

8550 ROSEMARY DEVELOPMENT PLANS

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION:

LOT 1, D.I.A. SUBDIVISION,
COUNTY OF ADAMS, STATE OF COLORADO

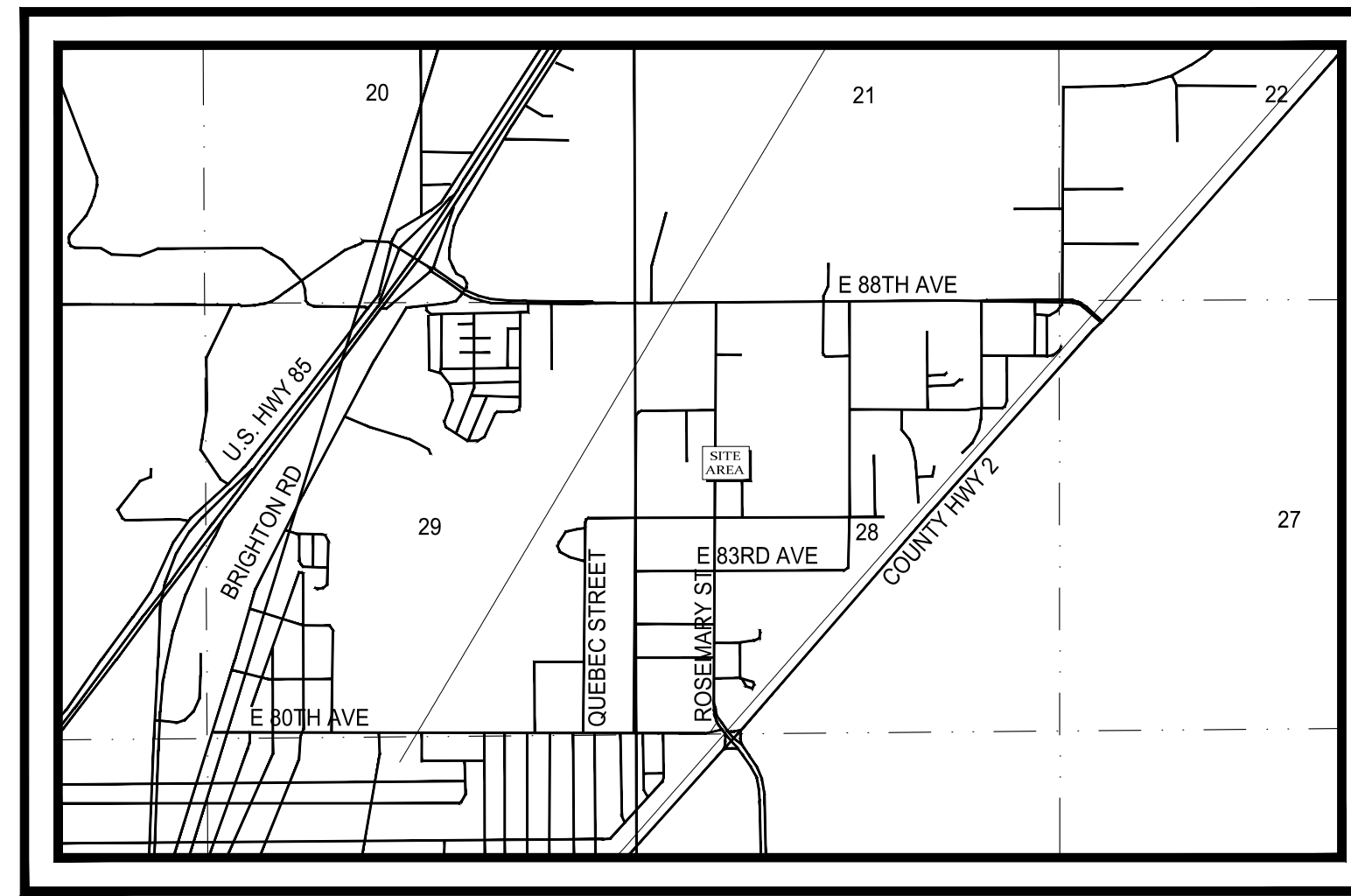
ALSO KNOWN BY THE STREET AND NUMBER AS 8550 ROSEMARY STREET, COMMERCE CITY, CO 80022-5055

BENCHMARK:

THE WEST QUARTER CORNER OF SECTION 28-T2S-R67W (A FOUND 2.5" ALUMINUM CAP STAMPED "GEOSURV 1999 PLS 22097" IN BOX 0.4' BELOW GRADE. NAVD 1988 DATUM ELEVATION:5134.94

BASIS OF BEARINGS:

THE GPS DERIVED WEST LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY THE WEST QUARTER CORNER (A FOUND 2.5" ALUMINUM CAP IN BOX 0.4' BELOW GRADE) FROM WHENCE THE NORTHWEST CORNER OF SAID SECTION 28 (A FOUND 3.25" ALUMINUM CAP 0.5' BELOW GRADE IN BOX) BEARS NORTH 00°19'54" EAST A DISTANCE OF 2648.70 FEET WITH ALL BEARINGS HEREIN RELATIVE THERETO.



VICINITY MAP
SCALE 1" = 2000'

GENERAL NOTES:

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- 8-CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

NOTES:

- DEFAULT TO THE LDC FOR ANY STANDARD NOT ADDRESSED BY THE PUD.
- ACCESS IS PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY PUBLIC WORKS.
- DRAINAGE IS PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY PUBLIC WORKS.
- NO CUSTOMIZED DESIGN ELEMENTS (FENCING LANDSCAPING, SIGNAGE, ARCHITECTURAL DESIGN STANDARDS, LIGHTING, PUBLIC ART, PEDESTRIAN CONNECTIVITY, OPEN SPACE, ETC.) ARE PROPOSED, DEFAULT TO THE LDC STANDARDS.
- NO CUSTOM STREET CROSS-SECTIONS ARE PROPOSED, DEFAULT TO THE CITY'S STANDARD STREET CROSS-SECTIONS.

CONTACTS:

CIVIL ENGINEER:

HCI ENGINEERING
A DIVISION OF HABERER CARPENTRY INC.
ATTN: GARRETT GOODLIN, PE
621 SOUTHPARK DR., SUITE 1600
LITTLETON, CO 80210
PH: 303-979-3900

LANDSCAPE ARCHITECT:

JUMP DESIGN COMPANY
ATTN: TOM JUMP
1733 S. CLARKSON STREET
DENVER, CO 80210
PH: 303 - 282 - 7292

SURVEYOR:

FALCON SURVEYING, INC.
ATTN: JEFF MACKENNA
9940 WEST 25TH AVE.,
LAKEWOOD, CO 80215
PH: 303-202-1560

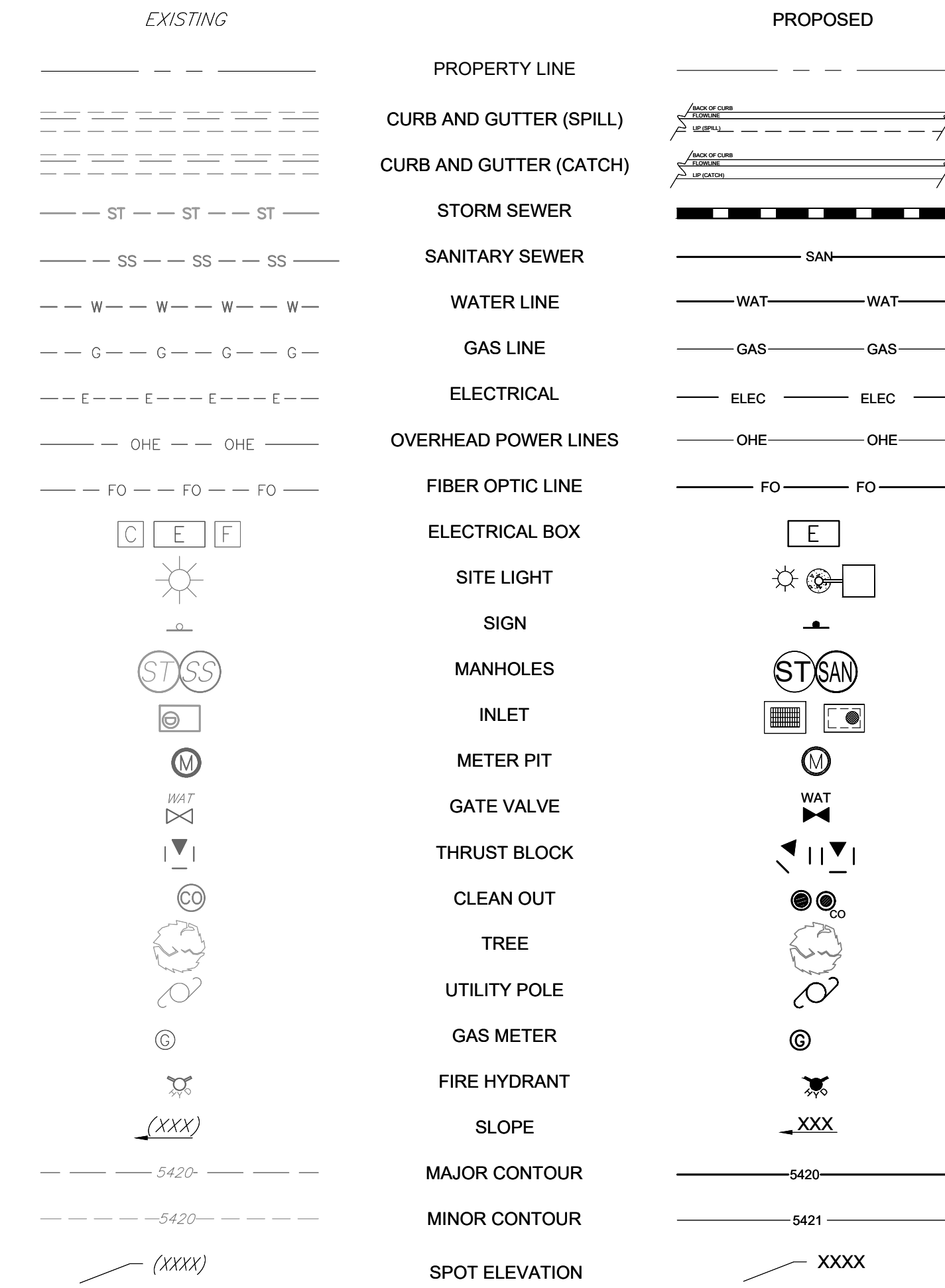
OWNER:

GERARDO GARCIA
ATTN: CHUCK PELL
4380 DEL RIO CT.
DENVER, CO 80239
PH: 720 - 226 - 7292

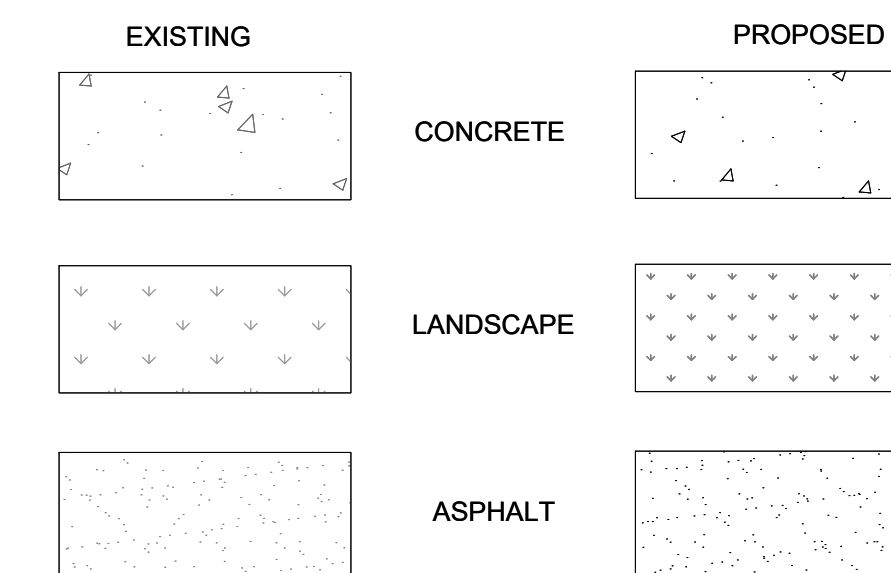
ARCHITECT:

C. PELL, ARCHITECT, LLC
ATTN: CHUCK PELL
6354 SOUTH BLACKHAWK WAY
AURORA, CO 80016
PH: 303-718-1343

SITE STATISTICS		
ROW	SQ. FT.	ACRES
GROSS LOT AREA	61,571	1.505
ROW DEDICATION REC.NO. 2022 0000 20669	3,979	0.091
NET LOT AREA	61,571	1.414
PROPOSED BUILDING GROSS AREA	7,197	0.165
GROSS LANDSCAPE AREA	28,015	0.688
NET LANDSCAPE AREA	28,015	0.595
GROSS HARD SURFACE AREA	26,359	0.651
NET HARD SURFACE AREA	26,359	0.764
F.A.R		11.69%
BUILDING CONSTRUCTION TYPE		III-B
BUILDING OCCUPANCY GROUP		M
CURRENT ZONING		I-1
NUMBER OF EMPLOYEES		2
PARKING REQUIREMENTS	REQUIRED	PROVIDED
STANDARD PARKING	32	34
ACCESSIBLE PARKING	2	2



HATCHING LEGEND



Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A1.0	BUILDING ELEVATIONS
A1.1	ELEVATIONS
A2.0	MATERIAL BOARD
PH1.0	PHOTOMETRICS
PH2.0	FIXTURE CUT SHEETS

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

PIN: 01721000000008



Know what's below.
Call before you dig.



CALL 811 2-BUSINESS DAYS IN
ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND
MEMBER UTILITIES.

