

**LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO**

BASIS OF BEARING

THE GPS DERIVED NORTH LINE OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY THE NORTH QUARTER CORNER OF SAID SECTION (BEING A FOUND 3 1/4" ALUMINUM CAP) FROM WHENCE THE NORTHEAST QUARTER CORNER OF SAID SECTION (BEING A FOUND 3 1/4" BRASS CAP) BEARS NORTH 89°40'40" EAST A DISTANCE OF 2641.08 FEET, WITH ALL BEARINGS HEREIN RELATIVE THERETO.

BENCHMARK

FOUND ALUMINUM CAP STAMPED "17468" LOCATED AT THE INTERSECTION OF E 96TH AVE AND YOSEMITE ST. NAVD 88 ELEVATION = 5097.98

LEGAL DESCRIPTION

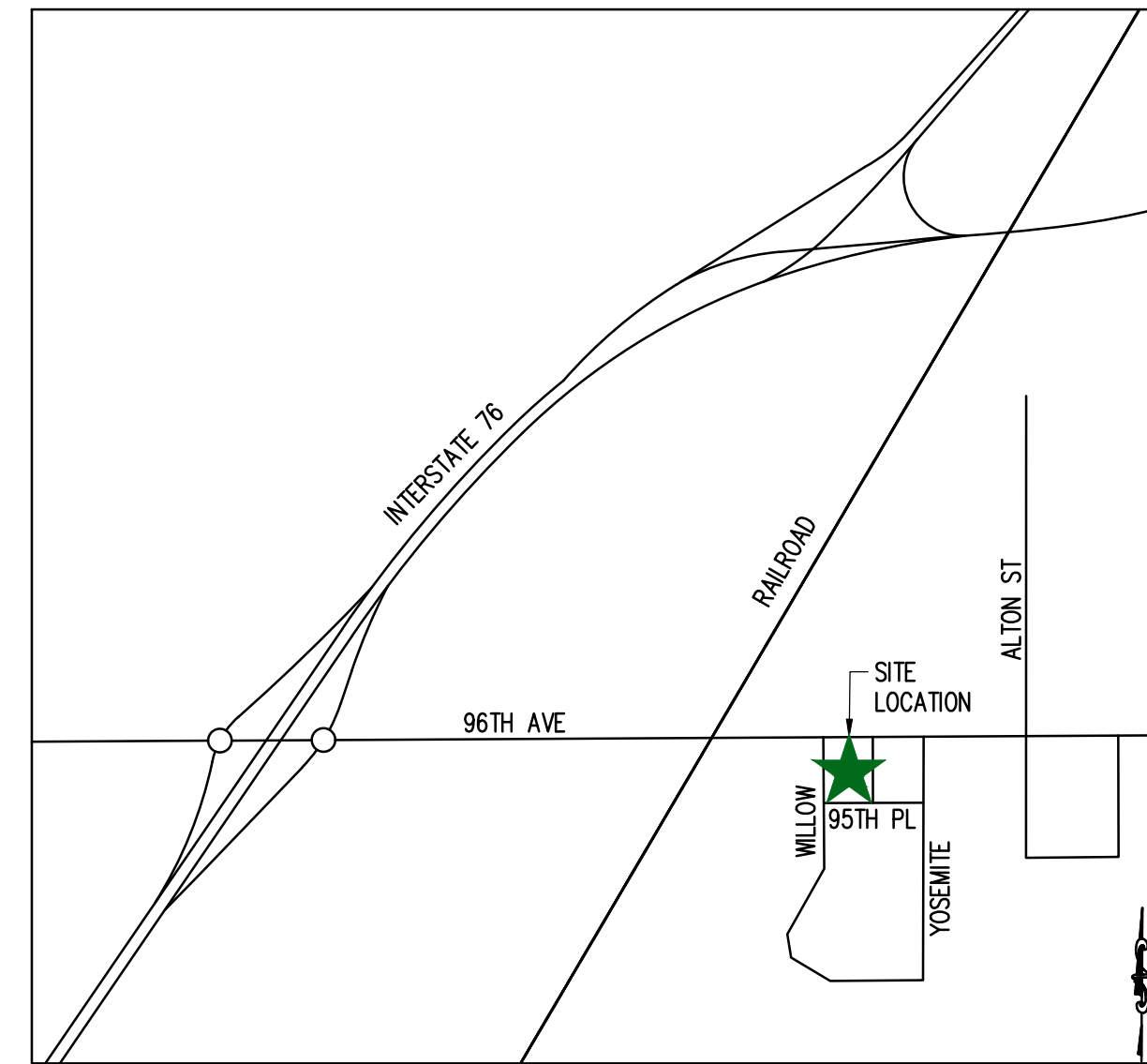
KNOW ALL MEN BY THESE PRESENTS THAT MACKAY HOLDINGS LLC, BEING THE OWNER OF THAT PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

LOT 1, MARTY FARMS SUBDIVISION FILING NO. 6, COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

CONTAINING: 122,403 SQ. FT., OR 2.811 ACRES, MORE OF LESS.

NOTE

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND CITY OF COMMERCE CITY STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY FALCON SURVEYING, INC., DATED 5/07/2020. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITework IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITework WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



VICINITY MAP

1" = 2000'

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PROJECT CONTACTS:

CIVIL ENGINEER
RIDGETOP ENGINEERING AND SURVEYING
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

OWNER/APPLICANT
HOMELAND
2200 S. VALENTIA ST.
DENVER, CO 80231
(303) 909-2508
CONTACT: KAREN KENNEDY

LANDSCAPE ARCHITECT
JUMP DESIGN COMPANY
1733 SOUTH CLARKSON ST.
DENVER, CO 80210
(303) 282-0463
CONTACT: TOM JUMP

SURVEYOR
FALCON SURVEYING, INC.
9940 W. 25TH AVE
LAKEWOOD, CO 80215
(303) 202-1560
CONTACT: JEFF MACKENNA

GEOTECH
KUMAR & ASSOCIATES, INC
2390 SOUTH LIPAN STREET
DENVER, CO 80223
(303) 742-9700
CONTACT: CHAD BRINGLE

ARCHITECT
STUDIO DH ARCHITECTURE
1300 JACKSON ST, SUITE 200
GOLDEN, CO 80401
(720) 214-0342
CONTACT: JUSTIN FRIES

PHOTOMETRICS
COLUMBINE ENGINEERING
7175 W. JEFFERSON AVE, SUITE 1000
LAKEWOOD, CO 80235
(720) 536-5150
CONTACT: JOHN LANG

COMMERCE CITY NOTES

PROJECT IS PART OF THE "MARTY FARMS INDUSTRIAL CENTER - AMENDMENT NO. 2 PUD".

LIGHTING NOTE:
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE:
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE:
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE:
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO THE DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS, HOWEVER, THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.

FENCING NOTE:
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.

DOWNSPOUT NOTE:
NO DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICANS WITH DISABILITIES NOTE:
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE:
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

DEMOLITION NOTE:
ALL EXISTING BUILDINGS AND APPURTENANCES WILL BE DEMOLISHED AS PART OF THIS PROJECT.

LOGO



SEAL

PROJECT TITLE

**MARTY FARMS;
LOT 1**

9584 WILLOW COURT
COMMERCE CITY, CO

PREPARED FOR

HOMELAND

2200 S VALENTIA ST
DENVER, CO 80231

SUBMITTAL

DEVELOPMENT PLAN

DRAWN BY: RSB

CHECKED BY: MRB

PROJECT NO.: 20-143-001

REVISIONS

COMMENTS 1/5/22

COMMENTS 5/17/22

COMMENTS 9/15/22

DATE

7/23/2021

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 of 9

APN: 172121103002
CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____
DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
 LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

[Symbol]	STANDARD DUTY ASPHALT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE SIDEWALK
[Symbol]	PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	CURB AND GUTTER
[Symbol]	CURB AND GUTTER - PAINTED FIRE LANE
[Symbol]	SAWCUT
[Symbol]	EDGE OF PAVEMENT

SITE DATA

LOT 1 (MARTY FARMS FILING #6) NET = 53,112 SF (1.219 AC)
 LOT 1 (MARTY FARMS FILING #6) GROSS = 53,112 SF (1.219 AC)
 SITE ADDRESS: 9584 WILLOW COURT, COMMERCE CITY, CO
 PARCEL IDENTIFICATION NUMBER: 0172121103002
 ANTICIPATED # OF EMPLOYEES: 2 to 3 PER SHIFT
 TYPE OF CONSTRUCTION: WOOD FRAMED
 ZONING (PROPOSED & EXISTING): PUD
 MAXIMUM BUILDING HEIGHT: 50'
 MAX. BUILDING SETBACK: 20'
 LANDSCAPE AREA: 17,193 SF (32.4%)
 VACANT LAND: 19,350 SF (36.4%)
 FAR: 3,000/53,112 = 5.6%

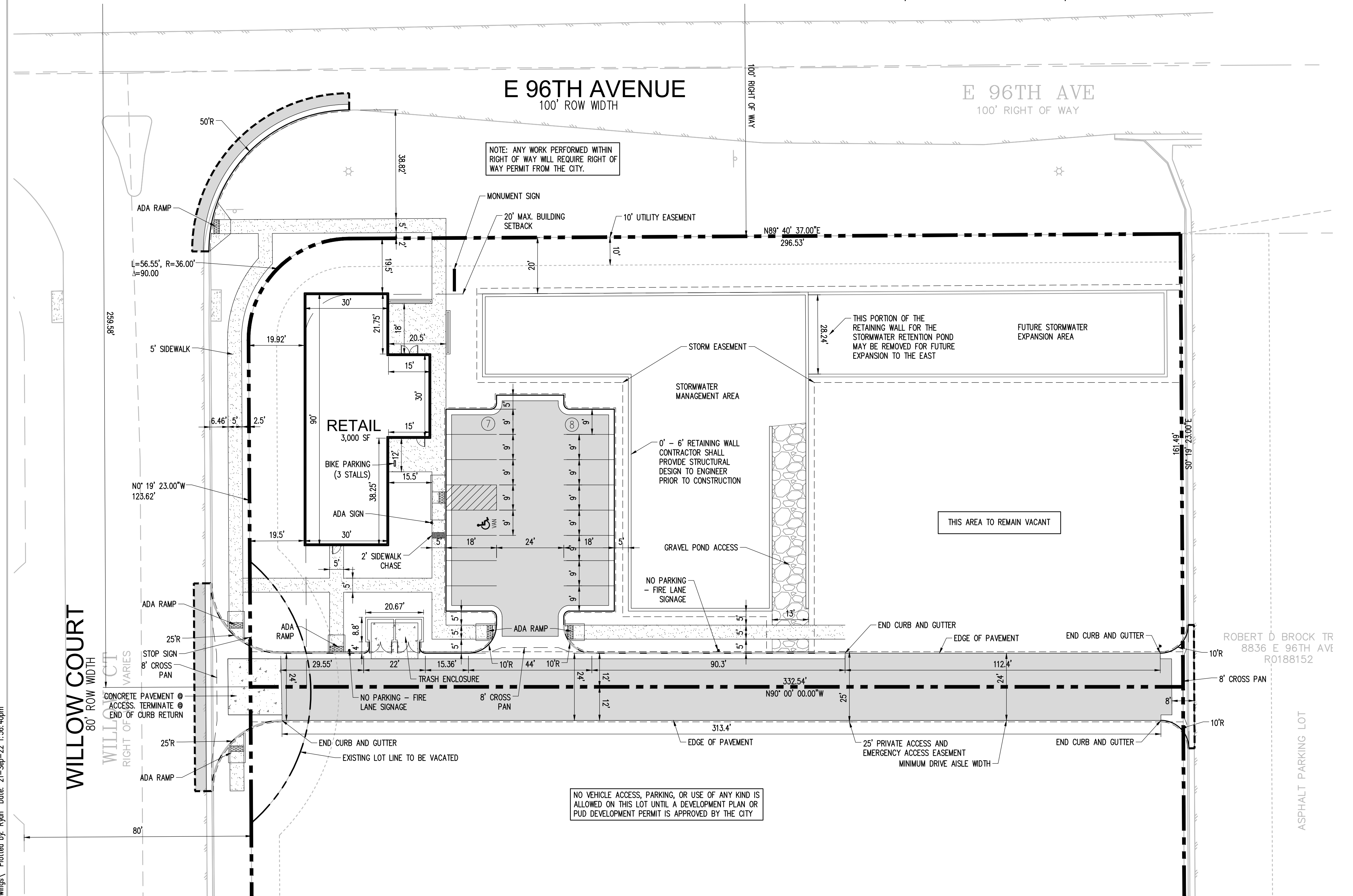
BUILDING DATA

	FLOOR AREA (FAR %)
RETAIL:	= 3,000 SF (5.6%)

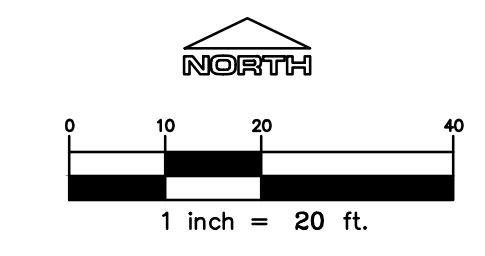
PARKING DATA

PARKING PROVIDED
 STANDARD STALLS = 14 STALLS
 ACCESSIBLE STALLS = 1 STALLS
 TOTAL STALLS = 15 STALLS

PARKING REQUIRED:
 MIN: 1 STALL / 300 SF = 10
 MAX: 150% OF MIN = 15
 BIKE PARKING = 3 SPACES



- NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY FALCON SURVEYING, INC., DATED 05/07/2020. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - CAUTION - NOTICE TO CONTRACTOR**
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - DIMENSIONS SHOWN REFER TO EDGE OF PAVEMENT, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
 - ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE HEAVY DUTY PAVEMENT UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY. RIGHT OF WAY PERMIT FROM PUBLIC WORKS REQUIRED FOR ALL WORK DONE WITHIN THE RIGHT OF WAY.
 - REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION. (SEE SHEET CS-1)
 - ALL ON-SITE PAINTED STRIPING SHALL BE SINGLE COATED.
 - PARKING LOT STRIPING SHALL BE YELLOW, 4" WIDTH, UNLESS OTHERWISE NOTED. LIGHT POLE BASES TO BE PAINTED TRAFFIC YELLOW (DOUBLE COAT)
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB AND GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CURB RADII ADJACENT TO PARKING STALLS SHALL BE 2'. ALL OTHER CURB RADII SHALL BE 10', UNLESS OTHERWISE NOTED.



