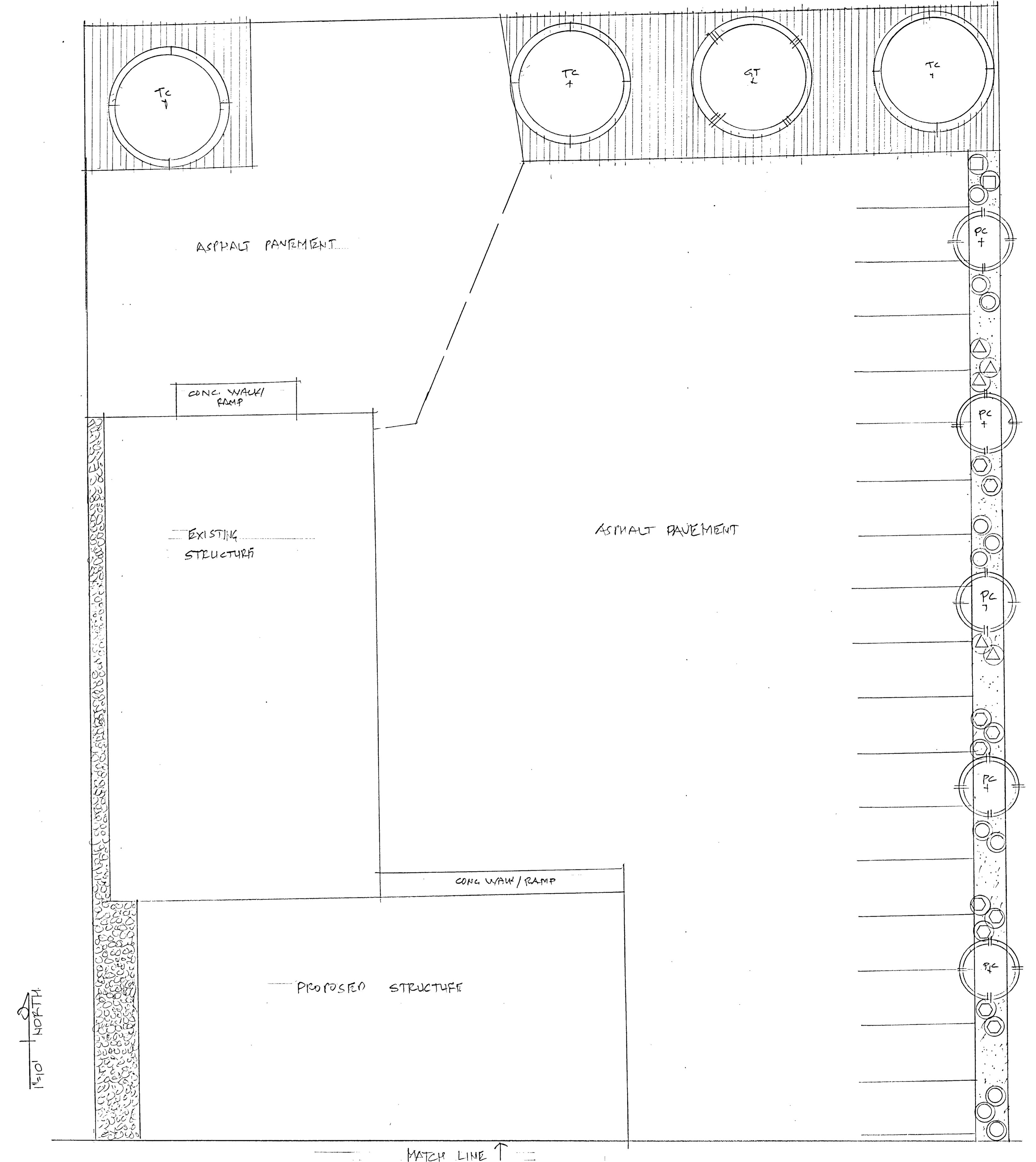
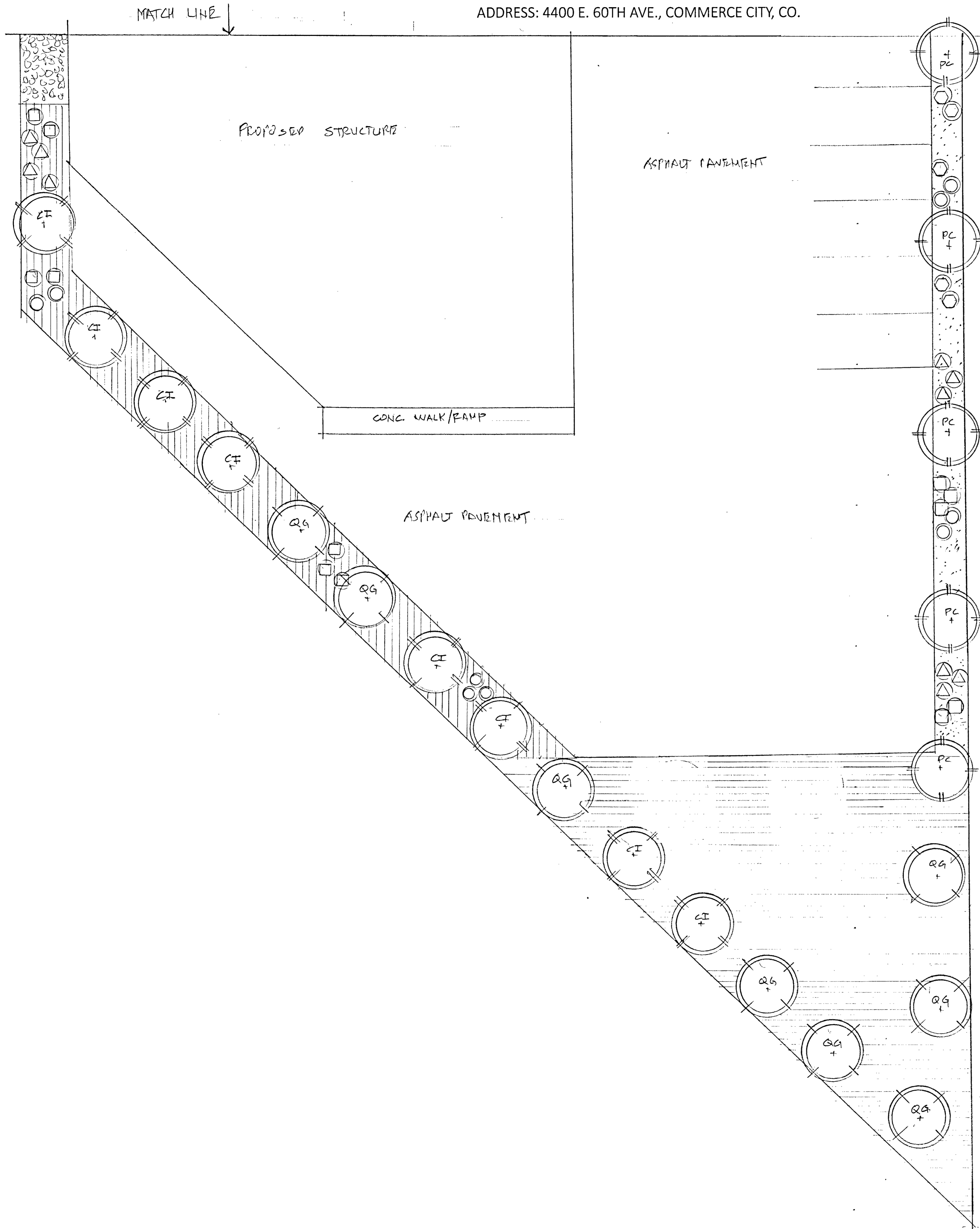


REVISIONS
7/31/23

ELLIOTT ENGINEERING

LANDSCAPE PLAN

LOCATED IN THE SOUTHWEST ¼ OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF
THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
ADDRESS: 4400 E. 60TH AVE., COMMERCE CITY, CO.



REVISIONS
7/31/23

David Allen Bloom
Digitally signed by David Allen Bloom
Date: 2023.08.03 20:46:11 -06'00'