8550 ROSEMARY
DEVELOPMENT PLANS
CITY OF COMMERCE CITY,
COUNTY OF ADAMS,
STATE OF COLORADO

REVISIONS:

No.	Date:	Description:
1	1.21.22	1ST SUB
2	5.24.23	2ND SUB

Project No: HCI_20_01

Drawn By: ZKA

Checked By: TGG

Date Issued: 2023-05-24

Sheet Name:

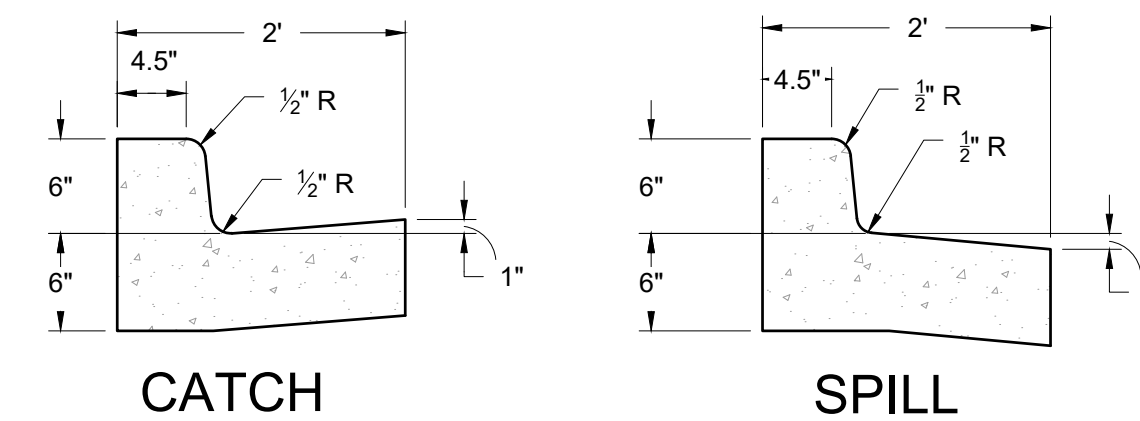
COVER

Sheet Number:

C1.0

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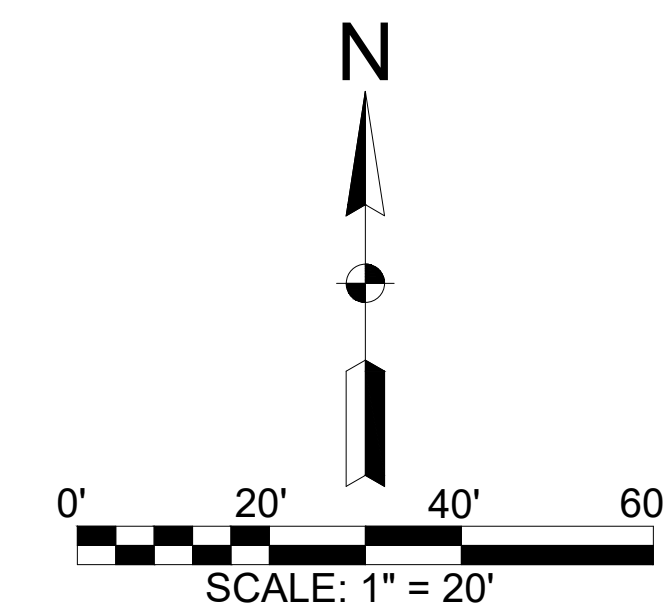
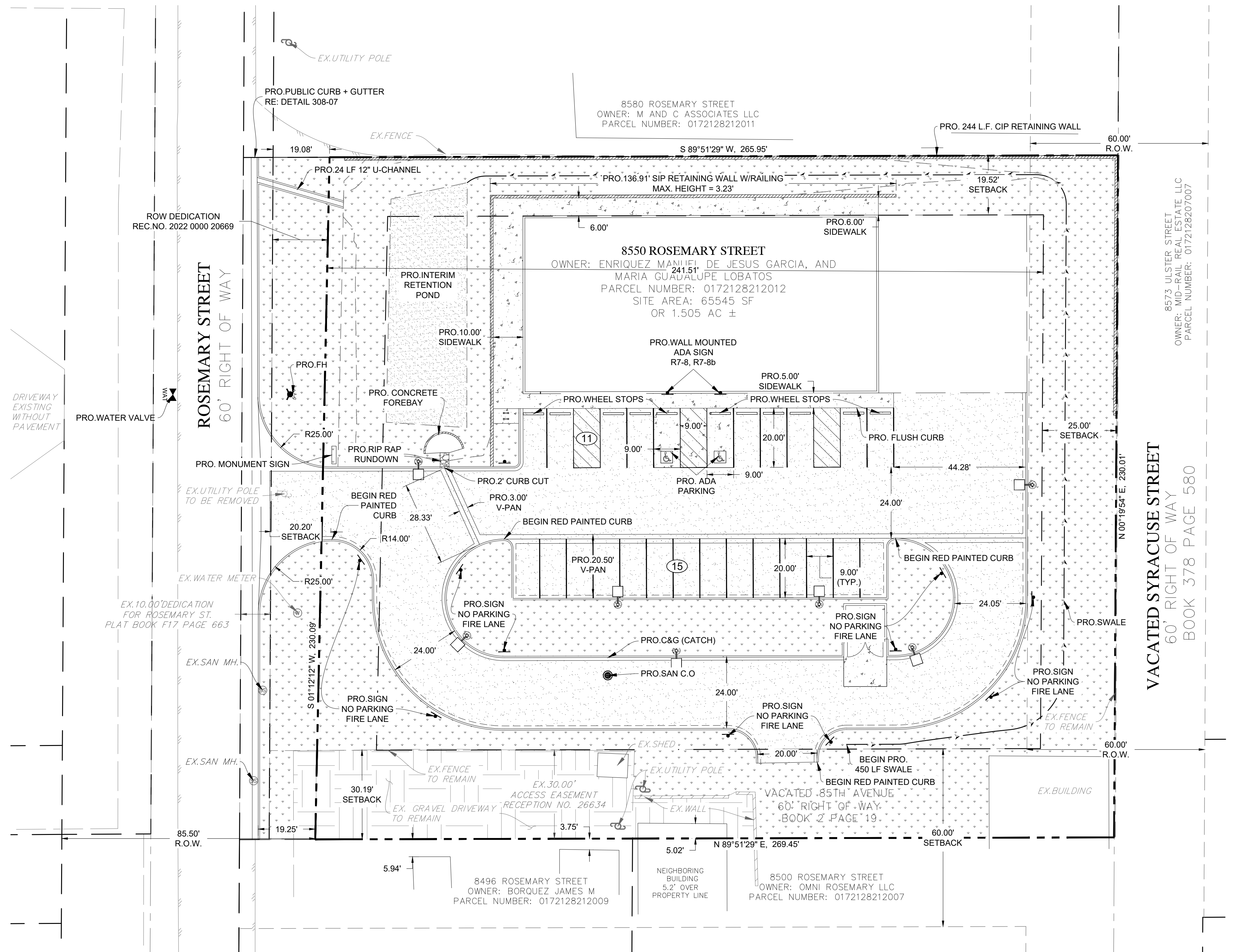


NOTES:

- 4500 PSI CONCRETE WITH FIBERMESH REINFORCEMENT.
- BRUSHED FINISH ON ALL EXPOSED CONCRETE.

A PRIVATE CURB & GUTTER

Scale: N.T.S.



HCI ENGINEERING
A DIVISION OF
HABERER CARPENTRY INC.
621 SOUTHPARK DR., SUITE 1000
LITTLETON CO, 80120
PHONE: (303) 979-3900
INFO@HABERERGROUP.COM

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2	5.24.23	2ND SUB

Project No: HCI_20_01
Drawn By: ZKA
Checked By: TGG
Date Issued: 2023-05-24
Sheet Name: SITE PLAN
Sheet Number:

C2.0

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DEPARTMENT OF COMMUNITY DEVELOPMENT

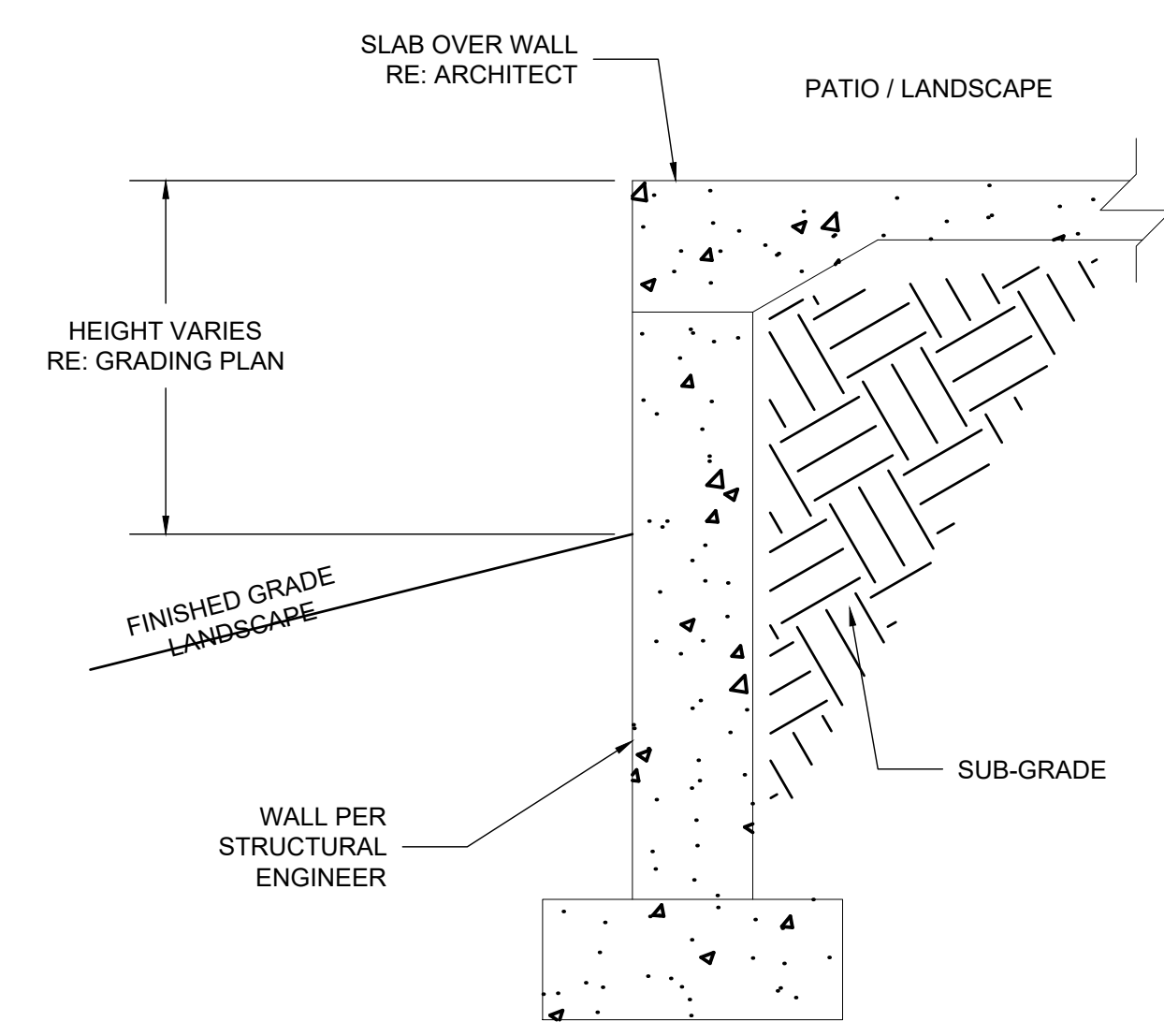
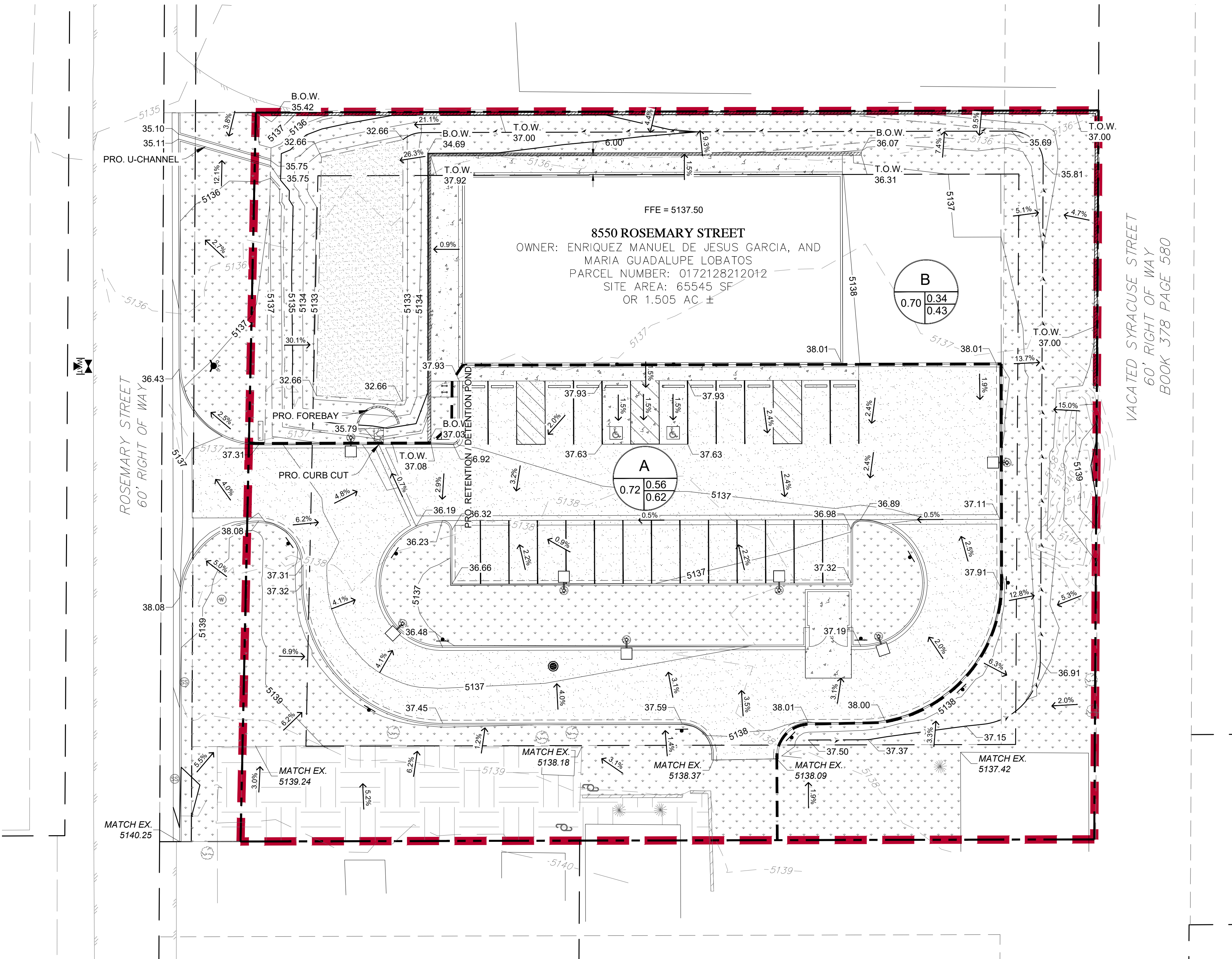
PIN: 0172100000008

FILENAME: u:\hci engineering\projects\2020\20_01 - 8550 rosemary s\CAD\Plans\DP20_01_DP - SITE PLAN.dwg PLOTDATE: 2023-05-24