CITY STAFF CERTIFICATE:
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

PROJECT TITLE
MARTY FARMS; LOT 1

PREPARED FOR
HOMELAND

2200 S VALENTIA ST
 DENVER, CO 80231

DATE
7/23/2021

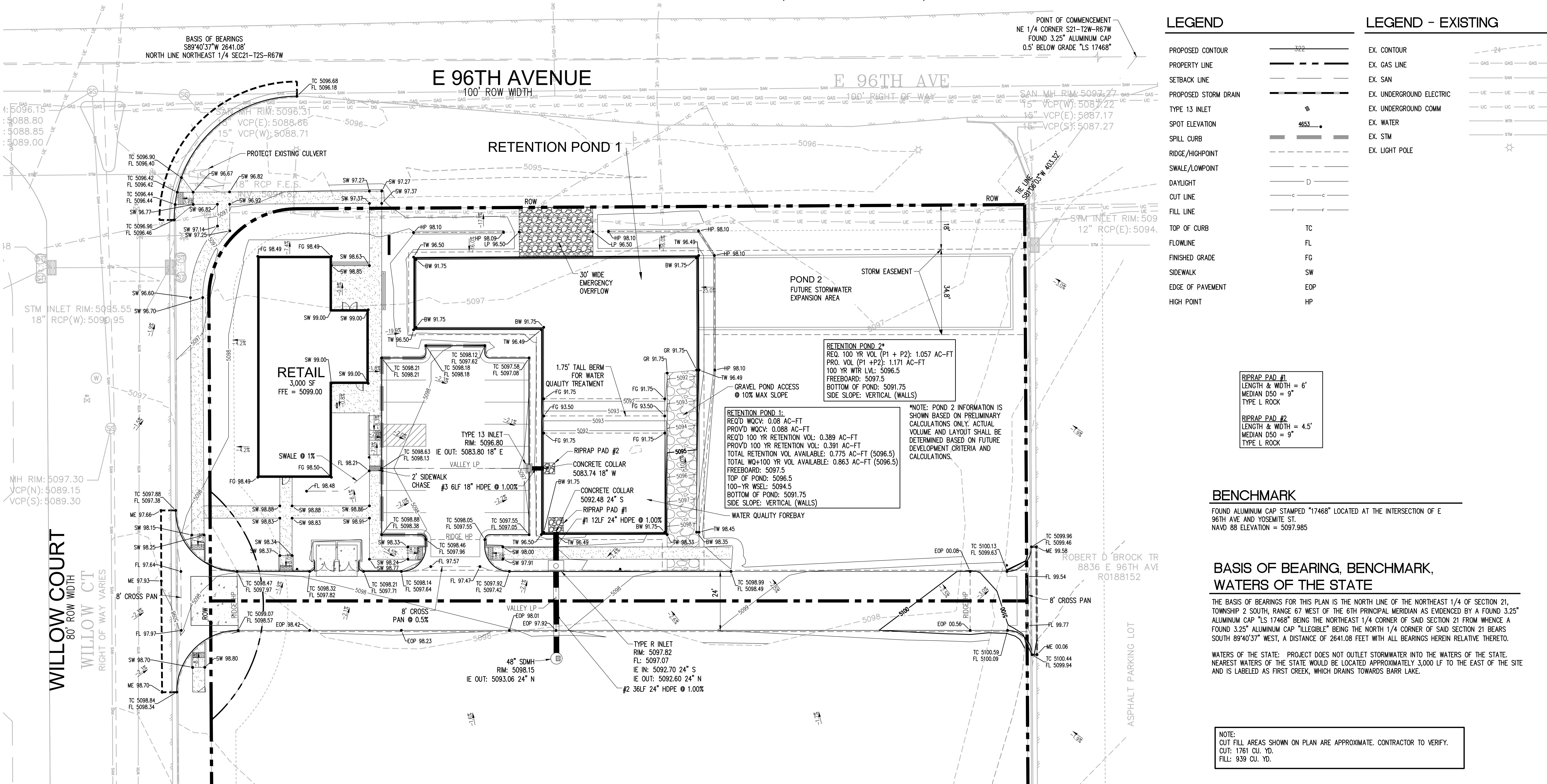
SHEET TITLE
SITE PLAN

SHEET INFORMATION
C-1.0

2 of 9

File: C:\H1005.dwg Plot: P:\Colorado\Commerce City\Homeland\Marty Farms #20-143-001\Drawings\ Plotted by: Ryan Date: 21-Sep-22 1:56:40pm

LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

PROPOSED CONTOUR	---
PROPERTY LINE	---
SETBACK LINE	---
PROPOSED STORM DRAIN	---
TYPE 13 INLET	---
SPOT ELEVATION	4553
SPILL CURB	---
RIDGE/HIGHPOINT	---
SWALE/LOWPOINT	---
DAYLIGHT	---
CUT LINE	---
FILL LINE	---
TOP OF CURB	TC
FLOWLINE	FL
FINISHED GRADE	FG
SIDEWALK	SW
EDGE OF PAVEMENT	EOP
HIGH POINT	HP

LEGEND - EXISTING

EX. CONTOUR	---
EX. GAS LINE	---
EX. SAN	---
EX. UNDERGROUND ELECTRIC	---
EX. UNDERGROUND COMM	---
EX. WATER	---
EX. STM	---
EX. LIGHT POLE	---

RIPRAP PAD #1
 LENGTH & WIDTH = 6'
 MEDIAN D50 = 9"
 TYPE L ROCK

RIPRAP PAD #2
 LENGTH & WIDTH = 4.5'
 MEDIAN D50 = 9"
 TYPE L ROCK

BENCHMARK

FOUND ALUMINUM CAP STAMPED "17468" LOCATED AT THE INTERSECTION OF E 96TH AVE. AND YOSEMITE ST.
 NAVD 88 ELEVATION = 5097.985

BASIS OF BEARING, BENCHMARK, WATERS OF THE STATE

THE BASIS OF BEARINGS FOR THIS PLAN IS THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY A FOUND 3.25" ALUMINUM CAP "LS 17468" BEING THE NORTHEAST 1/4 CORNER OF SAID SECTION 21 FROM WHENCE A FOUND 3.25" ALUMINUM CAP "ILLEGIBLE" BEING THE NORTH 1/4 CORNER OF SAID SECTION 21 BEARS SOUTH 89°40'37" WEST, A DISTANCE OF 2641.08 FEET WITH ALL BEARINGS HEREIN RELATIVE THERETO.

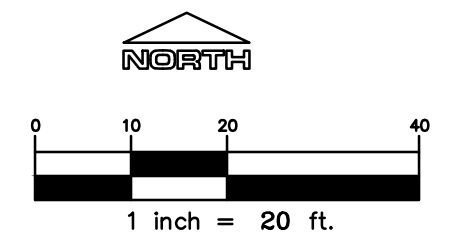
WATERS OF THE STATE: PROJECT DOES NOT OUTLET STORMWATER INTO THE WATERS OF THE STATE. NEAREST WATERS OF THE STATE WOULD BE LOCATED APPROXIMATELY 3,000 LF TO THE EAST OF THE SITE AND IS LABELED AS FIRST CREEK, WHICH DRAINS TOWARDS BARR LAKE.

NOTE:
 CUT/FILL AREAS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO VERIFY.
 CUT: 1761 CU. YD.
 FILL: 939 CU. YD.

COMMERCE CITY GRADING NOTES

- THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO COMMENCING GRADING. THE FOLLOWING GENERAL NOTES SHOULD BE INCLUDED ON THE GRADING PLANS WHEN APPLICABLE:
- GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED DRAINAGE AND SITE PLAN.
- A WATER TRUCK SHALL BE KEPT ON-SITE TO CONTROL WIND EROSION AND DUST.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- NO GRADING SHALL TAKE PLACE IN ANY DELINEATED FLOOD HAZARD AREA UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. UPON WRITTEN NOTICE BY THE CITY, FAILURE TO REMOVE THE MUD OR DEBRIS BY THE CONTRACTOR WITHIN 24 HOURS SHALL CAUSE THE CITY TO STOP ALL WORK UNTIL THE SITUATION IS RESOLVED.
- WHEN REQUIRED, A COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE), WATER QUALITY DIVISION, STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED AND A COPY SHALL BE SUBMITTED TO THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS.
- AREAS DISTURBED BY GRADING SHALL BE MULCHED AND RESEEDED WITH NATIVE VEGETATION OR AS APPROVED ON THE PLAN.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR SAFETY CONDITIONS ON AND ADJACENT TO THE SITE 24 HOURS A DAY, SEVEN DAYS A WEEK.
- CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. (811 OR 1-800-922-1987)
- THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY OF COMMERCE CITY PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY'S STORMWATER QUALITY CONTROL CRITERIA. THE CITY ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
- THE ADEQUACY OF THIS ESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. COMMERCE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE APPROVED PLANS.
- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IN ACCORDANCE WITH THE CITY APPROVED PLANS.
- ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMPs FROM THE CITY APPROVED PLANS WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE CITY OF COMMERCE CITY ENGINEERING DIVISION.
- AFTER THE ESC PLAN HAS BEEN APPROVED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs INDICATED ON THE ACCEPTED ESC PLAN.
- THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
- AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs, THE PERMITTEE SHALL CALL THE PUBLIC WORKS AT 303-289-8150 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE PRECONSTRUCTION MEETING.
- THE ESC MANAGER SHALL BE CERTIFIED IN STORMWATER MANAGEMENT AND EROSION CONTROL AND DOCUMENTATION SHALL BE PROVIDED TO THE CITY.
- THE OWNER OR OWNER'S REPRESENTATIVE, THE ESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE INSTALLATION OF THE INITIAL BMPs ARE NOT APPROVED BY THE CITY ESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE

- START OF CONSTRUCTION. THE CITY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
- CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY ESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMPs AND THE GRADING PERMIT IS OBTAINED FROM PUBLIC WORKS.
- THE ESC MANAGER SHALL STRICTLY ADHERE TO THE APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF COMMERCE CITY ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- A COPY OF THE GRADING PERMIT AND APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
- THE ESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GRADING PERMIT. THE ESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER.
- THE ESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS, PAVED AREAS, INCLUDING STREETS, ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE CITY'S ESC INSPECTOR. STREET WASHING IS NOT ALLOWED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS.
- THE APPROVED PLANS MAY REQUIRE CHANGES OR ALTERATIONS AFTER APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICIENCIES IN DESIGN OR INSTALLATION. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE CITY APPROVED ACCESS POINTS. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINTS ON THE SITE. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE COMMERCE CITY ENGINEERING DIVISION.
- THE ESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND COMMERCE CITY ENGINEERING DIVISION FOR ANY PROPOSED CHANGES.
- NO PERMANENT EARTH SLOPES GREATER THAN 3:1 SHALL BE ALLOWED.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE ESC MANAGER. THE ESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY, IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. NO STOCKPILES SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE COMMERCE CITY ENGINEERING DIVISION.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE CDPEH PER CRS 25-8-601, AND COMMERCE CITY. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER, SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT AS WELL AS THE CDPEH. SPILLS THAT MAY AN IMMEDIATE RISK TO HUMAN LIFE SHALL BE REPORTED TO 911. FAILURE TO REPORT AND CLEAN UP ANY SPILL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER.
- THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED AT AN APPROPRIATE LOCATION.
- CONSTRUCTION CITY DOES NOT ALLOW HAY BALES AS A FORM OF EROSION AND SEDIMENT CONTROL.
- ONCE THE SITE HAS REACHED FINAL STABILIZATION, A FINAL INSPECTION SHALL BE SCHEDULED WITH THE CITY'S ESC INSPECTOR. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED AND/OR THE GRADING BOND WILL NOT BE RELEASED UNTIL THE CITY'S ESC INSPECTOR APPROVES FINAL STABILIZATION