DIRECT RUNOFF SUMMARY							
Area Design	Area (Acres)	% Imp.	Time of Concentration	Runoff Coefficient C5	C100	Direct Basin Runoff Q5 (cfs)	Q100 (cfs)
A	0.72	65.3%	5.40	0.56	0.62	1.49	3.59
B	0.70	41.5%	10.72	0.34	0.43	0.70	1.93
HISTORIC							
	1.50	8.2%	8.49	0.06	0.17	0.28	0.60
TOTAL PROPOSED							
	1.41	53.6%	9.49	0.45	0.53	1.93	4.18

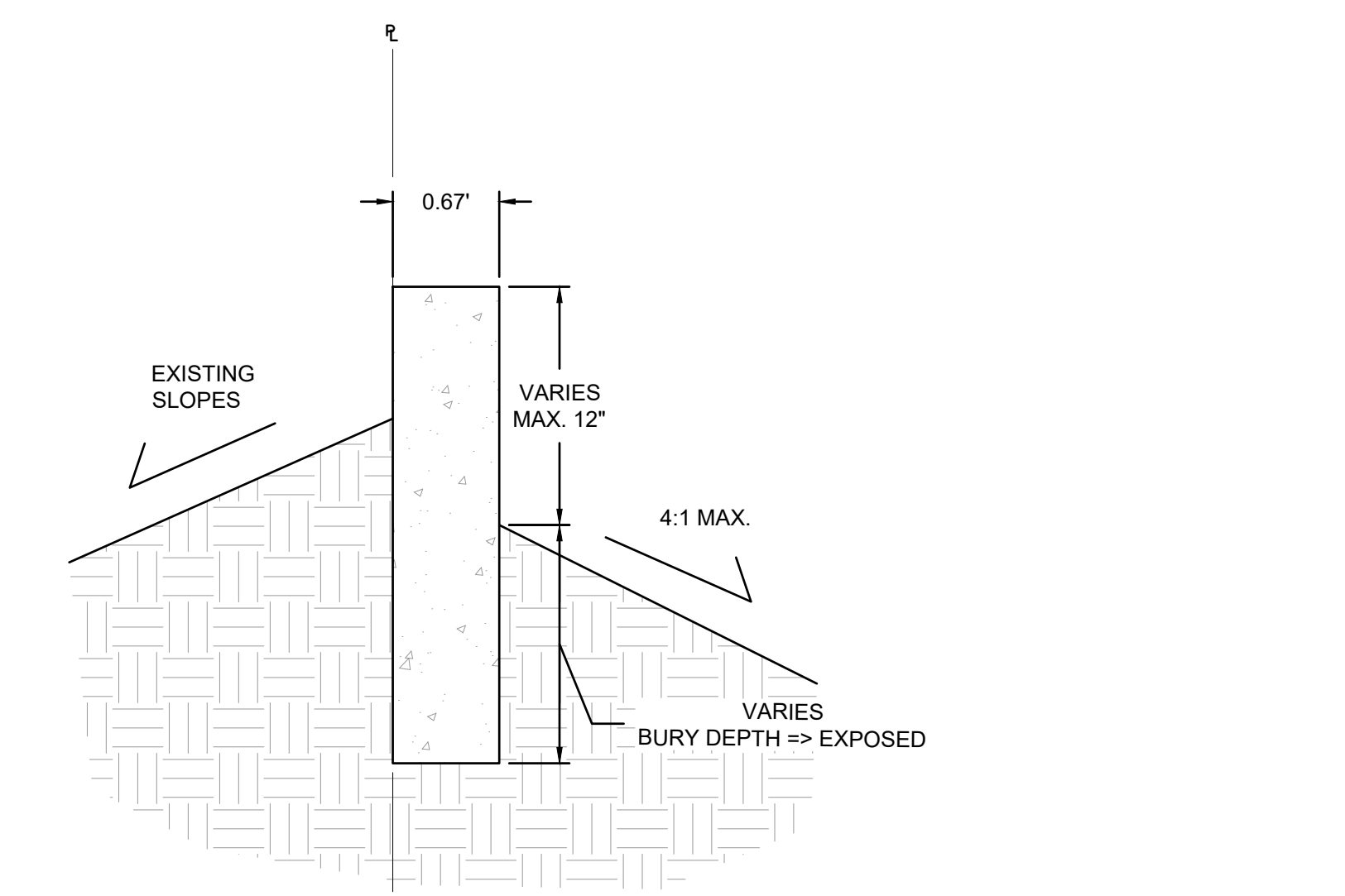
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- NOTES:
1. FINISH EXPOSED WALL PER ARCHITECT.
 2. WALL SHALL HAVE WEEP HOLES AND UNDER DRAIN AS DIRECTED BY STRUCTURAL ENGINEER AND GEOTECH.
 3. SLAB SHALL RUN OVER THE TOP OF WALL AS DIRECTED BY STRUCTURAL ENGINEER.

A EXISTING BLOCK WALL ELEVATION Scale: N.T.S.



- NOTES:
1. 4500 PSI CONCRETE WITH FIBERMESH REINFORCEMENT.
 2. BRUSHED FINISH ON ALL EXPOSED CONCRETE.

B PROPERTY LINE WALL Scale: N.T.S.

GRADING LEGEND

EXISTING: (XXX) -5420- (dashed line), -5420- (solid line), (XXXX) (spot elevation)

PROPOSED: -XXX- (dashed line), -5420- (solid line), -5421- (solid line), XXXX (spot elevation)

DRAINAGE LEGEND

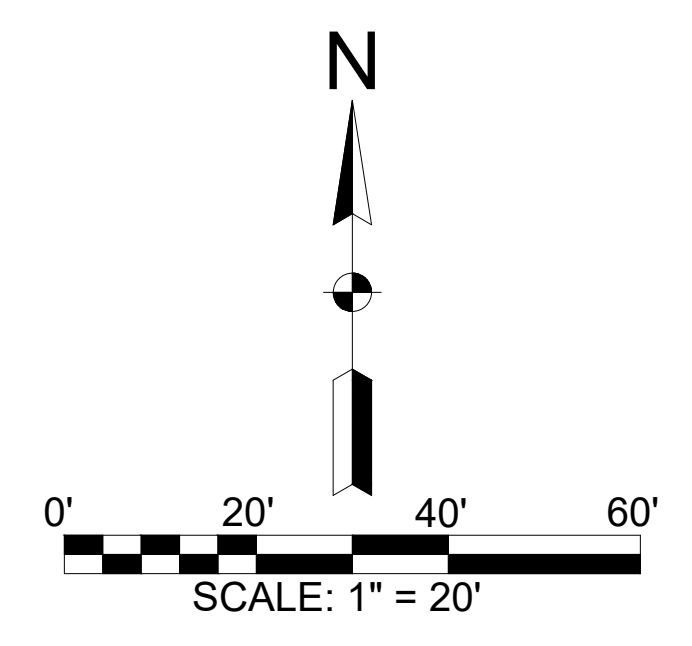
DESIGN NODE: B4-6A (triangle)

DRAINAGE BASIN: BASIN ID (circle), AREA (AC) (circle), C10 (circle), C100 (circle)

OVERFLOW ARROW: (arrow)

MINOR BASIN BOUNDARY: (dashed line)

MAJOR BASIN BOUNDARY: (thick dashed line)



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PIN: 0172100000008

HCI ENGINEERING

A DIVISION OF HABERER CARPENTRY INC.
 621 SOUTHPARK DR., SUITE 1100
 LITTLETON CO, 80120
 PHONE: (303) 979-3900
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811

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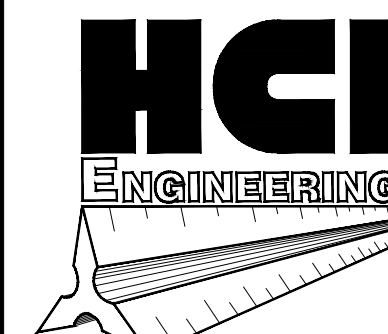
Project No: HCI_20_01
 Drawn By: ZKA
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Sheet Name: GRADING PLAN
 Sheet Number:

C3.0

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Drawn By: ZKA

Checked By: TGG

Date Issued: 2023-05-24

Sheet Name:

UTILITY PLAN

Sheet

Number:

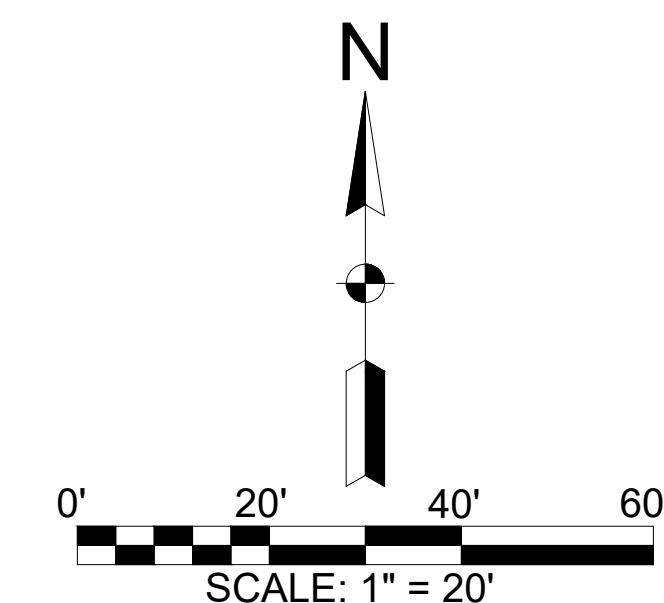
C4.0

UTILITY LEGEND

EXISTING (EX.)		PROPOSED (PRO.)
--- ST --- ST --- ST ---	STORM SEWER	--- SAN ---
--- SS --- SS --- SS ---	SANITARY SEWER	--- WAT --- WAT ---
--- W --- W --- W --- W ---	WATER LINE	--- GAS --- GAS ---
--- G --- G --- G --- G ---	GAS LINE	--- ELEC --- ELEC ---
--- E --- E --- E --- E ---	ELECTRICAL	--- FO --- FO ---
--- FO --- FO --- FO ---	FIBER OPTIC LINE	
	ELECTRICAL BOX	
	SITE LIGHT	
	SIGN	
	MANHOLES	
	INLET	
	METER PIT	
	GATE VALVE	
	CLEAN OUT	
	FIRE HYDRANT	

SOUTH ADAMS COUNTY FIRE DEPARTMENT NOTES:

- PRIVATE FIRE SERVICE LINES AND APPURTENANCES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT AND NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 24.
- UNDERGROUND WATER SUPPLY CONTRACTORS INSTALLING PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE LICENSED WITH THE STATE OF COLORADO DIVISION OF FIRE PREVENTION AND CONTROL AS A FIRE SUPPRESSION SYSTEMS CONTRACTOR - UNDERGROUND. THE STATE OF COLORADO LICENSE SHALL BE SUBMITTED TO THE SOUTH ADAMS COUNTY FIRE DEPARTMENT.
- PRIVATE FIRE SERVICE LINES INCLUDING SPECIFICATION DATA SHEETS FOR ALL MATERIAL SHALL BE SUBMITTED TO THE SOUTH ADAMS COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- INSPECTIONS AND TESTS ON PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE IN ACCORDANCE WITH SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT STANDARDS, NFPA 13 STANDARD, AND NFPA 24 STANDARDS. THE SOUTH ADAMS COUNTY FIRE DEPARTMENT WILL INSPECT AND WITNESS THE INSTALLATION OF THE FIRE SERVICE LINE, THE 2-HOUR HYDROSTATIC TEST, AND THE FLUSHING OF THE PIPE. THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT WILL CONDUCT THE CHLORINATION AND CLEAN WATER TEST.

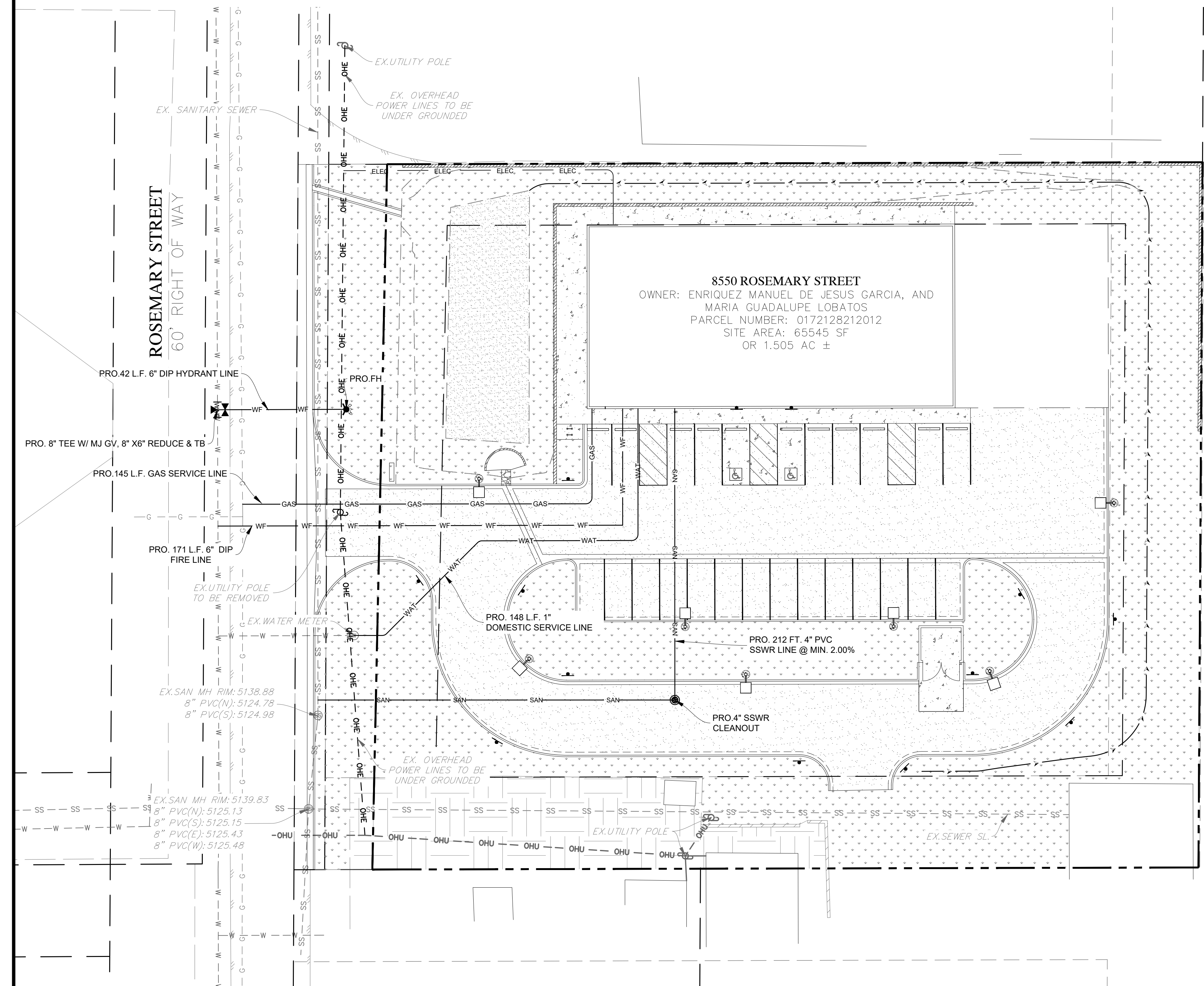


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PIN: 0172100000008



VACATED SYRACUSE STREET
60' RIGHT OF WAY
BOOK 378 PAGE 580

FILENAME: u:\hcr engineering\projects\2020\20_01 - 8550 rosemary\hcr\CAD\Plans\DP20_01_DP - UTILITY PLAN.dwg PLOTDATE: 2023-05-24

PLANT LIST

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES/REMARKS
DECIDUOUS TREES						
CO	5	Quercus muehlenbergii	Chinkapin Oak	2" cal.	TREES SHALL BE B&B, WITH FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK.	
HB	3	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	2" cal.		
HL	3	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2" cal.		
TE	4	Ulmus 'Morton Glossy'	Triumph Elm	2" cal.		
ORNAMENTAL TREES						
CH	5	Crataegus crus-gali inermis 'Crusader'	Crusader Thornless Hawthorn	2" cal.		
HW	5	Acer tartaricum 'Hot Wings'	Hot Wings Maple	2" cal.		
EVERGREEN TREES						
AP	6	Pinus nigra	Austrian Pine	6' Ht.	B&B; Full & bushy	
BP	4	Pinus aristata	Bristlecone Pine	6' Ht.	B&B; Full & bushy	
LP	3	Pinus flexilis	Limber Pine	6' Ht.	B&B; Full & bushy	
DECIDUOUS SHRUBS						
AA	22	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	9-12" ht.	#5 Container	
AF	33	Cornus sericea 'Arctic Fire'	Arctic Fire Redtwig Dogwood	21-24" ht.	#5 Container	
BC	5	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	24-30" ht.	#5 Container	
DL	35	Syringa meyeri 'Miss Kim'	Miss Kim Dwarf Lilac	24-30" ht.	#5 Container	
GL	16	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	15-18" ht.	#5 Container	
HC	15	Symphoricarpos x 'Chenaultii'	Hancock Coralberry	15-18" ht.	#5 Container	
MV	14	Viburnum lantana 'Mohican'	Mohican Viburnum	36-42" ht.	#5 Container	
NV	8	Viburnum lentago	Nannyberry Viburnum	3-4' ht.	#5 Container	
SW	12	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	30-36" ht.	#5 Container	
EVERGREEN SHRUBS						
SJ	7	Juniperus chinensis 'Spartan'	Spartan Juniper	36-42" ht.	#5 Container	
SS	14	Juniperus sabinia 'Sierra Spreader'	Sierra Spreader Juniper	9-12" ht.	#5 Container	
ORNAMENTAL GRASSES						
BA	13	Helictotrichon sempervirens	Blue Avena Grass		#5 Container	

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE PLANT LIST, MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

LANDSCAPE SUMMARY

LANDSCAPE TREATMENT AREA	Percentage of Total
GROSS SITE AREA: 1.41 AC.	
a.) Total Landscape Area	24,974 SF
b.) Irrigated Seeding Area*	1,525 SF
c.) Area of Dryland Seeding (Det. Pond)	3,375 SF
d.) Area of Planting Bed	20,074 SF
e.) Living Plant Material	18,800 SF
f.) # Trees Required (1/600 sf)	42
g.) # Trees Provided	46
Transplanted	8
Existing to remain in-place	2
Proposed	36
h.) # Shrubs Required (1/300 sf)**	84
i.) # Shrubs Provided	194
j.) # of Mulch Types	2

* = Doesn't include future street expansion seeding area
 ** = Includes detention pond, parking & 75% cover req's.

EXISTING TRANSPLANT TREE SCHEDULE

SYMBOL	KEY	SPECIES	SIZE	SPADE SIZE
T-3	T-1	Austrian Pine	8' Ht.	48"
T-2	T-2	Austrian Pine	8' Ht.	48"
T-3	T-3	Austrian Pine	12' Ht.	60"
T-4	T-4	Austrian Pine	12' Ht.	60"
T-5	T-5	Austrian Pine	10' Ht.	60"
T-6	T-6	Austrian Pine	10' Ht.	60"
T-7	T-7	Austrian Pine	8' Ht.	48"
T-8	T-8	Austrian Pine	8' Ht.	48"

REMOVAL / REMAIN IN-PLACE TREE SCHEDULE

Key	Species	Size	Status	Condition
A	Siberian Elm	23" cal.	Remove	Poor*
B	Siberian Elm	6", 13" & 14" cal.	Remove	Poor*
C	Siberian Elm	40" cal.	Remove	Poor*
D	Pinyon Pine	12' Ht.	Remain	Poor
E	Pinyon Pine	10' Ht.	Remain	Poor
F	Pinyon Pine	10' Ht.	Remove	Poor

* = Nuisance tree

RIGHT-OF-WAY STREET TREES		
ROW frontage	Length	Required / Provided
a. Rosemary Street	206 LF	5 / 5

PARKING LOT LANDSCAPE AREA	
a.) # Trees Required	6
b.) # Trees Provided	1
c.) # Shrubs Required	12 + 75% screen
d.) # Shrubs Provided	43
e.) # of Islands Required	2
f.) # of Islands Provided	2

DETENTION POND	
a. Length of perimeter	250 LF
b.) # Trees Required (1 per 50 LF)	5
c.) # Trees Provided	6
d.) # Shrubs Required (10 per 50 LF)	50
e.) # Shrubs Provided	50

MIX #1: PERMANENT DRILL SEEDING MIX

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
BIG BLUESTEM	BOUTELOUA DACTYLOIDES	'KAW'	10%	2.5
YELLOW INDIANGRASS	BOUTELOUA GRACILIS	'CHEYENNE'	10%	2.5
SWITCHGRASS	PASCOPYRUM SMITHII	'BLACKWELL'	10%	2.5
SIDEOATS GRAMA	BOUTELOU CURTIPENDULA	'VAUGHN'	10%	2.5
WESTERN WHEATGRASS	AGROPYRON SMITHII	'ARRIBA'	10%	2.5
BLUE GRAMA	BOUTELOUA GRACILIS	'HACITA'	10%	2.5
THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	'CRITANA'	10%	2.5
PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	'GOSHEN'	10%	2.5
GREEN NEEDLEGRASS	NASELLA VIRIDULA	'LORDORM'	10%	2.5
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	'PRYOR'	5%	1.25
STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	'SODAR'	5%	1.25
TOTAL LBS. PER ACRE (DRILLED)				25.0

MIX #2: DETENTION POND / RIPARIAN SEEDING

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
INLAND SALTGRASS	DISTICHLIS STRICTA		15%	2.8
CREeping SPIKERUSH	ELEOCHARIS PALUSTRIS		15%	2.8
BALTIC RUSH	JUNCUS BALTICUS		15%	2.8
SWITCHGRASS	PANICUM VIRGATUM	'BLACKWELL'	12%	2.3
GREEN NEEDLEGRASS	NASELLA VIRIDULA		10%	1.9
PRAIRIE CORDGRASS	SPARTINA PECTINATA		10%	1.9
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	'ARRIBA'	8%	1.5
WOOLY SEDGE	CAREX LANUGINOSA		5%	1.0
NEBRASKA SEDGE	CAREX NEBRASCENSIS		5%	1.0
TOTAL LBS. PER ACRE (DRILLED)				18.0

SITE DATA

TOTAL SITE AREA:	61,571 SF (1.41 Ac.)
BUILDING COVERAGE	11,540 SF (18.7%)
PAVEMENT	22,059 SF (35.8%)
EXISTING GRAVEL DRIVE	2,998 SF (4.9%)
LANDSCAPE AREA (Private)	24,974 SF (40.6%)
IRRIGATED TURF	1,525 SF (6.1%)
PLANTING BEDS	20,074 SF (80.4%)
DETENTION AREA SEED	3,375 SF (13.5%)
R.O.W EXPANSION AREA	
TEMP. IRRIGATED TURF	3,178 SF

EXISTING TREE LEGEND

	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING DECIDUOUS TREE TO BE REMOVED
	EXISTING EVERGREEN TREE TO BE REMOVED
	EXISTING EVERGREEN TREE TO BE TRANSPLANTED
	EXISTING TRANSPLANT EVERGREEN AT NEW LOCATION

LEGEND

	DECIDUOUS TREE		IRRIGATED TURF SEED MIX #1
	ORNAMENTAL TREE		DETENTION AREA SEED MIX #2
	EVERGREEN TREE		4" DEPTH ROCK MULCH
	DECIDUOUS SHRUB		2.4" DIA. CRUSHED ROCK
	EVERGREEN SHRUB		R.O.W. EXPANSION AREA
	ORNAMENTAL GRASS		NATIVE SEED
	LANDSCAPE EDGER		

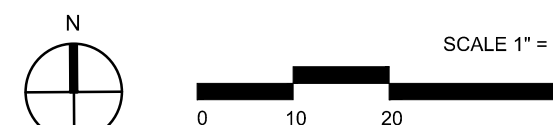
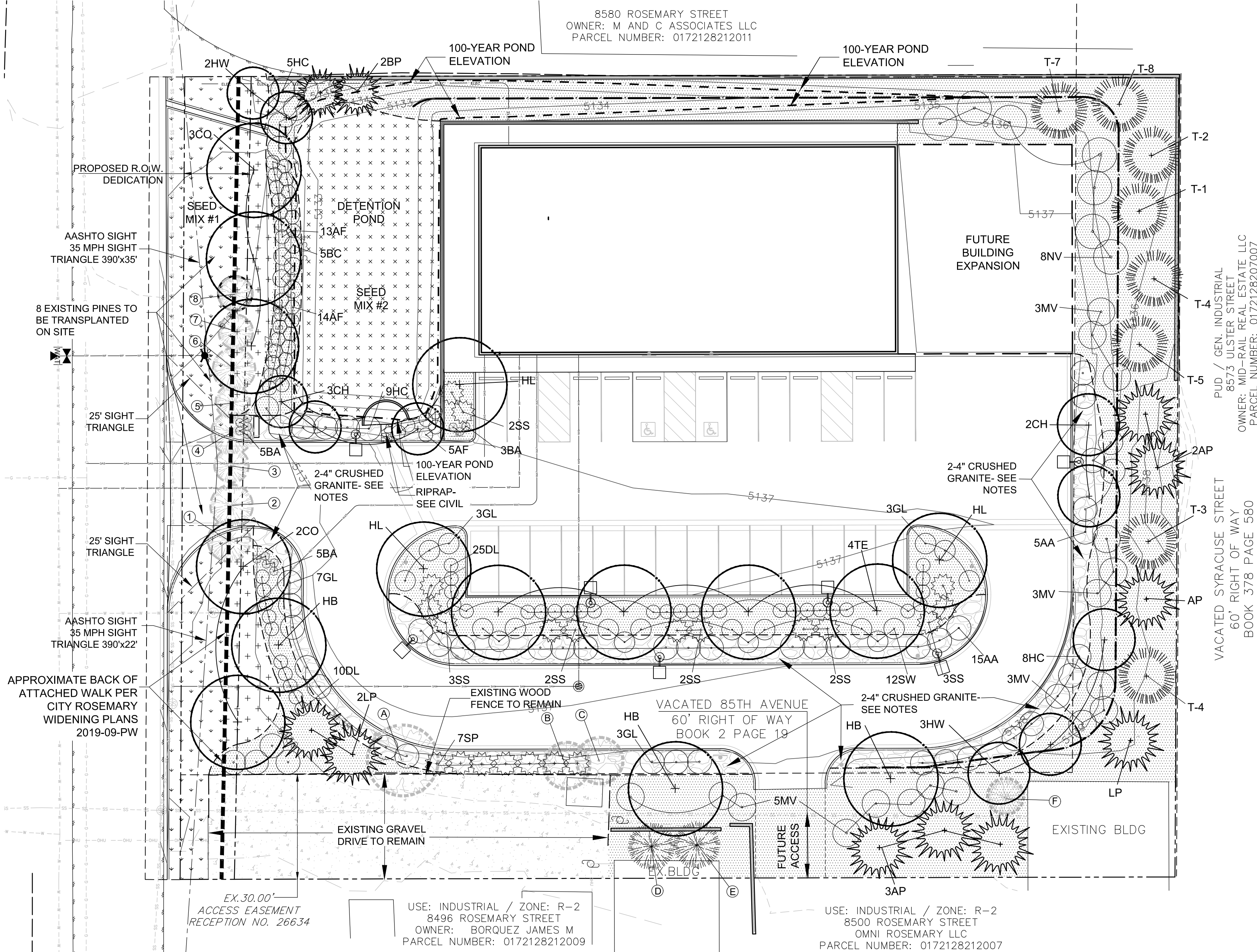
MIX #3: LOW-GROWTH DRILL SEEDING

COMMON NAME	BOTANIC NAME	VARIETY	% MIX	# P.L.S. PER AC.
CREsted WHEATGRASS	AGROPYRON CRISTATUM	'EPHRAIM'	30%	7.5
SHEEP FESCUE	FESTUCA OVINA		25%	6.25
PERENNIAL RYEGRASS	LOLIUM PERENNE		20%	5.0
CHEWINGS FESCUE	FESTUCA RUBRA SSP. COMMUTATA		15%	3.75
CANADA BLUEGRASS	POA COMPRESSA		10%	2.5
TOTAL LBS. PER ACRE (DRILLED)				25.0

8550 ROSEMARY
 A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
 TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
 CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



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APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF COMMERCE CITY, THIS DAY OF ,2021.