CITY STAFF CERTIFICATE:
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ A.D.
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

PROJECT TITLE
**MARTY FARMS;
 LOT 1**

9584 WILLOW COURT
 COMMERCE CITY, CO

PREPARED FOR
HOMELAND

2200 S VALENTIA ST
 DENVER, CO 80231

DEVELOPMENT PLAN

DRAWN BY:	RSB
CHECKED BY:	MRB
PROJECT NO.:	20-143-001
REVISIONS	
COMMENTS	1/5/22
COMMENTS	5/17/22
COMMENTS	9/15/22

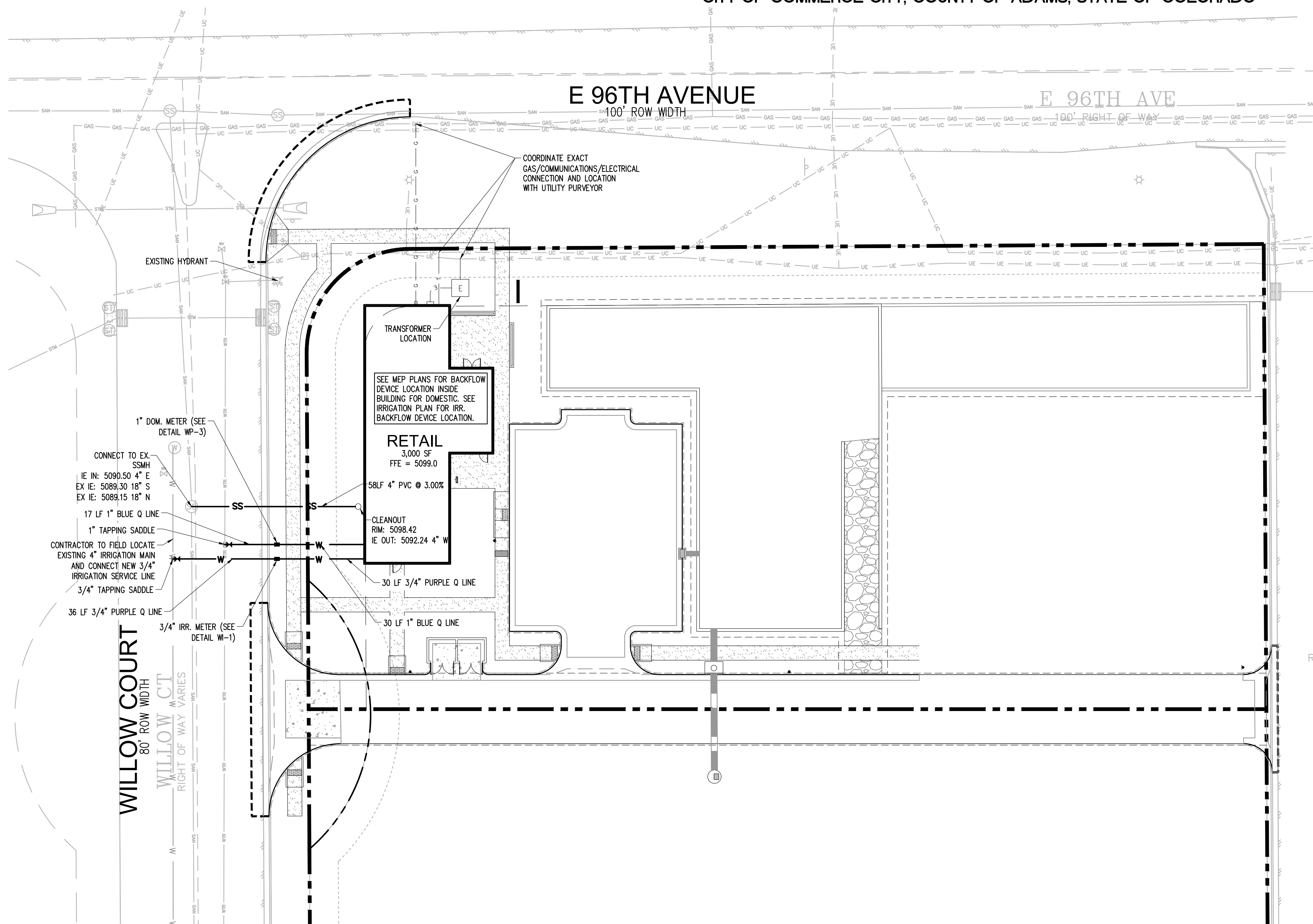
DATE
7/23/2021

SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET INFORMATION
C-2.0

3 of 9

LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
 LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
SS	SANITARY SEWER LINE
---	PROPOSED STORM DRAIN
•	SANITARY CLEANOUT
•	WATER METER
•	FIRE HYDRANT
---	EXISTING UNDERGROUND COMMUNICATIONS
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING GAS LINE
---	EXISTING STORM
---	EXISTING WATER LINE

- NOTES:**
- SEE ADDITIONAL NOTES ON COVER SHEET RELATED TO SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT STANDARDS AND REQUIREMENTS.
 - SEE ARCH/MEP PLANS FOR BACKFLOW DEVICE LOCATIONS INSIDE BUILDING FOR DOMESTIC AND IRRIGATION.

SACWSD POTABLE WATER DISTRIBUTION NOTES:

- TRACER WIRE SHALL BE INSTALLED ON ALL POTABLE WATER MAINS AND SERVICE LINES, REGARDLESS OF PIPE MATERIAL, AS SPECIFIED IN THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL SPLICES SHALL BE MADE USING WATERPROOF GEL CAP TYPE CONNECTORS. UNDER THE SUPERVISION OF THE DISTRICT, TESTS SHALL BE MADE BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION TO INSURE THAT THE WIRES CARRY A CONTINUOUS CURRENT BETWEEN TEST BOXES.
- THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL POTABLE WATER MAINS AND SERVICE LINES.
- ALL POTABLE WATER MAINS SHALL BE CHLORINATED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS IN ACCORDANCE WITH AWWA C651, DISINFECTING WATER MAINS. WHEN TABLETS ARE USED, A SUFFICIENT NUMBER OF TABLETS SHALL BE ADHERED TO THE TOP OF EACH PIPE TO PRODUCE A MINIMUM CONCENTRATION OF 100 MILLIGRAMS PER LITER. THE CHLORINATION OF ANY FINISHED PIPELINE WHERE THE TABLET METHOD WAS USED SHALL BE TESTED AND ACCEPTED BY THE DISTRICT PRIOR TO HYDROSTATIC TESTING OF THE LINE.
- ALL POTABLE WATER MAINS SHALL BE HYDROSTATICALLY TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS AT A TEST PRESSURE OF 150 PSI UNLESS OTHERWISE DIRECTED BY THE DISTRICT. TESTS SHALL BE MADE UNDER THE SUPERVISION OF THE DISTRICT.
- ALL POTABLE WATER DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN CLEAR POLYETHYLENE WRAP PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS.
- ALL POTABLE SYSTEM VALVE BOX LIDS, METER PIT COVERS, MANHOLE COVERS AND VAULT COVERS SHALL BE FURNISHED WITH THE WORD 'WATER' CLEARLY CAST ON THE SURFACE. POTABLE WATER MAIN VALVE BOX LIDS SHALL BE CIRCULAR, AND POTABLE METER PIT COVERS SHALL BE RECESSED COVERS TO DISTINGUISH THEM FROM THE CAP-TYPE COVERS USED ON IRRIGATION WATER METER PITS.
- A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND ALL OTHER SANITARY SEWERS, STORM SEWERS, AND IRRIGATION WATER MAINS. A 10-FOOT HORIZONTAL SEPARATION SHALL ALSO BE PROVIDED BETWEEN POTABLE WATER SERVICE LINES AND ALL OTHER SERVICE LINES.
- A MINIMUM DISTANCE OF 7 FEET TO PIPE CENTERLINE SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GUTTER FLOWLINES.
- ALL POTABLE WATER VALVES INSTALLED IN THE DISTRICT SHALL OPEN LEFT (COUNTER-CLOCKWISE). VALVES 10-INCH AND SMALLER SHALL BE RESILIENT SEAT GATE VALVES. LARGER VALVES MAY BE RESILIENT SEAT GATE VALVES OR BUTTERFLY VALVES.
- ONLY ONE CONNECTION TO THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM SHALL BE MADE UNTIL ALL HYDROSTATIC TESTING, FLUSHING, AND CHLORINATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS.

SACWSD SANITARY SEWER SYSTEM NOTES:

- THERE SHALL BE A MINIMUM COVER OF 4.0 FEET OVER ALL SANITARY SEWER MAINS AND SERVICE LINES.
- NO SERVICE LINES SHALL BE LAID UNDER DRIVEWAYS OR WITHIN GARAGES.
- ALL SANITARY SEWER MAINS SHALL BE LAMPED AND LOW-PRESSURE AIR TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL LAMPING AND TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE DISTRICT. AT THE DISTRICT'S DISCRETION, SEWER MAINS SHALL ALSO BE CHECKED FOR DEFLECTION BY PULLING A STANDARD 9 FIN MANDREL THROUGH THE PIPE.
- ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED PER THE DISTRICT'S DESIGN AND CONSTRUCTION STANDARDS. ALL TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE DISTRICT.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE FURNISHED WITH THE WORD 'SEWER' CLEARLY CAST ON THE SURFACE OF THE COVER.
- THE LOCATION OF ALL SANITARY SEWER MANHOLES NOT LOCATED IN PAVED ROAD SURFACES SHALL BE IDENTIFIED WITH A CARBONITE OR STEEL MARKER POST, AS DIRECTED BY THE DISTRICT. THE EXACT LOCATION OF THE MARKER POST SHALL BE ADJACENT TO THE MANHOLE OVER THE SEWER MAIN ALIGNMENT UNLESS OTHERWISE DETERMINED IN THE FIELD BY THE DISTRICT.
- A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL SEPARATION DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND SANITARY SEWER MAINS. A MINIMUM CENTERLINE-TO-CENTERLINE HORIZONTAL SEPARATION DISTANCE OF 5 FEET SHALL BE MAINTAINED BETWEEN IRRIGATION WATER MAINS AND SANITARY SEWER MAINS.
- LOCATION AND ELEVATION OF EXISTING SANITARY SEWER MAINS AT PROPOSED POINTS OF CONNECTION SHALL BE FIELD VERIFIED PRIOR TO THE INSTALLATION OF ANY NEW SANITARY SEWER MAINS.
- MANHOLE RIMS SHALL BE SET TO AN ELEVATION 1/4-INCH BELOW THE FINAL PAVEMENT ELEVATION. CONCRETE ADJUSTMENT COLLARS SHALL BE USED TO ADJUST RIM ELEVATIONS TO ROUGH FINAL GRADE. NO MORE THAN ONE CAST IRON TRAFFIC ADJUSTMENT RING (RISER) MAY BE USED TO ADJUST THE MANHOLE RIM TO ITS FINAL ELEVATION.
- THE MINIMUM PIPE DIAMETER OF SANITARY SEWER SERVICE LINES SHALL BE 4-INCH.
- THE MINIMUM PIPE DIAMETER OF SANITARY SEWER MAINS SHALL BE 8-INCH.
- ALL SANITARY SEWER MAINS SHALL BE INSTALLED IN A STRAIGHT ALIGNMENT BETWEEN MANHOLES. CHANGES IN PIPELINE DIRECTION SHALL OCCUR ONLY AT MANHOLES.
- THE CONTRACTOR SHALL MEASURE AND RECORD ON THE AS-BUILT DRAWINGS, ALL SANITARY SEWER SERVICE LINE CONNECTION LOCATIONS BY REFERENCING THE DISTANCES TO UPSTREAM AND DOWNSTREAM SANITARY SEWER MANHOLES ON THE MAIN.
- THE CONTRACTOR SHALL VIDEOTAPE THE SEWER FACILITIES WITH CLOSE CIRCUIT TELEVISION (CCTV) AS PART OF FINAL INSPECTION AND SHALL SUBMIT A DVD COPY OF THE INSPECTION TO THE DISTRICT. THE DISTANCE OF ALL SERVICE LINE CONNECTIONS TO THE SEWER MAIN FROM THE NEAREST UPSTREAM MANHOLE SHALL BE RECORDED AND INDICATED ON THE DVD.