DEPARTMENT OF COMMUNITY DEVELOPMENT

HCI ENGINEERING
 A DIVISION OF HABERER CARPENTRY INC.
 621 SOUTH PARK DR., SUITE 1600
 LITTLETON CO, 80120
 PHONE: (303) 979-3900
 INFO@HABERERGROUP.COM

THOMAS R. JUMP
 150
 Original Date of Licensure
 LICENSED LANDSCAPE ARCHITECT
 STATE OF COLORADO

JDC
 Jump Design Company
 PLANNING & LANDSCAPE ARCHITECTURE
 1733 S. Clarkson Street
 Denver, Colorado 80210
 info@jumpdesignco.com
 303.282.0463

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8550 ROSEMARY
 CITY OF COMMERCE CITY,
 COUNTY OF ADAMS,
 STATE OF COLORADO

REVISIONS:

No.	Date:	Description:
1	05.08.23	CITY COMMENTS

Project No: HCI_20_01
 Drawn By: JDC
 Checked By: TJ
 Date Issued: 01.21.22
 Sheet Name: Landscape Plan
 Sheet Number:

L1.0

8550 ROSEMARY

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLAN NOTES

1. ALL WORK SHALL CONFORM TO THE CITY OF COMMERCE CITY STANDARDS & REGULATIONS.
 2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
 3. VERIFY THE LOCATION OF ALL PERTINENT EXISTING & CONSTRUCTED SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
 4. REFER TO THE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 5. REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.
 6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.
- FINE GRADING / PREPARATION NOTES**
7. LANDSCAPE OPERATIONS SHALL ACHIEVE FINISHED GRADES AS SHOWN ON THE CIVIL GRADING PLANS AFTER INSTALLATION. ALL COMPLETED LANDSCAPE AREAS SHALL DRAIN AT 2% MINIMUM SLOPE WITHOUT LOW SPOTS THAT POND. FINISH GRADES SHALL SLOPE AWAY FROM STRUCTURES AT THE RECOMMENDED SLOPES INDICATED IN THE PROJECT GEOTECHNICAL SOILS REPORT UNLESS SPECIFICALLY APPROVED BY THE CIVIL ENGINEER AND OWNER.
 8. THE LANDSCAPE CONTRACTOR SHALL REVIEW THE COMPLETED ROUGH GRADING OPERATIONS PRIOR TO BEGINNING WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE GRADING PLANS AND ACTUAL CONDITIONS.
 9. ALL LANDSCAPE AREAS SHALL BE FINE GRADED TO .10" +/- RESULTING IN A SMOOTH FINISH WITHOUT DEBRIS, DELETERIOUS MATERIALS OR CLODS OVER 1" DIAMETER. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.
 10. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.
 11. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED & NITROGEN STABILIZED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. PH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WOR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.
 12. THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.
 13. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH.
- PLANTING NOTES**
14. PLANTS SHALL BE TRUE TO TYPE & SPECIES, HAVE SIMILAR SIZE & FORM AMONG THE SAME SPECIES AND MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2014).
 15. ALL PLANT MATERIALS SHALL BE HEALTHY, FREE OF PESTS, DISEASES AND BROKEN CONTAINERS AND ROOT BALLS. TREES SHALL HAVE SINGLE LEADERS UNLESS OTHERWISE SPECIFIED AND ROBUST BRANCHING AND FOLIAGE. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
 16. PLANT SPECIES AND LOCATIONS SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY AND THE OWNER'S REPRESENTATIVE. SUBSTITUTIONS SHALL BE SUBMITTED PRIOR TO BIDDING AND REQUESTED SPECIES SHALL MATCH THE SPECIFIED PLANT'S MATURE SIZE & FORM.
 17. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME, POST-FINAL ACCEPTANCE REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS. PLANTS NEEDED REPLACED PRIOR TO ACCEPTANCE WILL NOT APPLY TOWARD WARRANTY REPLACEMENTS.
 18. LAYOUT PLANT LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION. TREE LOCATIONS SHALL BE NO CLOSER THAN 3' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.
 19. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.
 20. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.
 21. ALL SHRUBS & GRASSES SHALL RECEIVE SCOTT'S AGRIFORM SLOW-RELEASE FERTILIZER TABLETS APPLIED AT MANUFACTURER RECOMMENDED RATES.
- EDGER**
22. LAYOUT BED LINES FOR APPROVAL PRIOR TO INSTALLATION. ALL PLANTING BEDS ARE TO BE CONTAINED WITH MINIMUM 4" HEIGHT STEEL EDGER WITH ROLLED TOP AND NO EXPOSED SHARP EDGES. EDGER SHALL BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED SURFACES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS.
 23. EDGER SHALL BE PRO-STEEL PS316-16, 4" DEPTH x 3/16" (7 GA.) WITH STAKES AND FASTENED OVERLAP SECTIONS PER MANUFACTURER'S RECOMMENDATIONS. SUPPLIER SHALL BE PRO-STEEL EDGING & LANDSCAPE PRODUCTS, 5121 KALTENBRUN RD., FORT WORTH, TX 76119 OR APPROVED EQUAL.

WEED BARRIER & MULCH

24. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL UNDER ALL ROCK BEDS. DO NOT INSTALL WEED BARRIER BELOW SHREDDED RED CEDAR WOOD MULCH BEDS.
25. PLANTING BEDS SHALL BE MULCHED WITH:
 - A. 1.5" DIAMETER CRUSHED ROCK MULCH, "COLORADO RED" AND
 - B. 2-4" DIAMETER GRAY AGGREGATE
 FROM BEDROCK MATERIALS, 5401 W 52ND AVE., DENVER CO 80212 303-432-7222 OR APPROVED EQUAL OVER LANDSCAPE FILTER FABRIC, MIRAFI 140N. SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
26. ALL PLANTS IN ROCK MULCH BEDS SHALL HAVE 3-4" DEPTH RING OF DOUBLE-SHREDDED RED CEDAR MULCH ABOVE EACH PLANTING PIT AT 1.5 TIMES THE CONTAINER DIAMETER. MULCH & ROCK COLOR SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
27. TREES IN SEEDED OR SODDED AREAS SHALL ALSO HAVE DOUBLE-SHREDDED RED CEDAR MULCH RINGS OF AT LEAST 3-4" IN DIAMETER.

IRRIGATION

28. IRRIGATION SHALL INSTALLED PER PLANS APPROVED BY THE CITY AND BE AN UNDERGROUND AUTOMATIC SYSTEM WITH ELECTRIC CONTROLLER AND RAIN SENSOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP EMITTERS AND TURF AREAS SHALL BE WATERED BY SPRAY HEADS OR ROTORS.

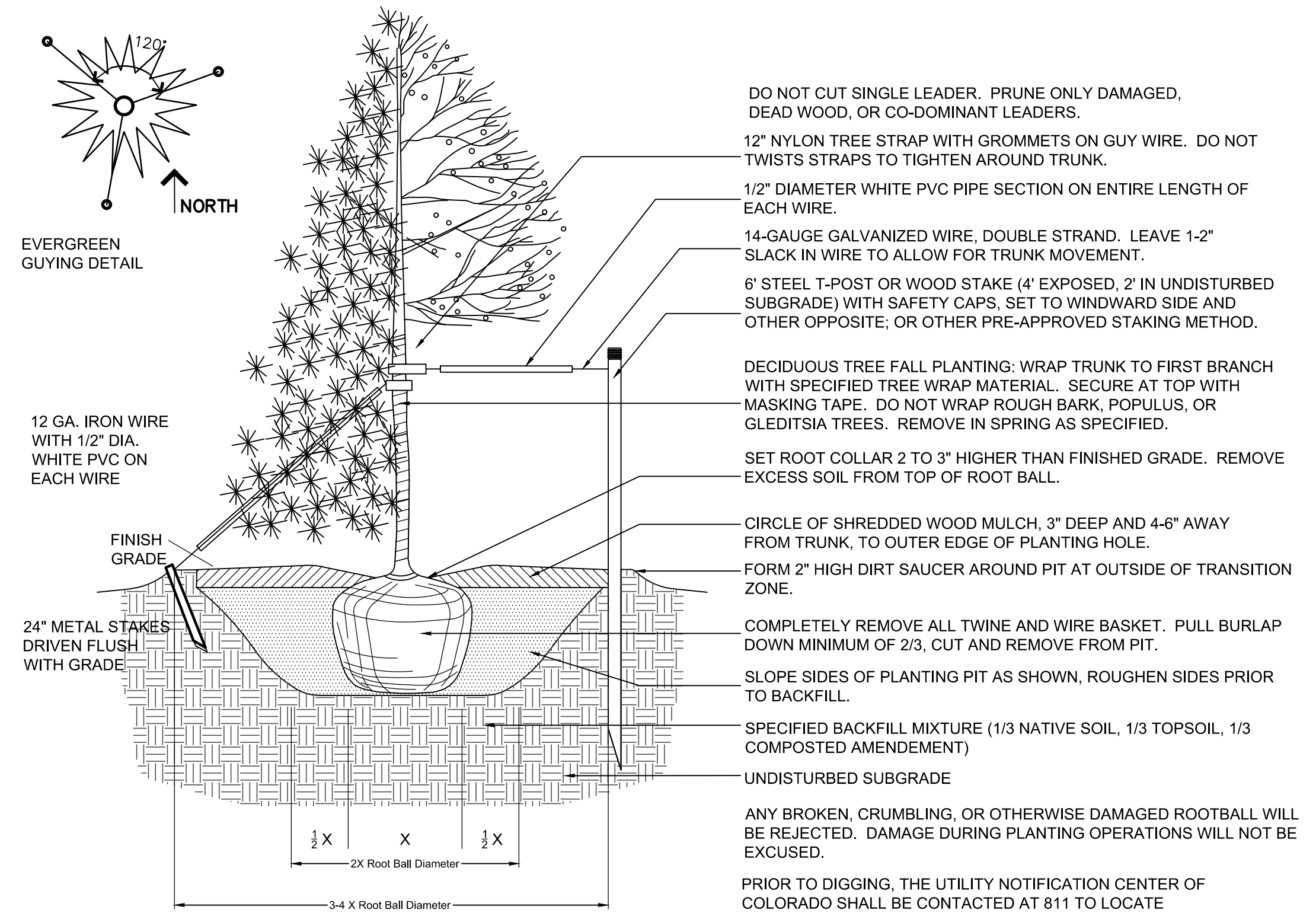
SEEDING NOTES:

1. SEE PLAN VIEW FOR:
 - AREA OF SEEDING AND MULCHING.
 - TYPE OF SEED MIX (PERMANENT, TEMPORARY, OR LOW-GROWTH).
2. SEEDED NATIVE TURF AREAS SHALL BE DRILL SEEDED WITH TACKIFIER PER THE SEED MIX LISTED ON THE PLAN. SOIL PREPARATION & FINE GRADING SHALL BE INSTALLED & PERFORMED AS SPECIFIED PRIOR TO BEGINNING SEEDING; IRRIGATION SHALL BE OPERABLE PRIOR TO BEGINNING SEEDING OPERATIONS. DO NOT SEED ON FROZEN GROUND.
3. ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS SEEDS AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAW WEED AND LEAFY SPURGE.
4. THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE. SEED TICKETS SHALL BE PROVIDED TO THE CITY UPON REQUEST.
5. DRILL SEEDING MIX SHALL CONFORM TO THE APPROPRIATE MIX AS SHOWN ON THE PLANS.
6. IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO CONTRACTOR AND FORWARDED TO THE CITY INSPECTOR.
7. THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).
8. ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL OR APPROVED SOIL AMENDMENTS SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH). HAUL ROADS AND OTHER COMPACTED AREAS SHALL BE LOOSENEED TO A DEPTH OF 8 INCHES PRIOR TO SPREADING TOPSOIL.
9. SOIL IS TO BE THOROUGHLY LOOSENEED (TILLED) TO A DEPTH OF AT LEAST 8 INCHES PRIOR TO SEEDING. THE TOP 8 INCHES OF THE SEED BED SHALL BE FREE OF ROCKS GREATER THAN 4 INCHES AND SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER ANY COMPACTED AREAS THAT HAVEN'T BEEN THOROUGHLY LOOSENEED SHALL BE REJECTED.
10. SEED IS TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH OF 1/4 INCH. ROW SPACING SHALL BE NO MORE THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF LONG-STEMMED STRAW, AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE 10 INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 2 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 4000 LB. OF STRAW PER ACRE.
11. IF THE CONTRACTOR DEMONSTRATES THAT IT IS NOT POSSIBLE TO DRILL SEED, SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILLED RATE, THEN LIGHTLY HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1-1/4 INCH, THEN ROLLED TO COMPACT, THEN MULCHED AS SPECIFIED ABOVE.
12. SEEDING AND MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF INITIAL EXPOSURE OR 7 DAYS AFTER GRADING IS SUBSTANTIALLY COMPLETE IN A GIVEN AREA (AS DEFINED BY THE CITY. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR SEEDING AND MULCHING.
13. HYDROMULCH SHALL BE APPLIED WITHIN 24-HOURS OF SEEDING. SEEDING SHALL RECEIVE & BE COVERED WITH A HYDRO-SLURRY MIX AS FOLLOWS:
 - CELLULOSE/ WOOD FIBER MULCH @ 46 LBS PER 1000 SF
 - 15-15-15 GRANULAR ORGANIC FERTILIZER @ 9 LBS PER 1000 SF
 - ORGANIC TACKIFIER/ BINDER @ 4 LBS PER 1000 SF
14. SLOPES 3:1 TO 2.5:1 SHALL BE COVERED WITH NORTH AMERICAN GREEN S150 EROSION CONTROL MAT OR APPROVED EQUAL. NORTH AMERICAN GREEN, 5401 ST WENDEL CYNTHIANA RD, POSEYVILLE, IN 47633 (812) 963-3373.

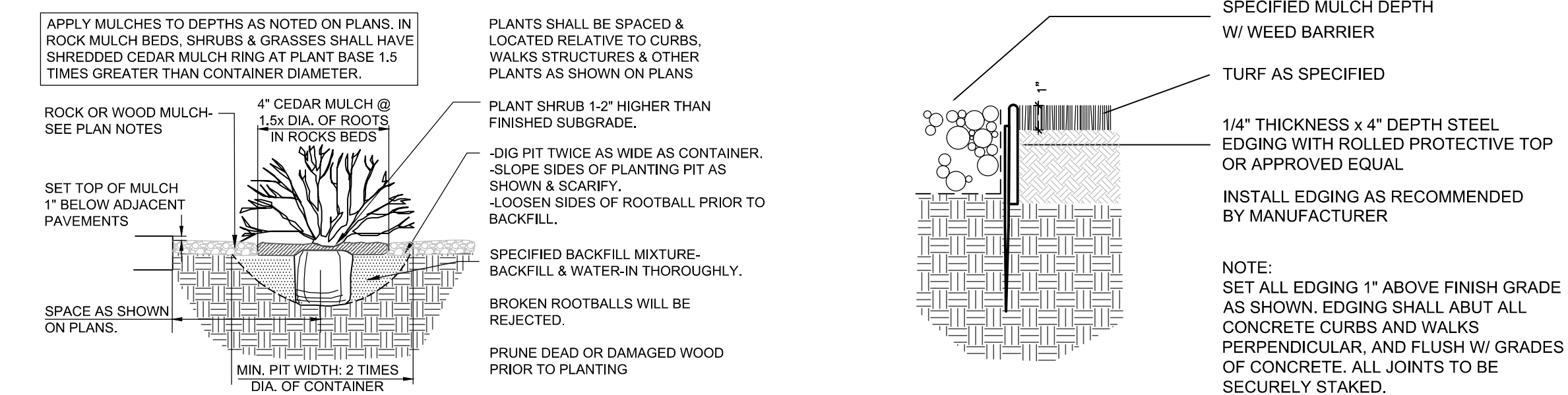
SEEDING AND MULCHING MAINTENANCE NOTES:

1. SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY THROUGHOUT THE WARRANTY PERIOD FOLLOWING INITIAL SEEDING. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST GROWING SEASON FOR ANY AREAS FAILING TO MEET THE REQUIRED COVERAGE.
2. REQUIRED COVERAGE FOR STANDARD, OPEN SPACE AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:
 - a. THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES. THE 3 PLANTS PER SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES FOUND IN THE CITY APPROVED MIX.
 - b. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
 - c. FREE OF ERODED AREAS.
 - d. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.
3. REQUIRED COVERAGE FOR TURF GRASS AREAS SHALL BE DEFINED AS FOLLOWS:
 - a. AT LEAST 80% VEGETATIVE COVER OF GRASS SPECIES PLANTED.
 - b. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
 - c. FREE OF ERODED AREAS.
 - d. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.
4. RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY THE CITY.

NOTE: CONTRACTOR SHALL PROVIDE ADEQUATE MOISTURE VIA HAND-WATERING OR OTHER METHOD TO GERMINATE AND ESTABLISH NATIVE TURF AREAS FOR ACCEPTANCE AS DESCRIBED ABOVE.

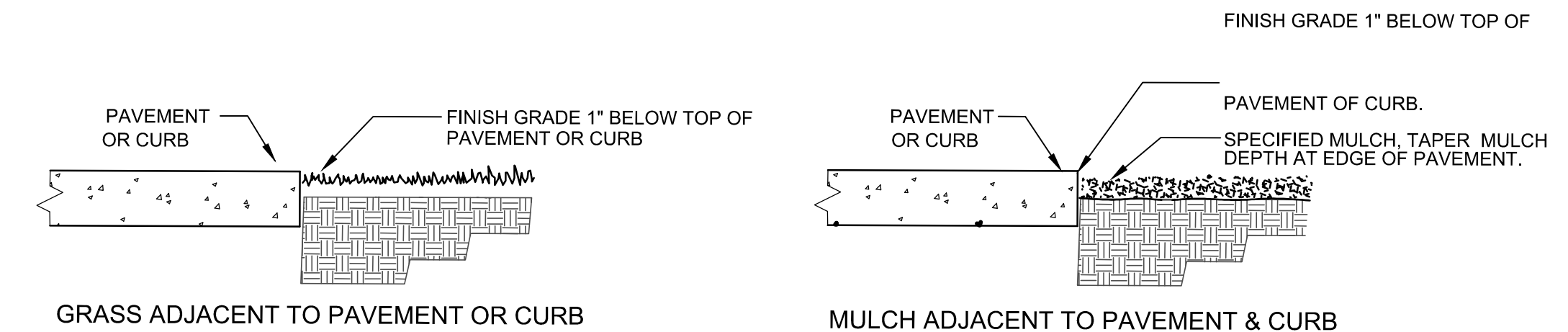


Typical Tree Planting Detail



Shrub Planting Detail

Edger



Typical Landscape Edges

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THOMAS R. JUMP
150
01/01/2008
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

JDC

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PLANNING & LANDSCAPE ARCHITECTURE
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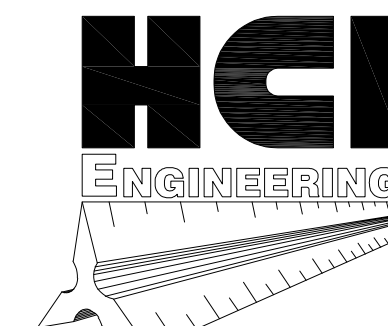
No.	Date:	Description:
1	05.08.23	CITY COMMENTS

Project No:
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Landscape Details
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Number:

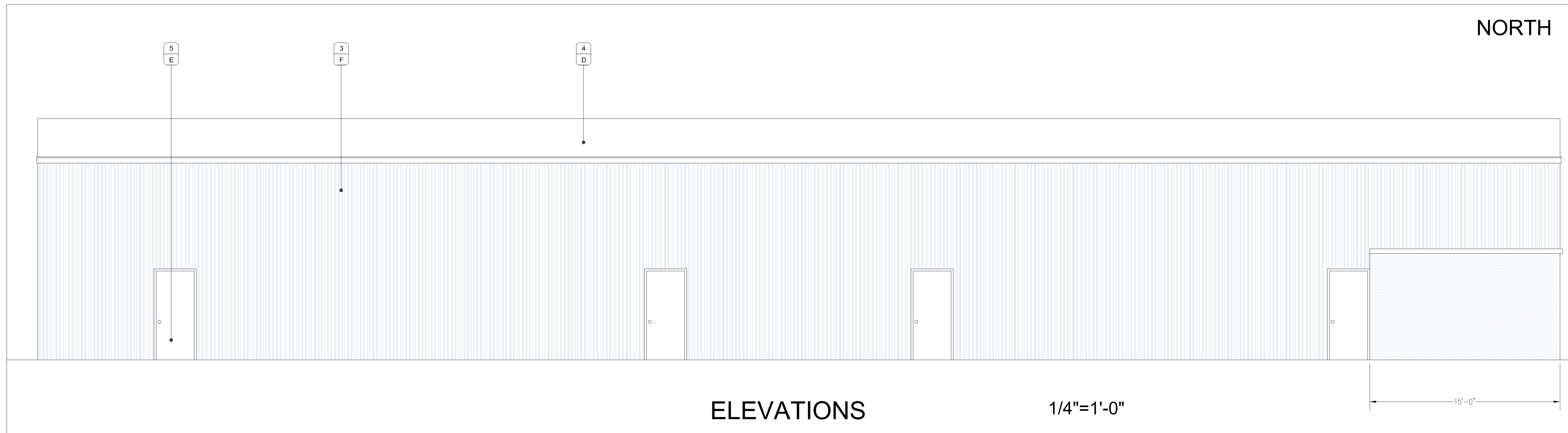
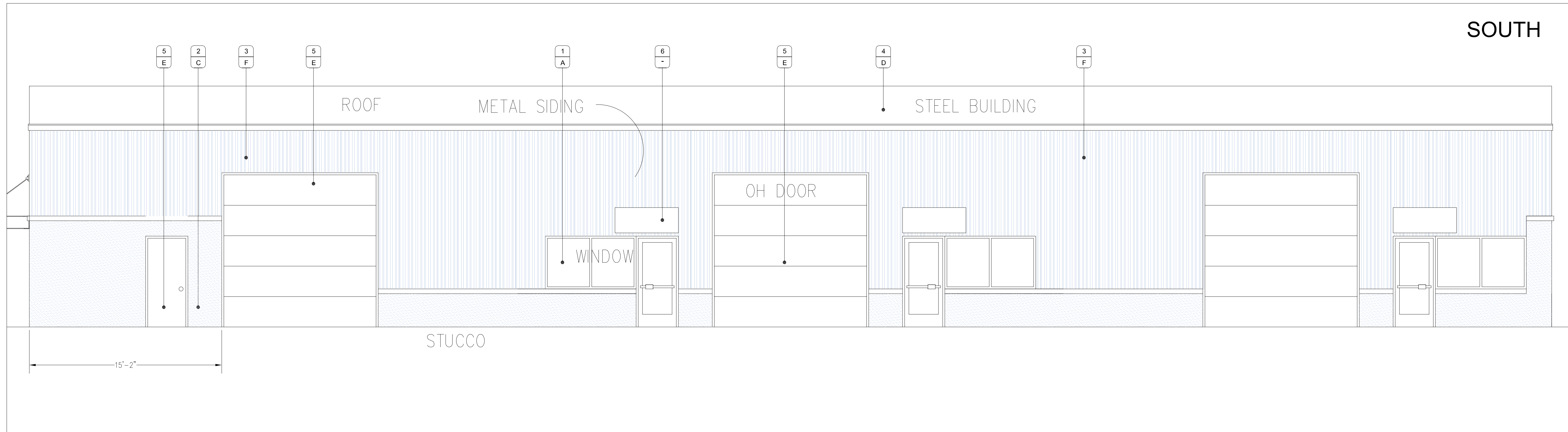
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8550 ROSEMARY DEVELOPMENT PLANS

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
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A DIVISION OF
HABERER CARPENTRY INC.
821 SOUTHPARK DR., SUITE 1000
LITTLETON CO, 80120
PHONE: (303) 979-3900
INFO@HABERERGROUP.COM



ELEVATIONS

1/4"=1'-0"

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DEPARTMENT OF COMMUNITY DEVELOPMENT

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DEVELOPMENT PLANS
CITY OF COMMERCE CITY,
COUNTY OF ADAMS,
STATE OF COLORADO

REVISIONS:

No.	Date:	Description:
1	1.21.22	1ST SUB
2	4.14.23	2ND SUB

Project No: HCI 20_01

Drawn By: ZKA

Checked By: TGG

Date Issued: 2023-04-20

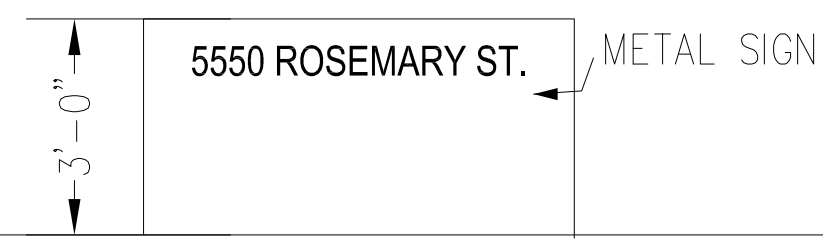
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8550 ROSEMARY DEVELOPMENT PLANS

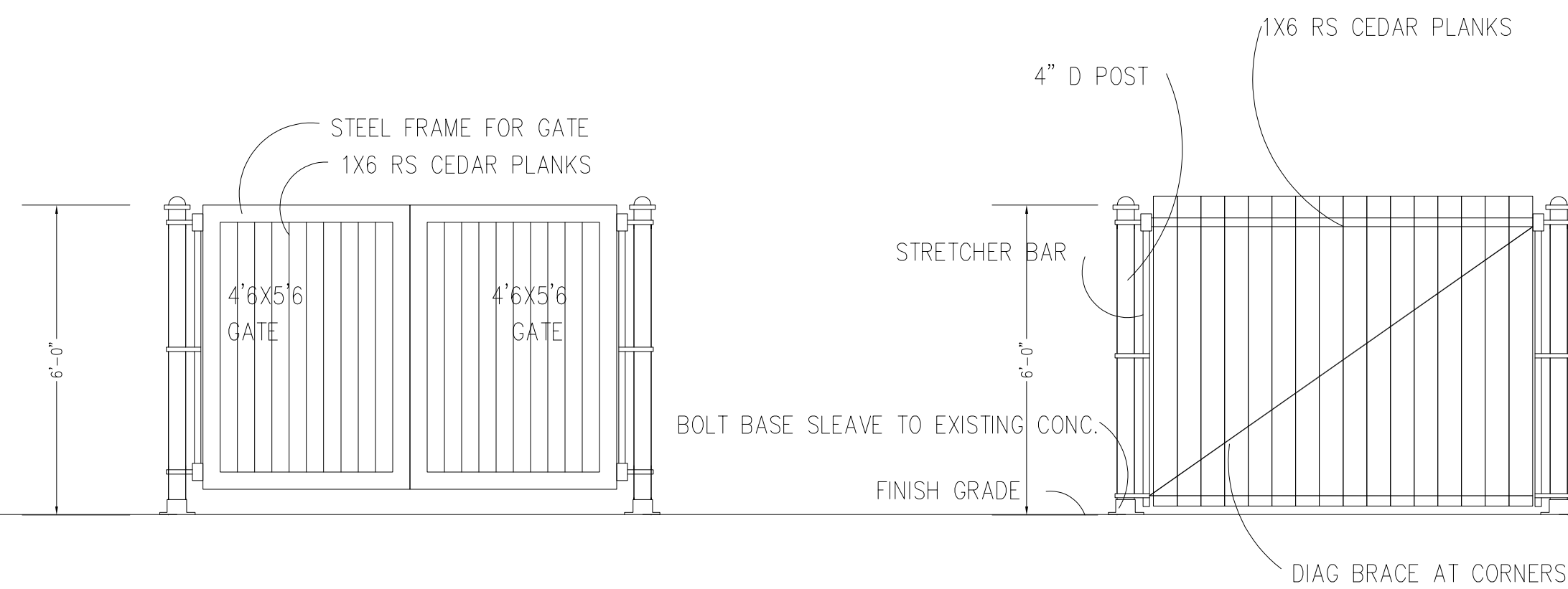
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MONUMENT SIGN