PROJECT TITLE
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 LOT 1**

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 DENVER, CO 80231

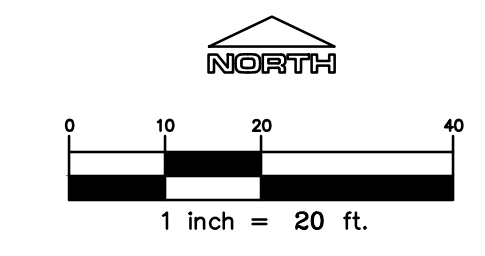
SUBMITTAL
DEVELOPMENT PLAN

DRAWN BY:	JS
CHECKED BY:	MRB
PROJECT NO.:	20-143-001
REVISIONS	
COMMENTS	1/5/22
COMMENTS	5/17/22
COMMENTS	9/15/22

DATE
7/23/2021

SHEET TITLE
UTILITY PLAN

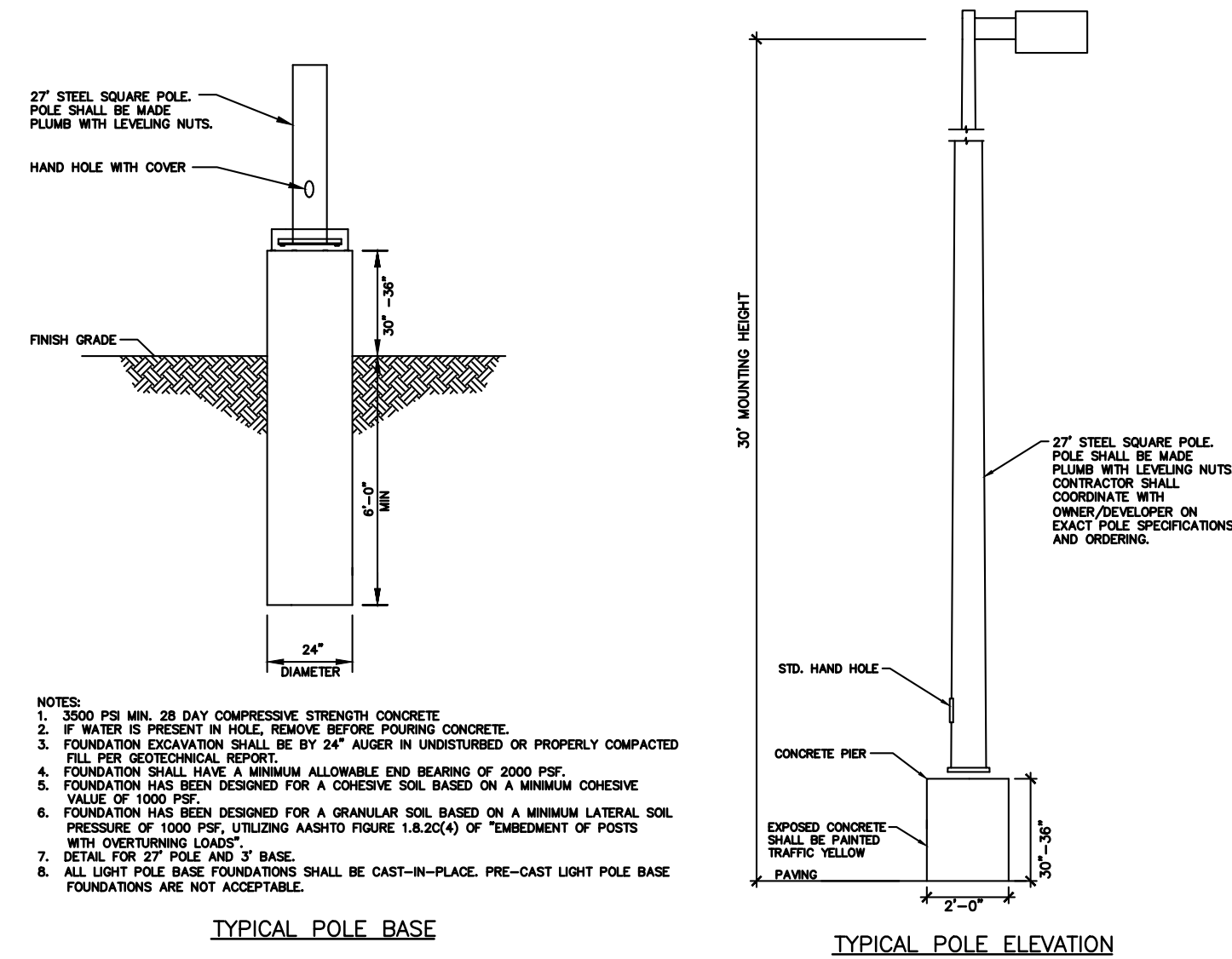
SHEET INFORMATION
C-3.0



CITY STAFF CERTIFICATE:
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
 COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

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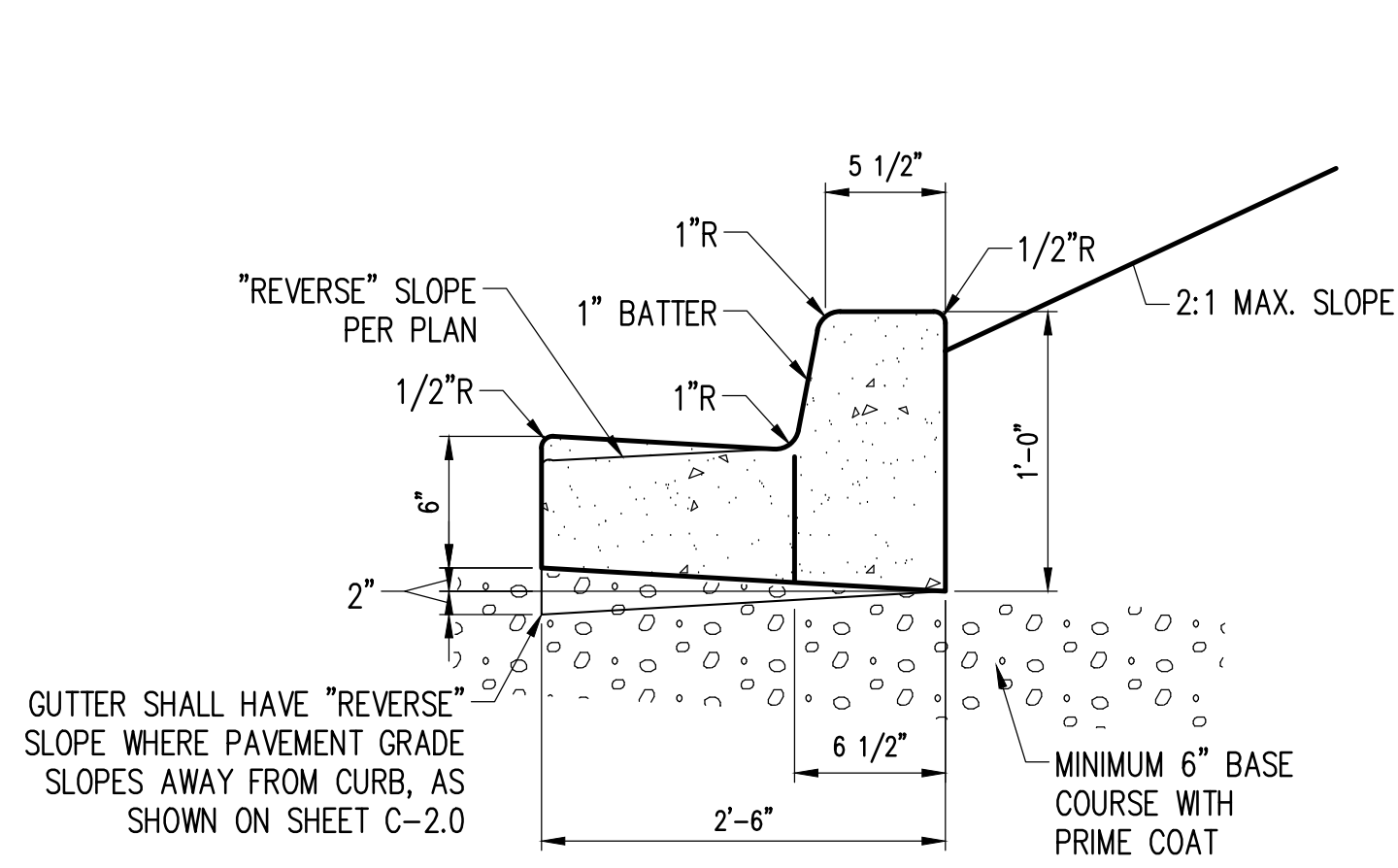
LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
 LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



TYPICAL LIGHTING POLE DETAIL

NTS

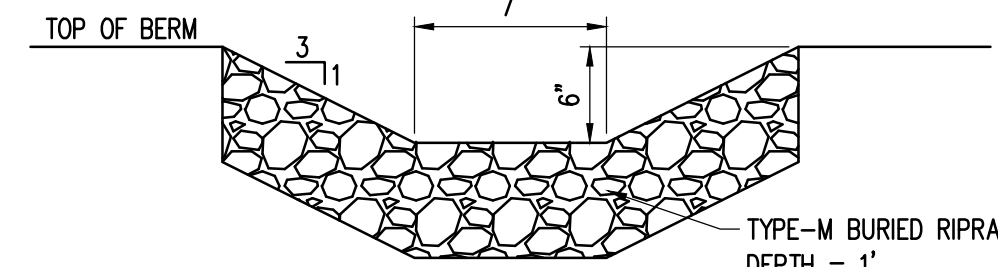
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PRIVATE ON-SITE
 CONCRETE CURB AND GUTTER SECTION

NTS

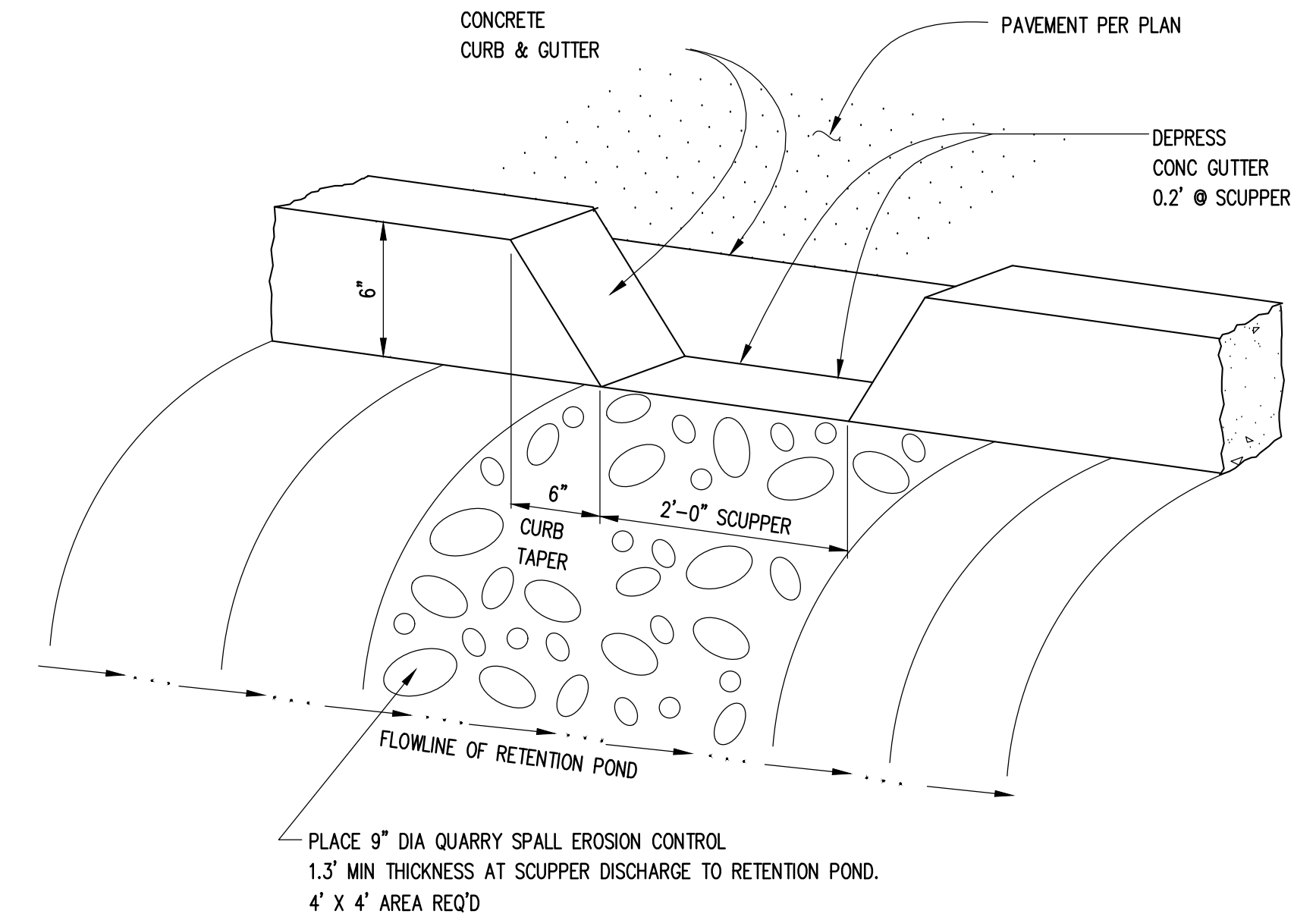
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OVERFLOW WIER