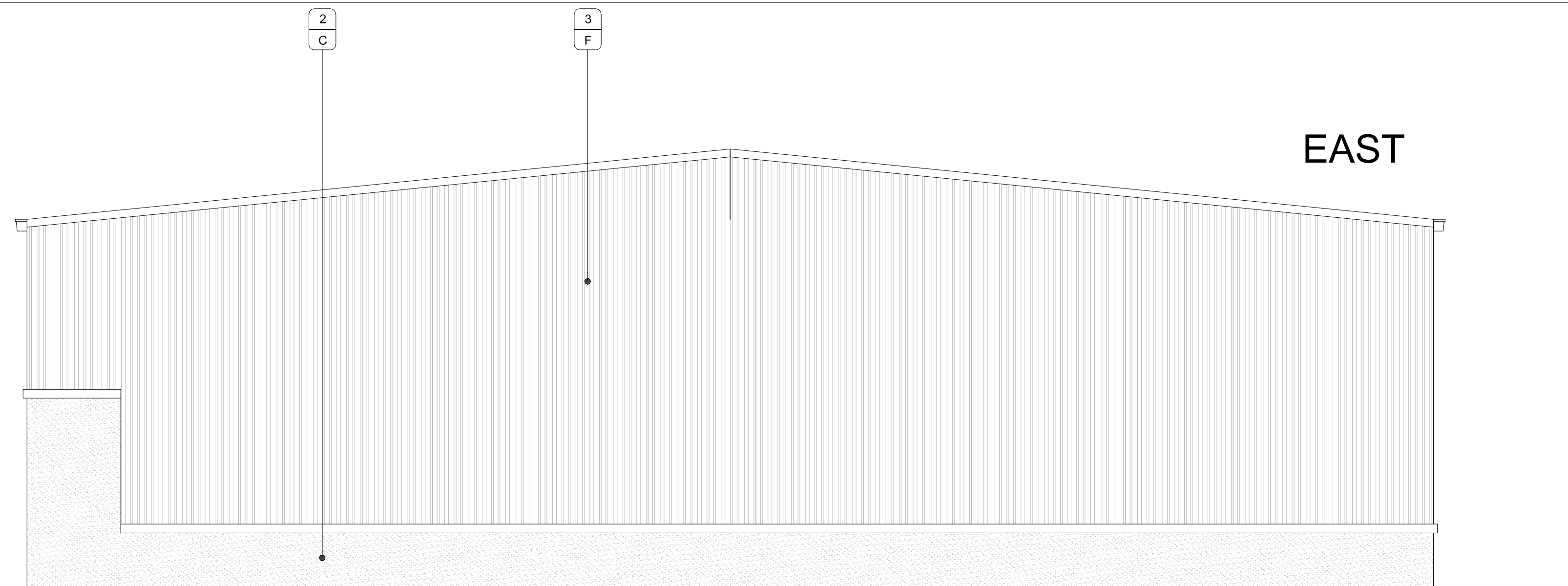
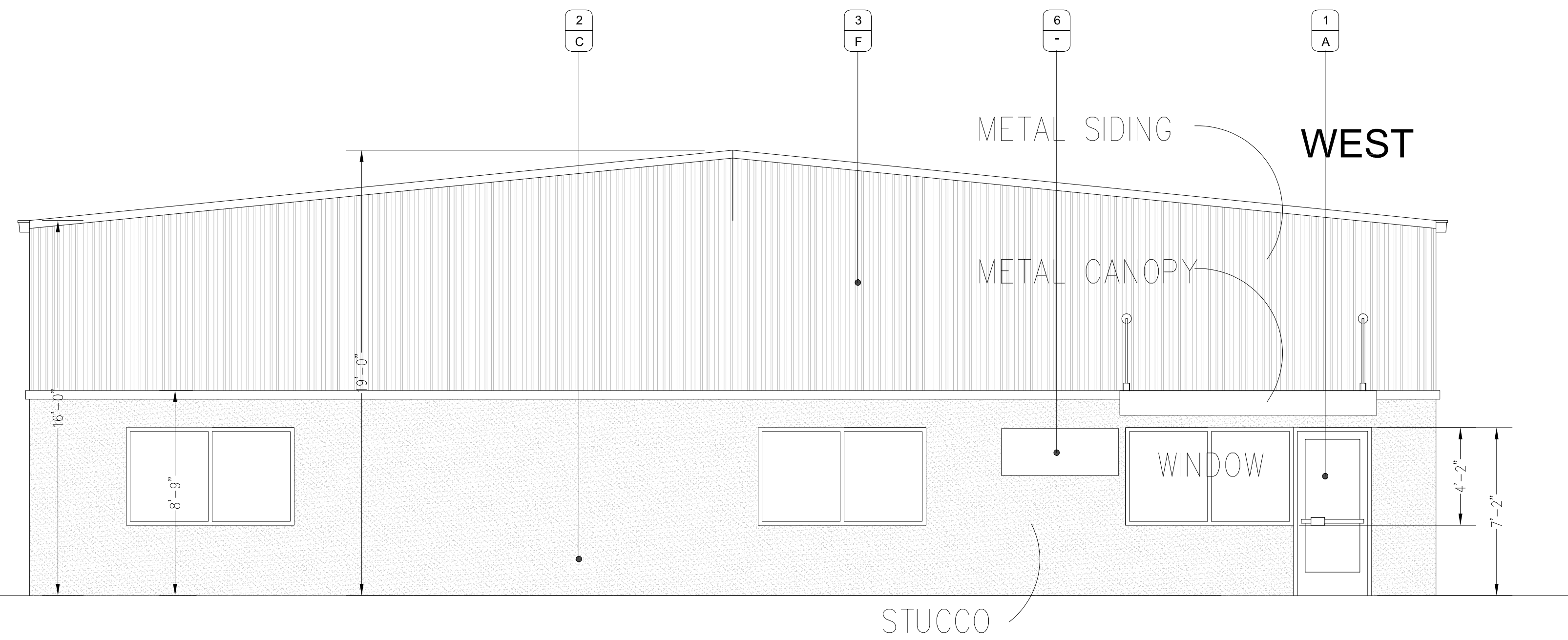
3/8"=1'-0"

TRASH ENCLOSURE



ELEVATIONS

1/4"=1'-0"



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No.	Date:	Description:
1	1.21.22	1ST SUB
2	4.14.23	2ND SUB

Project No: HCI 20_01

Drawn By: ZKA

Checked By: TGG

Date Issued: 2023-04-20

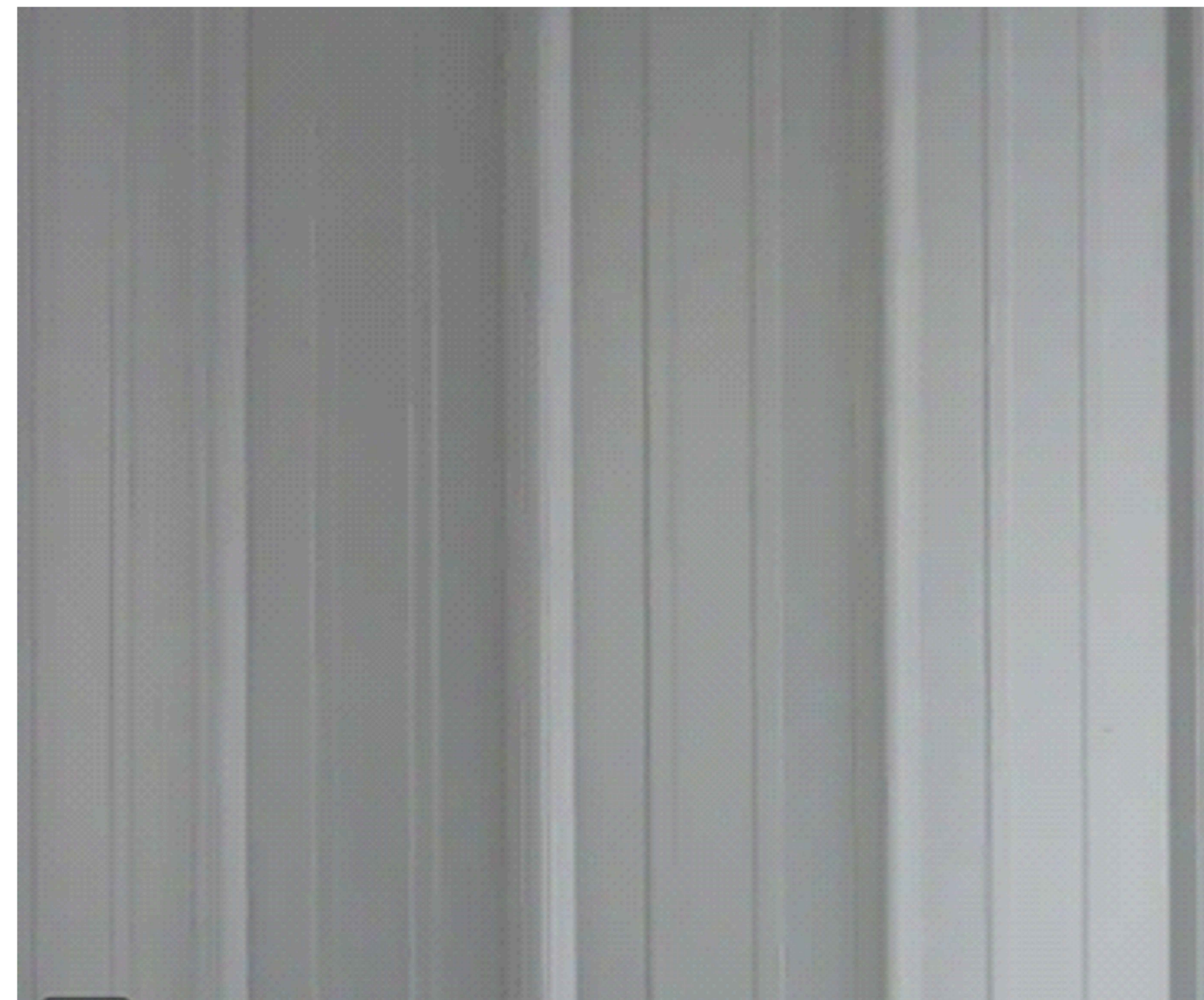
Sheet Name:

Sheet Number:

8550 ROSEMARY DEVELOPMENT PLANS

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

BUILDING SIDINGS	AREA	PERCENTAGE
WEST		
STUCCO	412	40.00%
STOREFRONT	114	11.07%
METAL SIDING	504	48.93%
TOTAL	1030	
EAST		
STUCCO	203	19.71%
METAL SIDING	827	80.29%
TOTAL	1030	
NORTH		
STUCCO	131	7.04%
DOORS	96	5.16%
METAL SIDING	1633	87.80%
TOTAL	1860	
SOUTH		
STUCCO	294	15.81%
STOREFRONT	162	8.71%
DOORS	450	24.19%
METAL SIDING	954	51.29%
TOTAL	1860	



SIDING

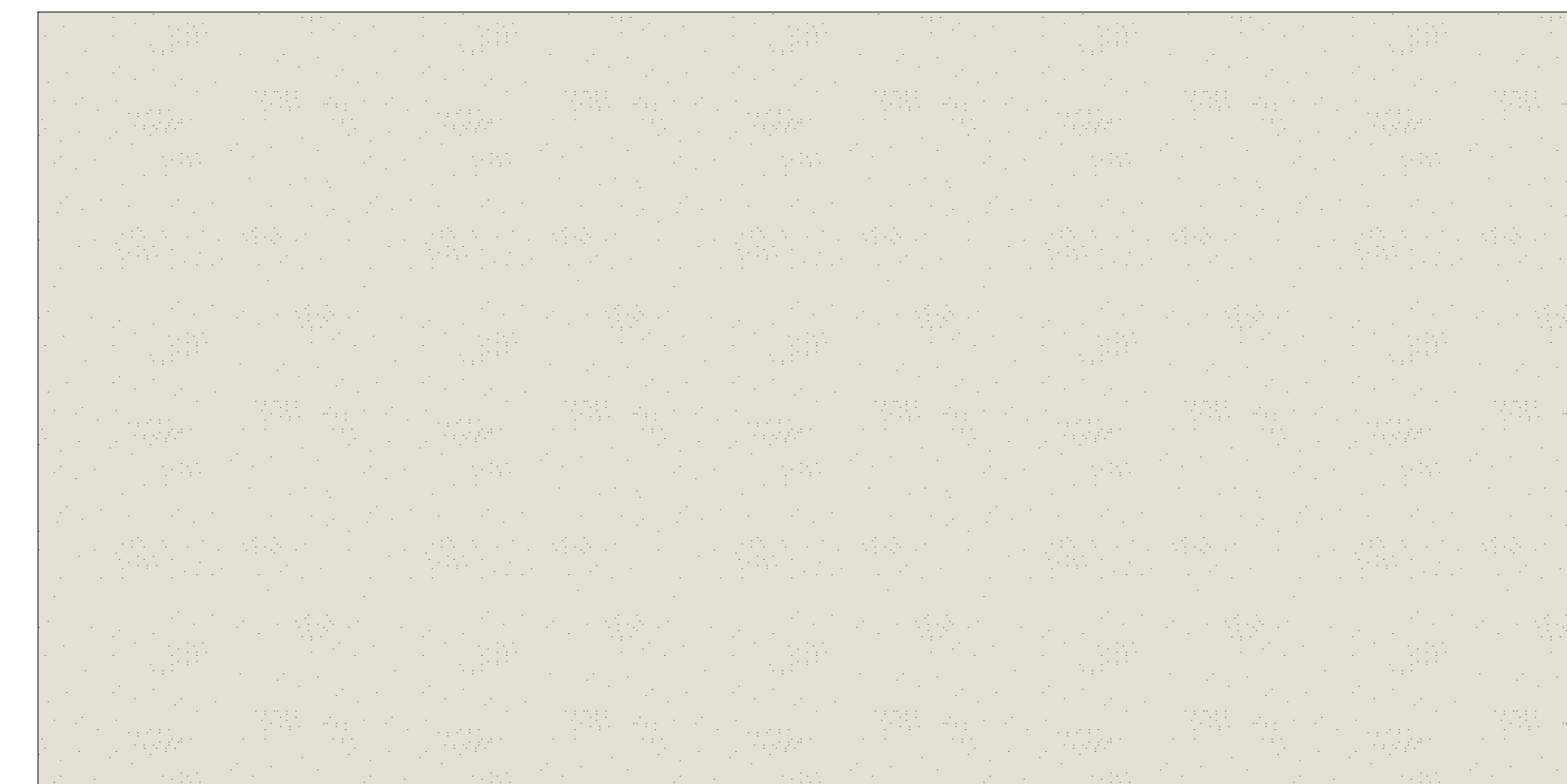


STOREFRONT

MATERIAL/COLOR SCHEDULE		MATERIAL #	FINISH X
MATERIALS			
1.	ALUMINUM STOREFRONT W/ 1" INSULATED GLAZING		
2.	STUCCO		
3.	PREFINISHED METAL SIDING		
4.	PREFINISHED METAL ROOFING		
5.	HOLLOW METAL DOOR AND FRAME		
6.	FUTURE SIGNAGE - UNDER SEPARATE PERMIT		
COLORS			
STOREFRONT SYSTEMS		METAL ROOFING	
A.	ANODIZED BRONZE	D.	CHARCOAL GRAY
STUCCO		HM DOOR AND FRAME	
C.	BEIGE	E.	BRONZE
METAL SIDING			
F.	LIGHT GRAY		



ROOF



STUCCO

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

PIN: 0172100000008



Know what's below,
Call before you dig.



CALL 811 2-BUSINESS DAYS IN
ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND
MEMBER UTILITIES.