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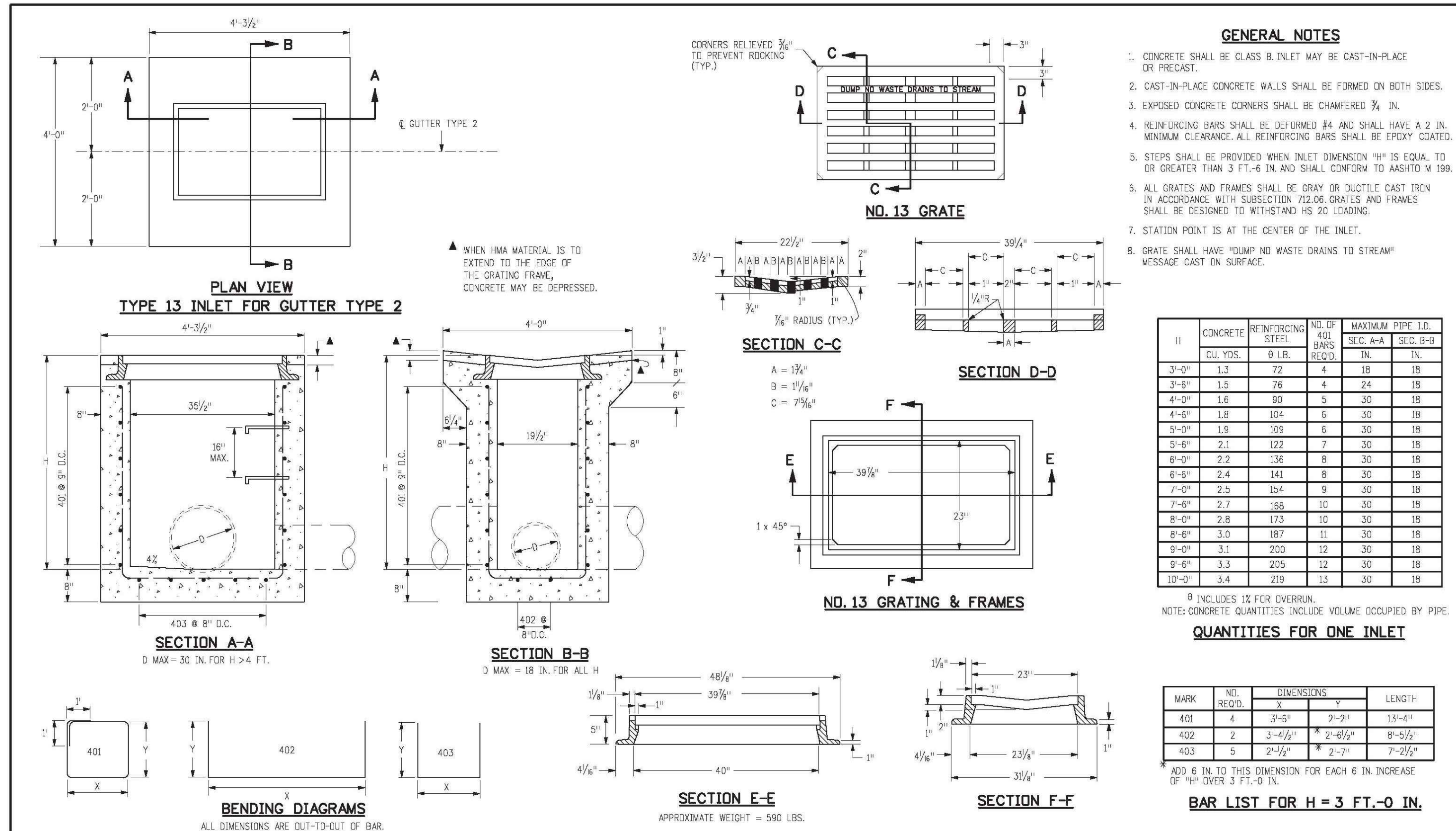
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CURB SCUPPER

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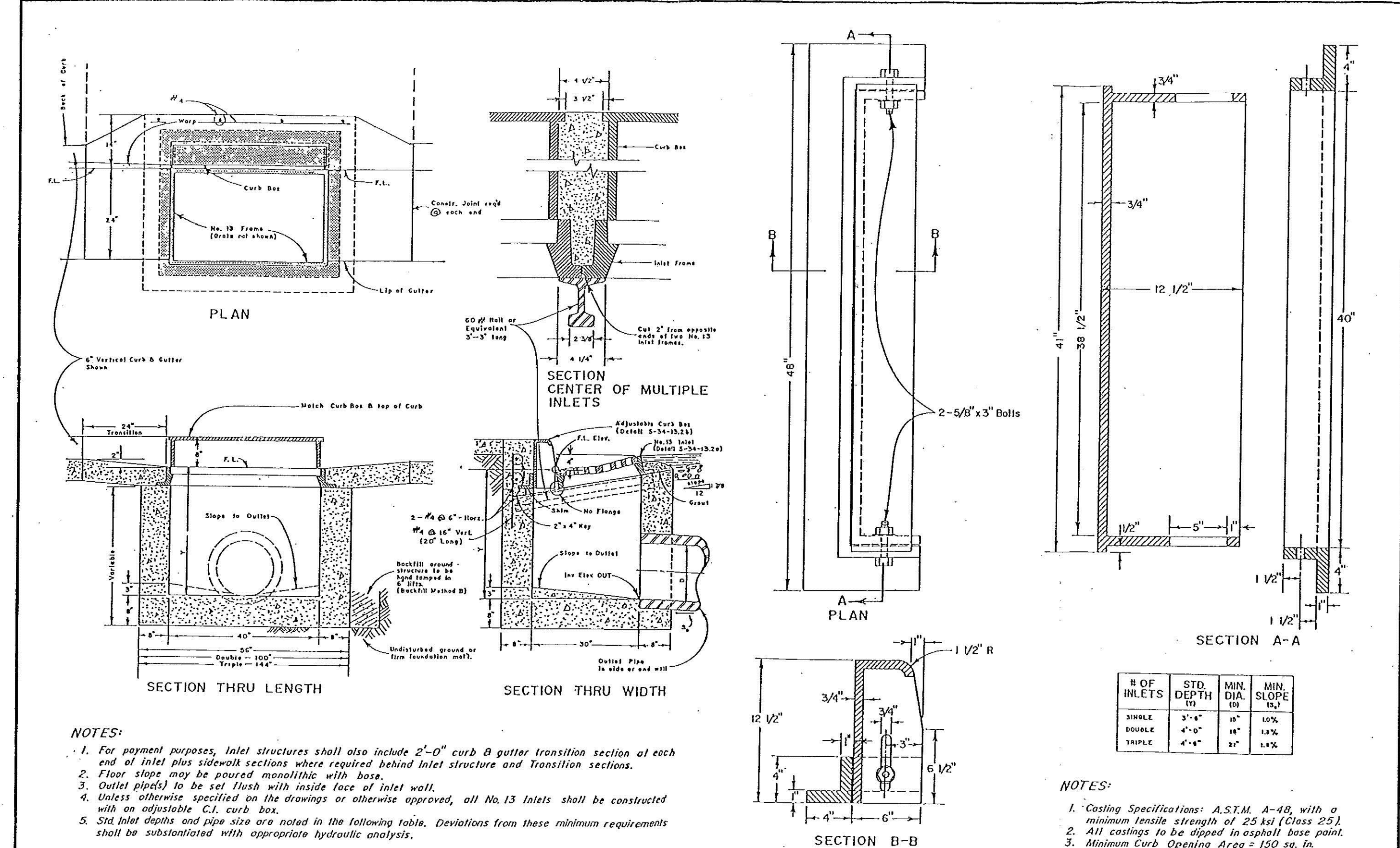
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TYPE 13 INLET

NTS

2



TYPE 13 COMBINATION INLET

NTS

1

Computer File Information	Sheet Revisions	Colorado Department of Transportation	CONCRETE INLET	STANDARD PLAN NO.
Creation Date: 07/04/12 Last Modification Date: 07/04/12 Full Path: www.coloradodot.info/business/designsupport Drawing File Name: 6049130101.dgn CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	Initials: DD Date: _____ Comments: _____	4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820	TYPE 13	M-604-13
		Project Development Branch DD/LTA	Issued By: Project Development Branch July 4, 2012	Sheet No. 1 of 1

REFERENCE: City and County of Denver Standard Details S-34-13.1a and S-34-13.2b (with modifications)	STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA	COMBINATION INLET TYPE 13 STANDARD DETAIL SD-4
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PROJECT TITLE
**MARTY FARMS;
 LOT 1**

9584 WILLOW COURT
 COMMERCE CITY, CO

PREPARED FOR
HOMELAND

2200 S VALENTIA ST
 DENVER, CO 80231

SUBMITTAL
DEVELOPMENT PLAN

DRAWN BY: JS
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DATE
7/23/2021

SHEET TITLE

DETAILS

SHEET INFORMATION

C-4.0

5 of 9

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APN: 172121103002
 CITY STAFF CERTIFICATE:
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
 COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____
 DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

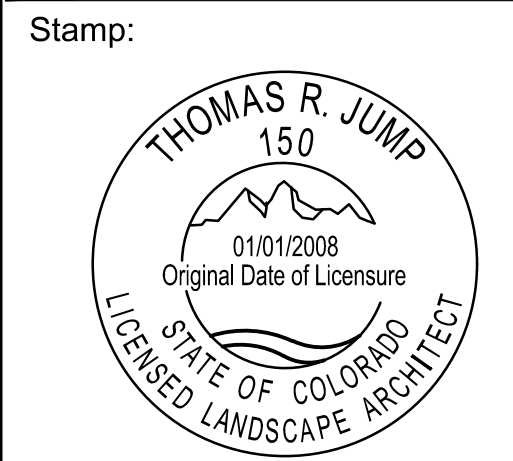
LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6
LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



Owner / Client:
HOMELAND.COM
 2200 S. Valentia Street
 Denver, CO 80231
 (303) 909-2508

Landscape Architect:

JDC
 PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
 1733 S. Clarkson Street
 Denver, Colorado 80210
 303.282.0463 Fax 282.0473



LOT 1 MARTY FARMS SUBDIVISION
FILING NO. 6
EAST 96th AVENUE and WILLOW STREET
COMMERCE CITY, COLORADO

Issue Date: 09/16/22

Revisions

Job #:
 Drawn by:
 Checked by:

Sheet Title
LANDSCAPE PLAN

Sheet No.
L1.0
 Sheet 1 of 2

PLANT LIST

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES/REMARKS
DECIDUOUS TREES						
+	HB	8	<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry	2" cal.	TREES SHALL BE B&B, WITH FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK.
	HL	3	<i>G. triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	2" cal.	
	HO	3	<i>Quercus x macdanielii</i> 'Clemons'	Heritage Oak	2" cal.	
	TE	2	<i>Ulmus</i> 'Triumph'	Triumph Elm	2" cal.	
ORNAMENTAL TREES						
+	CB	1	<i>Malus</i> 'Coralburst'	Coralburst Crabapple	2" cal.	TREES SHALL BE B&B, WITH FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK.
	HW	4	<i>Acer tataricum</i> 'Hot Wings'	Hot Wings Maple	2" cal.	
EVERGREEN TREES						
+	BP	3	<i>Pinus aristata</i>	Bristlecone Pine	6' Ht.	B&B; Full & bushy
DECIDUOUS SHRUBS						
+	CL	15	<i>Ligustrum vulgare</i> 'Cheyenne'	Cheyenne Privet	30-36" ht.	#5 Container
	DL	20	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	24-30" ht.	#5 Container
	GF	25	<i>Spiraea japonica</i> 'Goldflame'	Goldflame Spirea	15-18" ht.	#5 Container
	GL	28	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	15-18" ht.	#5 Container
	HC	13	<i>Symphoricarpos x chenaultii</i> 'Hancock'	Hancock Coralberry	15-18" ht.	#5 Container
	LD	24	<i>Physocarpus opufolia</i> 'Little Devil'	Little Devil Ninebark	24-30" ht.	#5 Container
	NV	10	<i>Viburnum lentago</i>	Nannyberry Viburnum	3-4' ht.	#5 Container
	PB	23	<i>Prunus besseyi</i> 'Pawnee Buttes'	Pawnee Buttes Sandcherry	9-12" ht.	#5 Container
	KD	9	<i>Potentilla fruticosa</i> 'Katherine Dykes'	Katherine Dykes Potentilla	15-18" ht.	#5 Container
	SW	18	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Ninebark	30-36" ht.	#5 Container
	TQ	5	<i>Chaenomeles speciosa</i> 'Texas Quince'	Texas Quince	30-36" ht.	#5 Container
	TB	3	<i>Fragula alnus</i> 'Columaris'	Tallhedge Buckthorn	42-48" ht.	#5 Container
EVERGREEN SHRUBS						
+	SS	24	<i>Juniperus chinensis</i> 'Sierra Spreader'	Sierra Spreader Juniper	9-12" ht.	#5 Container
ORNAMENTAL GRASSES						
+	BA	18	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	12-15" ht.	#5 Container
	RS	22	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Red Switch Grass	21-24" ht.	#5 Container

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE PLANT LIST, MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

SITE DATA

LOT TOTAL SITE AREA:	53,112 SF (1.12 Ac.)
BUILDING COVERAGE:	3,150 SF (5.9%)
HARDSCAPE:	20,849 SF (39.2%)
LANDSCAPE:	17,193 SF (32.4%)
UNDEVELOPED:	11,920 SF (22.5%)

LANDSCAPE AREA

	PRIVATE	R.O.W.
TOTAL (DEVELOPED AREA)	17,193 SF	1,898 SF
IRRIGATED BLUEGRASS TURF	1,248 SF (7.3%)	402 SF
PLANTING BEDS	8,092 SF (47.1%)	
SEEDED AREA (RETENTION)	7,538 SF (43.8%)	
SEEDING (OTHER)	315 SF (1.8%)	
UNDISTURBED	11,920 SF	11,287 SF

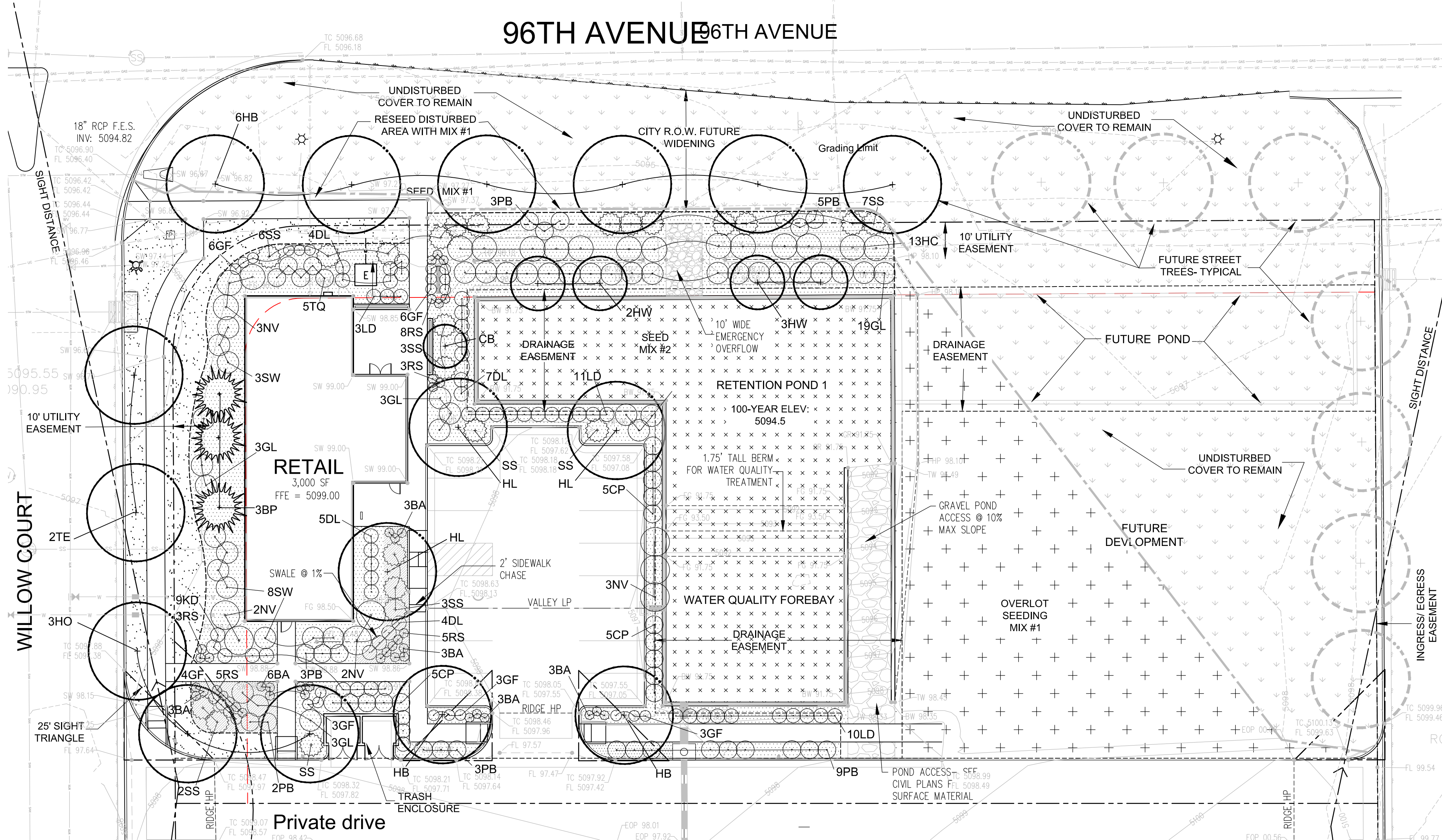
LANDSCAPE SUMMARY

LANDSCAPE TREATMENT AREA	Quantity	Percentage of Total
Total developed area 41,192 SF / .95 AC.		
a.) Total Landscape Area	17,193 SF	32.4%
b.) Living Plant Material	12,895 SF	75%
c.) # Trees Required (1/600 sf)	29	
d.) # Trees Provided	24	
e.) # Shrubs Required (1/300 sf)	58	
f.) # Shrubs Provided	257	
g.) # of Mulch Types	2	

RETENTION POND	Quantity
a. Length of perimeter	337 LF
b.) # Trees Required (1 per 50 LF)	7
c.) # Trees Provided	7
d.) # Shrubs Required (10 per 50 LF)	68
e.) # Shrubs Provided	68

RIGHT-OF-WAY LANDSCAPE AREA	Length	Trees Req'd. / Prov'd.
a.) ROW frontage- 96th Ave.	200 LF	5 / 6
b.) ROW frontage- Willow Court	148 LF	4 / 3

PARKING LOT LANDSCAPE AREA	Quantity	Percentage of Total
a.) # Trees Required	2	
b.) # Trees Provided	2	
c.) # Shrubs Required	16	
d.) # Shrubs Provided	27	
e.) # of Islands Required	2	
f.) # of Islands Provided	2	



MIX #1: PERMANENT DRILL SEEDING MIX- OVERLOT

COMMON NAME	BOTANICAL NAME	VARIETY	% MIX	# P.L.S. PER AC.
BIG BLUESTEM	<i>BOUTELOUA DACTYLOIDES</i>	'KAW'	10%	2.5
YELLOW INDIANGRASS	<i>BOUTELOUA GRACILIS</i>	'CHEYENNE'	10%	2.5
SWITCHGRASS	<i>PASCOPYRUM SMITHII</i>	'BLACKWELL'	10%	2.5
SIDEOATS GRAMA	<i>BOUTELOU CURTIPENDULA</i>	'VAUGHN'	10%	2.5
WESTERN WHEATGRASS	<i>AGROPYRON SMITHII</i>	'ARRIBA'	10%	2.5
BLUE GRAMA	<i>BOUTELOUA GRACILIS</i>	'HACITA'	10%	2.5
THICKSPIKE WHEATGRASS	<i>ELYMUS LANCEOLATUS</i>	'CRITANA'	10%	2.5
PRAIRIE SANDREED	<i>CALAMOVILFA LONGIFOLIA</i>	'GOSHEN'	10%	2.5
GREEN NEEDLEGRASS	<i>NASSELLA VIRIDULA</i>	'L'ODORM'	10%	2.5
SLENDER WHEATGRASS	<i>ELYMUS TRACHYCAULUS</i>	'PRYOR'	5%	1.25
STREAMBANK WHEATGRASS	<i>ELYMUS LANCEOLATUS</i>	'SODAR'	5%	1.25
TOTAL LBS. PER ACRE (DRILLED)				25.0

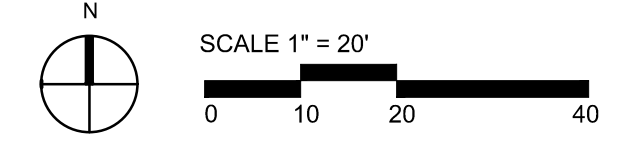
MIX #2: RETENTION POND BOTTOM SEEDING MIX (UDFCD RAIN GARDEN MIX)

COMMON NAME	BOTANICAL NAME	% MIX	# P.L.S. PER AC.
SAND BLUESTEM	<i>ANDROPOGON HALLII</i> 'GARDEN'	12.2%	3.5
SIDEOATS GRAMA	<i>BOUTELOUA CURTIPENDULA</i> 'BUTTE'	10.4%	3.0
PRAIRIE SANDREED	<i>CALAMOVILFA LONGIFOLIA</i> 'GOSHEN'	10.4%	3.0
INDIAN RICEGRASS	<i>ORYZOPSIS HYMENOIDES</i> 'PALOMA'	10.4%	3.0
SWITCHGRASS	<i>PANICUM VIRGATUM</i>	13.8%	4.0
WESTERN WHEATGRASS	<i>PASCOPYRUM SMITHII</i>	10.4%	3.0
LITTLE BLUESTEM	<i>SCHIZACHYRIUM SCOPARIUM</i>	10.4%	3.0
ALKALI SACATON	<i>SPOROBOLUS AIROIDES</i>	10.4%	3.0
SAND DROPSEED	<i>SPOROBOLUS CRYPTANDRUS</i>	10.4%	3.0
PASTURE SAGE	<i>ARTEMISIA FRIGIDA</i>		2.0 oz.
BLUE ASTER	<i>ASTER LAEVIS</i>		4.0 oz.
BLANKET FLOWER	<i>GAILLARDIA ARISTATA</i>	5.5%	8.0 oz.
PRAIRIE CONEFLOWER	<i>RATIBA COLUMNIFERA</i>		4.0 oz.
PURPLE PRAIRIECLOVER	<i>DALEA PURPUREA</i>		4.0 oz.
TOTAL LBS. PER ACRE (DRILLED)			28.9 lbs.

LEGEND

	DECIDUOUS TREE		SEEDING MIX #1- OVERLOT
	ORNAMENTAL TREE		SEEDING MIX #2- DETENTION
	EVERGREEN TREE		IRRIGATED TURF
	DECIDUOUS SHRUB		4" DEPTH ROCK MULCH
	EVERGREEN SHRUB		4" DEPTH SHREDDED CEDAR
	ORNAMENTAL GRASS		UNDISTURBED COVER
	STEEL EDGER		GRADING LIMITS

SEE SHEET L1.1 FOR NOTES AND DETAILS.



CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE _____

LOT 1 MARTY FARMS SUBDIVISION FILING NO. 6

LOCATED IN SECTION 21, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

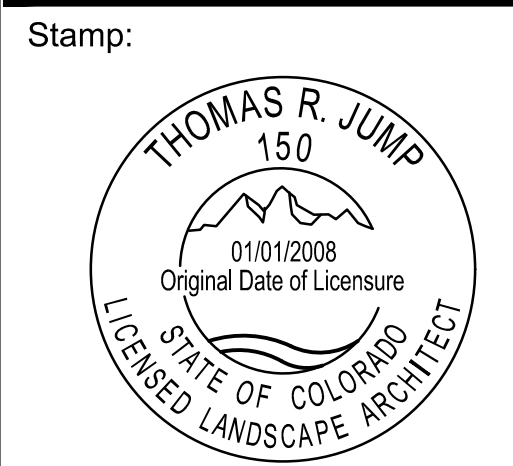
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



Owner / Client:
HOMELAND.COM
 2200 S. Valentia Street
 Denver, CO 80231
 (303) 909-2508

Landscape Architect:

JDC
 PLANNING & LANDSCAPE
 ARCHITECTURE
Jump Design Company
 1733 S. Clarkson Street
 Denver, Colorado 80210
 303.282.0463 Fax 282.0473



LOT 1 MARTY FARMS SUBDIVISION
FILING NO. 6
EAST 96th AVENUE and WILLOW STREET
COMMERCE CITY, COLORADO

PLAN NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF COMMERCE CITY STANDARDS & REGULATIONS.
- CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
- VERIFY THE LOCATION OF ALL PERTINENT EXISTING & CONSTRUCTED SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- REFER TO THE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.
- COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

- LANDSCAPE OPERATIONS SHALL ACHIEVE FINISHED GRADES AS SHOWN ON THE CIVIL GRADING PLANS AFTER INSTALLATION. ALL COMPLETED LANDSCAPE AREAS SHALL DRAIN AT 2% MINIMUM SLOPE WITHOUT LOW SPOTS THAT POND. FINISH GRADES SHALL SLOPE AWAY FROM STRUCTURES AT THE RECOMMENDED SLOPES INDICATED IN THE PROJECT GEOTECHNICAL/ SOILS REPORT UNLESS SPECIFICALLY APPROVED BY THE CIVIL ENGINEER AND OWNER.
- THE LANDSCAPE CONTRACTOR SHALL REVIEW THE COMPLETED ROUGH GRADING OPERATIONS PRIOR TO BEGINNING WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE GRADING PLANS AND ACTUAL CONDITIONS.
- ALL LANDSCAPE AREAS SHALL BE FINE GRADED TO .10" +/- RESULTING IN A SMOOTH FINISH WITHOUT DEBRIS, DELETERIOUS MATERIALS OR CLODS OVER 1" DIAMETER. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.
- SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED & NITROGEN STABILIZED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.
- THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.
- IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH.

PLANTING NOTES

- PLANTS SHALL BE TRUE TO TYPE & SPECIES, HAVE SIMILAR SIZE & FORM AMONG THE SAME SPECIES AND MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2014).
- ALL PLANT MATERIALS SHALL BE HEALTHY, FREE OF PESTS, DISEASES AND BROKEN CONTAINERS AND ROOT BALLS. TREES SHALL HAVE SINGLE LEADERS UNLESS OTHERWISE SPECIFIED AND ROBUST BRANCHING AND FOLIAGE. ALL PLANTS ARE ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE- PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
- PLANT SPECIES AND LOCATIONS SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY AND THE OWNER'S REPRESENTATIVE. SUBSTITUTIONS SHALL BE SUBMITTED PRIOR TO BIDDING AND REQUESTED SPECIES SHALL MATCH THE SPECIFIED PLANT'S MATURE SIZE & FORM.
- ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME, POST-FINAL ACCEPTANCE REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS. PLANTS NEEDED REPLACED PRIOR TO ACCEPTANCE WILL NOT APPLY TOWARD WARRANTY REPLACEMENTS.
- LAYOUT PLANT LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION. TREE LOCATIONS SHALL BE NO CLOSER THAN 3' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.
- PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.
- PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.
- ALL SHRUBS & GRASSES SHALL RECEIVE SCOTT'S AGRIFORM SLOW-RELEASE FERTILIZER TABLETS APPLIED AT MANUFACTURER RECOMMENDED RATES.

EDGER

- LAYOUT BED LINES FOR APPROVAL PRIOR TO INSTALLATION. ALL PLANTING BEDS ARE TO BE CONTAINED WITH MINIMUM 4" HEIGHT STEEL EDGER WITH ROLLED TOP AND NO EXPOSED SHARP EDGES. EDGER SHALL BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED SURFACES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS.

- EDGER SHALL BE PRO-STEEL PS3/16-16, 4" DEPTH x 3/16" (7 GA.) WITH STAKES AND FASTENED OVERLAP SECTIONS PER MANUFACTURER'S RECOMMENDATIONS. SUPPLIER SHALL BE PRO-STEEL EDGING & LANDSCAPE PRODUCTS, 5121 KALTENBRUN RD., FORT WORTH, TX 76119 OR APPROVED EQUAL.

WEED BARRIER & MULCH

- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC OR APPROVED EQUAL UNDER ALL ROCK BEDS. DO NOT INSTALL WEED BARRIER BELOW SHREDDED RED CEDAR WOOD MULCH BEDS.

- PLANTING BEDS SHALL BE MULCHED WITH 3/4" CRUSHED GRANITE MULCH, 'COLORADO RED' FROM PIONEER LANDSCAPE SUPPLY OR APPROVED EQUAL OVER LANDSCAPE FILTER FABRIC. ALL PLANTS IN ROCK MULCH BEDS SHALL HAVE 3-4" DEPTH RING OF DOUBLE-SHREDDED RED CEDAR MULCH ABOVE EACH PLANTING PIT AT 1.5 TIMES THE CONTAINER DIAMETER. MULCH & ROCK COLOR SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

- ALL BEDS DESIGNATED AS WOOD MULCH SHALL HAVE NATURAL DOUBLE-SHREDDED RED CEDAR MULCH AT 3-4" DEPTH WITHOUT WEED FABRIC. TREES IN SEEDED OR SODDED AREAS SHALL ALSO HAVE DOUBLE-SHREDDED RED CEDAR MULCH RINGS OF AT LEAST 3-4" IN DIAMETER.

SOD

- SOD SHALL BE 'REVEILLE' HYBRID TEXAS/KENTUCKY BLUEGRASS (POA ARACHNIFERA X POA PRATENSIS) AND IS AVAILABLE THROUGH GRAFF'S TURF FARM, FT. MORGAN, CO. 970-867-8873.

SEEDING

- SEEDED NATIVE TURF AREAS SHALL BE DRILL SEEDED WITH TACKIFIER PER THE SEED MIX LISTED ON THE PLAN. SOIL PREPARATION & FINE GRADING SHALL BE INSTALLED & PERFORMED AS SPECIFIED PRIOR TO BEGINNING SEEDING; IRRIGATION SHALL BE OPERABLE PRIOR TO BEGINNING SEEDING OPERATIONS. DO NOT SEED ON FROZEN GROUND.

- SEEDING SHALL RECEIVE & BE COVERED WITH A HYDRO-SLURRY MIX AS FOLLOWS:
 - CELLULOSE/ WOOD FIBER MULCH @ 46 LBS PER 1000 SF
 - 15-15-15 GRANULAR ORGANIC FERTILIZER @ 9 LBS PER 1000 SF
 - ORGANIC TACKIFIER/ BINDER @ 4 LBS PER 1000 SF

- SLOPES 3:1 TO 2.5:1 SHALL BE COVERED WITH NORTH AMERICAN GREEN S150 EROSION CONTROL MAT OR APPROVED EQUAL. NORTH AMERICAN GREEN, 5401 ST WENDEL CYNTHIANA RD, POSEYVILLE, IN 47633 (812) 963-3373.

- AT THE END OF THE WARRANTY PERIOD BARE SEEDED AREAS LARGER THAN 1X1' SHALL BE RESEEDED. FINAL APPROVAL WILL NOT BE ISSUED UNTIL ALL SEEDED AREAS ARE FULLY ESTABLISHED.

FERTILIZERS

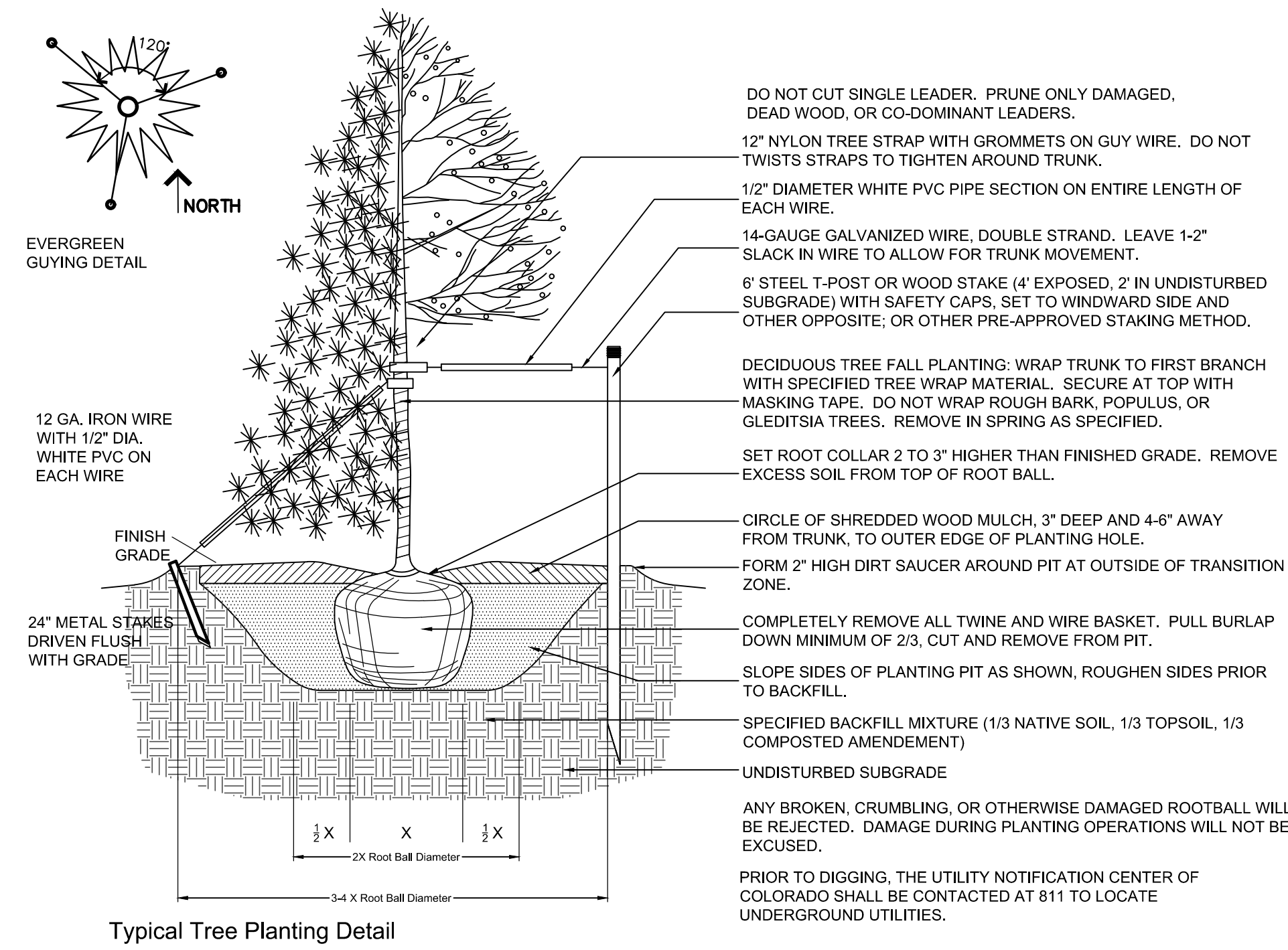
- TURF AREAS SHALL RECEIVE THE FOLLOWING PRE-EMERGENT FERTILIZATION:
 - BLUEGRASS: NITROGEN 0-46-0 @ 50 LBS/0/ ACRE AND TREBLE PHOSPHATE 0-46-0 @ 650 LBS. / ACRE.