8550 ROSEMARY
DEVELOPMENT PLANS
CITY OF COMMERCE CITY,
COUNTY OF ADAMS,
STATE OF COLORADO

REVISIONS:		
No.	Date	Description
1	1.21.22	1ST SUB
2	4.14.23	2ND SUB

Project No: HCI 20_01

Drawn By: ZKA

Checked By: TGG

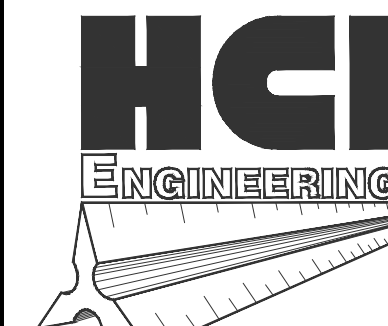
Date Issued: 2023-04-20

Sheet Name:

Sheet
Number:

8550 ROSEMARY DEVELOPMENT PLANS

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



A DIVISION OF
HABERER CARPENTRY INC.
821 SOUTHPARK DR., SUITE 1000
LITTLETON CO, 80120
PHONE: (303) 979-3900
INFO@HABERERGROUP.COM

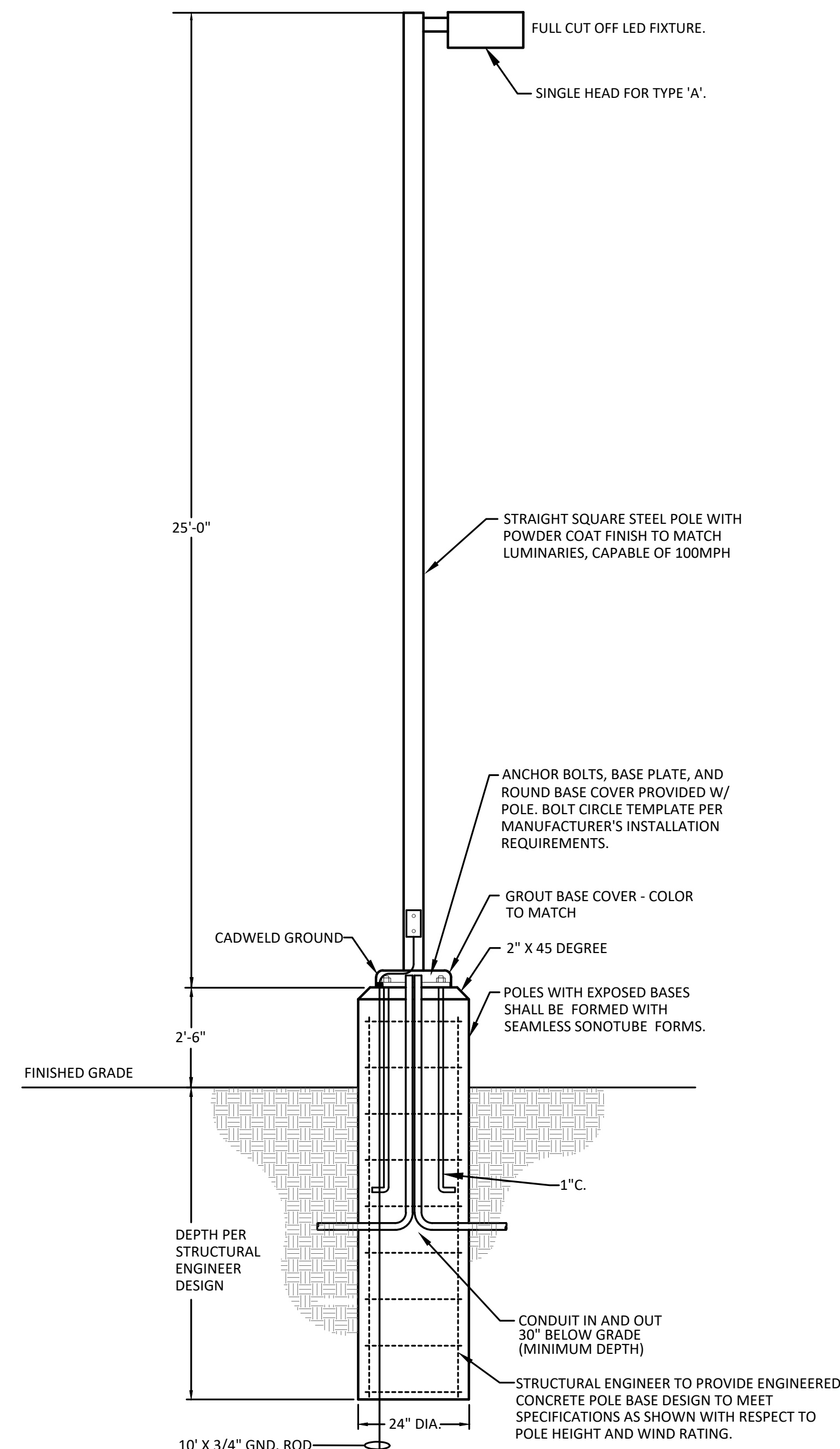
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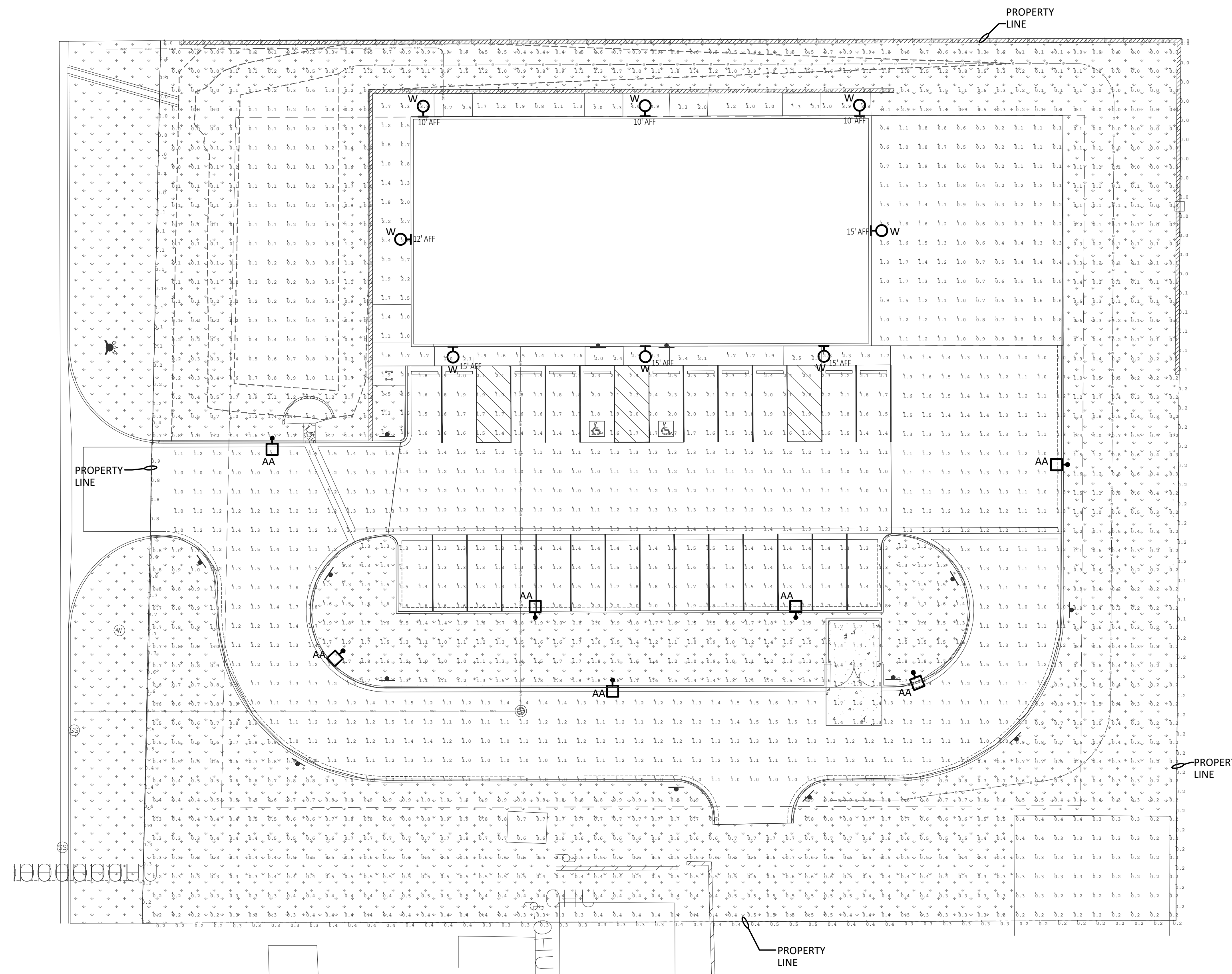
8550 ROSEMARY DEVELOPMENT PLANS CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

FILENAME: D:\GROW\2GUYSD\TA\Rossi\Eng Projects\2023\23-038\Planning\23-038_Rosemary_Planning_Electrical.dwg PLOTDATE: 2023-05-05



**TYPE 'AA' POLE BASE
DETAIL - ELEVATED BASE**

NOT TO SCALE



1 SITE LIGHTING PLAN
SCALE: 1"=20'-0"

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Driveway	Illuminance	Fc	1.21	1.9	1.0	1.21	1.90
Exterior Door #1	Illuminance	Fc	1.70	2.1	1.3	1.31	1.62
Exterior Door #2	Illuminance	Fc	2.65	3.3	2.0	1.33	1.65
Exterior Door #3	Illuminance	Fc	2.65	3.3	2.0	1.33	1.65
Exterior Door #4	Illuminance	Fc	3.10	3.7	2.5	1.24	1.48
Exterior Door #5	Illuminance	Fc	1.13	1.4	1.0	1.13	1.40
Exterior Door #6	Illuminance	Fc	2.05	2.1	2.0	1.03	1.05
Exterior Door #7	Illuminance	Fc	2.20	2.4	2.0	1.10	1.20
Exterior Door #8	Illuminance	Fc	2.25	2.4	2.1	1.07	1.14
Exterior Door #9	Illuminance	Fc	2.45	2.5	2.4	1.02	1.04
Future Building	Illuminance	Fc	0.77	1.7	0.1	7.70	17.00
Island Landscape	Illuminance	Fc	1.49	2.0	0.9	1.66	2.22
Landscape	Illuminance	Fc	0.48	4.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.49	2.5	1.0	1.49	2.50
Property Line	Illuminance	Fc	0.26	0.9	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	1.89	4.3	0.5	3.78	8.60
Trash Enclosure	Illuminance	Fc	1.54	1.8	1.3	1.18	1.38

Designation	Lamps		Fixture Characteristics	Fixture Mounting				Fixture Specification		
	# of lamps	Lamp Type		Finish	Method	Ceiling Type	Recess Depth	Manufacturer	Catalog #	Voltage
AA	1	LED - 9,591 Lumens, 66W (3000K)	LED Pole Mounted Fixture with Type IV Forward Throw Distribution	Black	Pole: Overall Height 27'-6" AFF	--	--	McGraw-Edison	GLEON-SA1A-830-U-T4FT-BK	277
W	--	LED - 2,802 Lumens, 20.1 Watts (3000K)	LED Wall Mounted Fixture with Type II Distribution	Black	Wall: As Noted	--	--	McGraw-Edison	IST-SA1A-830-U-T2-BK	277

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

PIN: 0172100000008

No.	Date:	Description:
1	1.21.22	1ST SUB
2	5.05.23	2ND SUB

Project No: 23-038
Drawn By: JWJ
Checked By: VJR
Date Issued: 2023-05-05

Sheet Name:
SITE PHOTOMETRICS

Sheet Number:

PH1.0

8550 ROSEMARY DEVELOPMENT PLANS

A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison GLEON Galleon

Area / Site Luminaire

Product Features

- Interactive Menu
 - Ordering Information page 2
 - Mounting Details page 3
 - Optical Distributions page 4
 - Product Specifications page 4
 - Energy and Performance Data page 4
 - Control Options page 5

Quick Facts

- Lumen packages range from 4,200 - 80,800 (3AW - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Dimensional Details

Number of Light Spheres	"A" Width	"B" Standard Arm Length	"C" Extended Arm Length	"D" Quick Mount Arm Length	"E" Quick Mount Extended Arm Length
1.4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5.6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7.8	27-5/8"	7"	13"	10-5/8"	-
9.10	33-3/4"	7"	16"	-	-

Notes:

1. See catalog for mounting options to confirm specifications. Not all product variations are fully certified.
2. See Catalog for 3000K CCT and warmer only.

PS500202EN page 1 November 08, 2022 10:51 AM

McGraw-Edison GLEON Galleon

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-TAFT-GM

Product Family	Light Engine Configuration	Drive Current	Color Temperature	Voltage	Distribution	Mounting	Finish
AA1-1000	AA1-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA1-1000
AA2-1000	AA2-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA2-1000
AA3-1000	AA3-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA3-1000
AA4-1000	AA4-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA4-1000
AA5-1000	AA5-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA5-1000
AA6-1000	AA6-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA6-1000
AA7-1000	AA7-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA7-1000
AA8-1000	AA8-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA8-1000
AA9-1000	AA9-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA9-1000
AA10-1000	AA10-1000	1000mA	4000K	120V/277V	1-1/2" Type II	Bracket Mount to Bracket or Square Pole	AA10-1000

Notes:

1. See catalog for mounting options to confirm specifications. Not all product variations are fully certified.
2. See Catalog for 3000K CCT and warmer only.

PS500202EN page 2 November 08, 2022 10:51 AM

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison Impact Elite LED

Wall Mount Luminaire

Product Features

- Interactive Menu
 - Ordering Information page 2
 - Product Specifications page 2
 - Energy and Performance Data page 3
 - Control Options page 4

Quick Facts

- 15 Optical Distributions
- Lumen packages range from 2,459 to 11,840 (20W - 95W)
- Efficacy up to 149 lumens per watt

Dimensional Details



Notes:

1. See catalog for mounting options to confirm specifications. Not all product variations are fully certified.
2. See Catalog for 3000K CCT and warmer only.

PS500402EN page 1 February 16, 2022 2:31 PM

McGraw-Edison Impact Elite LED

Ordering Information

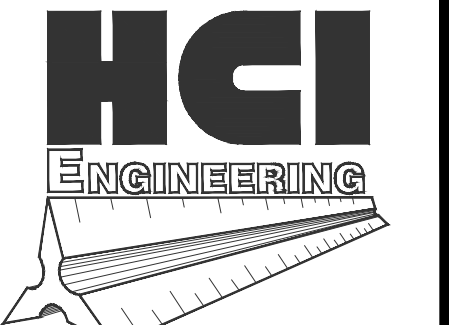
SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

Product Family	Light Engine Configuration	Drive Current	Color Temperature	Voltage	Distribution	Finish
AA1-1000	AA1-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA1-1000
AA2-1000	AA2-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA2-1000
AA3-1000	AA3-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA3-1000
AA4-1000	AA4-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA4-1000
AA5-1000	AA5-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA5-1000
AA6-1000	AA6-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA6-1000
AA7-1000	AA7-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA7-1000
AA8-1000	AA8-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA8-1000
AA9-1000	AA9-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA9-1000
AA10-1000	AA10-1000	1000mA	4000K	120V/277V	1-1/2" Type II	AA10-1000

Notes:

1. See catalog for mounting options to confirm specifications. Not all product variations are fully certified.
2. See Catalog for 3000K CCT and warmer only.

PS500402EN page 2 February 16, 2022 2:31 PM



HCI ENGINEERING

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621 SOUTHPARK DR., SUITE 1400
LITTLETON CO, 80120
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8550 ROSEMARY DEVELOPMENT PLANS
CITY OF COMMERCE CITY,
COUNTY OF ADAMS,
STATE OF COLORADO

REVISIONS:

No.	Date:	Description:
1	1.21.22	1ST SUB
2	5.05.23	2ND SUB

Project No: 23-038
 Drawn By: JWJ
 Checked By: VJR
 Date Issued: 2023-05-05
 Sheet Name: FIXTURE CUT SHEETS
 Sheet Number: **PH2.0**

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

PIN: 0172100000008