IRRIGATION

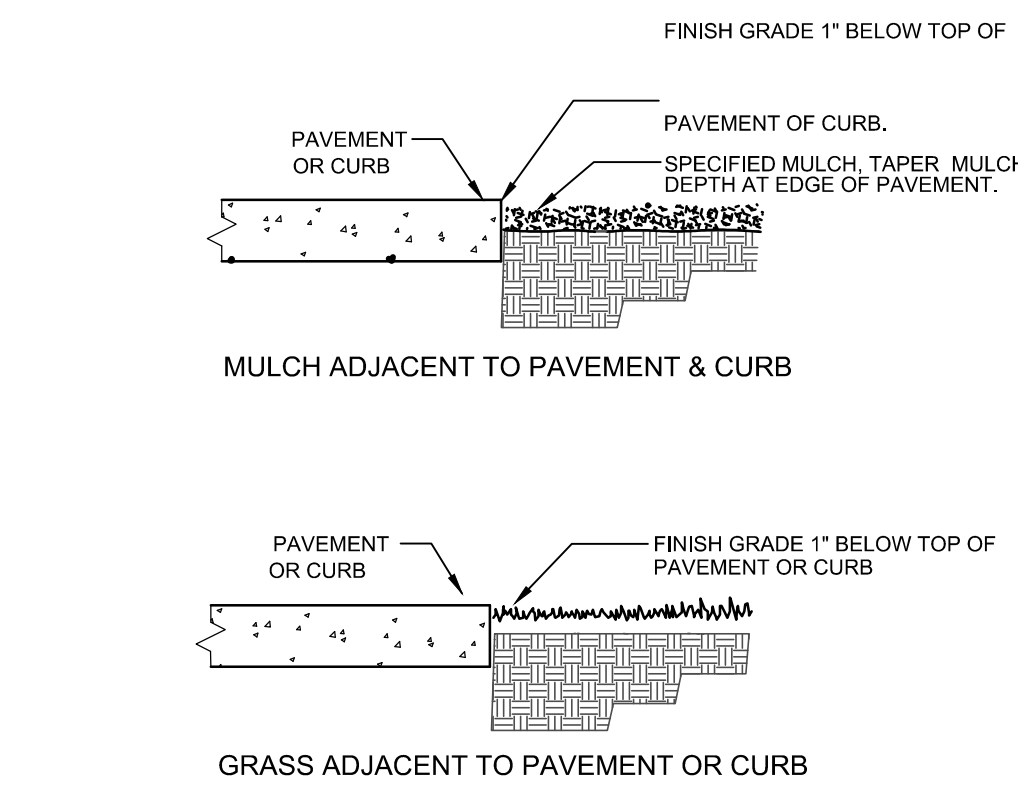
- IRRIGATION SHALL BE UNDERGROUND AUTOMATIC SYSTEM WITH ELECTRIC CONTROLLER AND RAIN SENSOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP EMITTERS AND TURF AREAS SHALL BE WATERED BY SPRAY HEADS. SEE IRRIGATION PLANS PREPARED BY AVOCEY IRRIGATION DESIGN.
- THE IRRIGATION DESIGN SHALL BE IN ACCORDANCE WITH THE ARVADA I.D.C. 4-6-7-1 WATER-WIRE REQUIREMENTS SECTION F.
 - A RAIN SENSOR WITH AUTOMATIC SHUT-OFF OF THE SYSTEM DURING PERIODS OF HIGH MOISTURE;
 - A DRIP, SUB-SURFACE, BUBBLER OR LOW VOLUME IRRIGATION SYSTEM FOR ALL PLANTING STRIPS LESS THAN 8' WIDE AND ALL PLANTING BEDS INVOLVING TREES, SHRUBS, PERENNIALS AND GROUND COVER; AND
 - AN IRRIGATION CLOCK WHICH ALLOWS PROGRAMMING TO MEET THE DIFFERENTIAL NEEDS OF THE SPECIFIED PLANTING PLAN.

SEEDING NOTES:

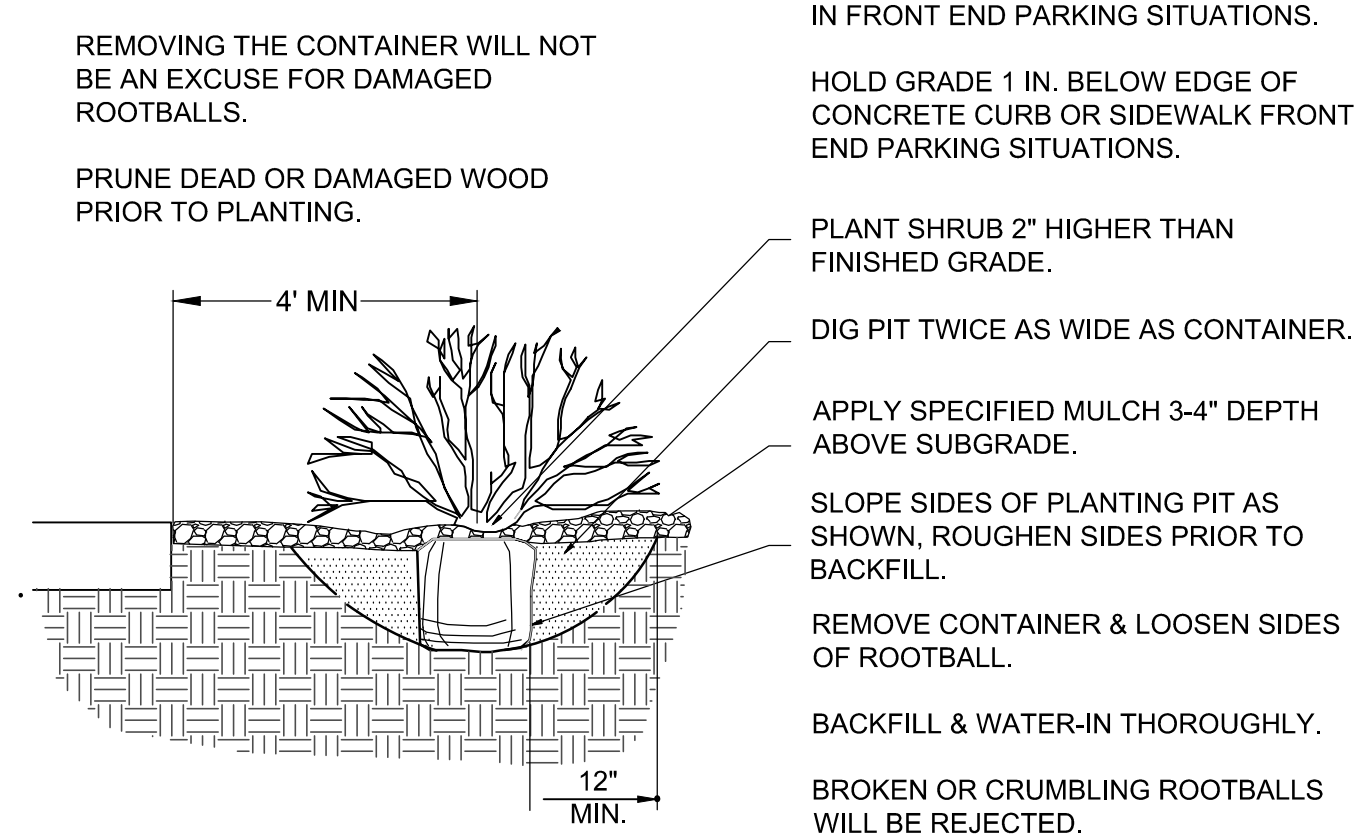
- SEE PLAN VIEW FOR:
 - AREA OF SEEDING AND MULCHING.
 - TYPE OF SEED MIX (PERMANENT, TEMPORARY, OR LOW-GROWTH).
- ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS SEEDS AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAP WEED AND LEAFY SPURGE.
- THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE. SEED TICKETS SHALL BE PROVIDED TO THE CITY UPON REQUEST.
- DRILL SEEDING MIX SHALL CONFORM TO THE APPROPRIATE MIX AS SHOWN ON THE PLANS.
- IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO CONTRACTOR AND FORWARDED TO THE CITY INSPECTOR.
- THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).
- ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL OR APPROVED SOIL AMENDMENTS SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH), HAUL ROADS AND OTHER COMPACTED AREAS SHALL BE LOOSENEED TO A DEPTH OF 8 INCHES PRIOR TO SPREADING TOPSOIL.
- SOIL IS TO BE THOROUGHLY LOOSENEED (TILLED) TO A DEPTH OF AT LEAST 8 INCHES PRIOR TO SEEDING. THE TOP 8 INCHES OF THE SEED BED SHALL BE FREE OF ROCKS GREATER THAN 4 INCHES AND SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER ANY COMPACTED AREAS THAT HAVEN'T BEEN THOROUGHLY LOOSENEED SHALL BE REJECTED.
- SEED IS TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH OF 1/4 INCH. ROW SPACING SHALL BE NO MORE THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF LONG-STEMMED STRAW. AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE 10 INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 2 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 4000 LB. OF STRAW PER ACRE.



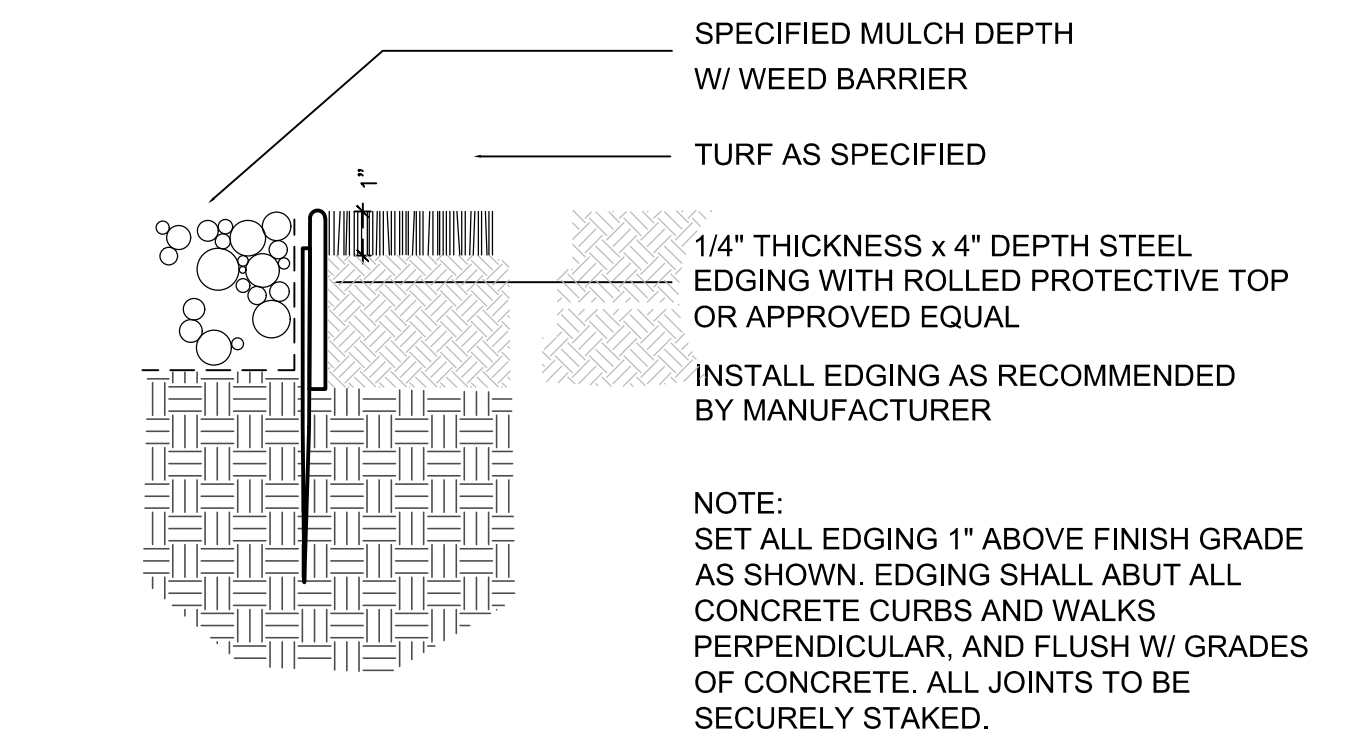
Typical Tree Planting Detail



Typical Landscape Edges



Shrub Planting Detail
NOT TO SCALE



Edger
NOT TO SCALE

- IF THE PERMITEE DEMONSTRATES TO THE CITY THAT IT IS NOT POSSIBLE TO DRILL SEED, SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILLED RATE, THEN LIGHTLY HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1/4 INCH, THEN ROLLED TO COMPACT, THEN MULCHED AS SPECIFIED ABOVE.

- SEEDING AND MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF INITIAL EXPOSURE OR 7 DAYS AFTER GRADING IS SUBSTANTIALLY COMPLETE IN A GIVEN AREA (AS DEFINED BY THE CITY. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR SEEDING AND MULCHING.

- MULCH SHALL BE APPLIED WITHIN 24-HOURS OF SEEDING.

- TACKIFIER SHOULD BE UTILIZED TO HELP WITH STRAW DISPLACEMENT.

SEEDING AND MULCHING MAINTENANCE NOTES:

- SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY FOR A PERIOD OF TWO YEARS FOLLOWING INITIAL SEEDING. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST GROWING SEASON FOR ANY AREAS FAILING TO MEET THE REQUIRED COVERAGE.

- REQUIRED COVERAGE FOR STANDARD, OPEN SPACE AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:

- THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES. THE 3 PLANTS PER SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES FOUND IN THE CITY APPROVED MIX.
- NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
- FREE OF ERODED AREAS.
- FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.

- REQUIRED COVERAGE FOR TURF GRASS AREAS SHALL BE DEFINED AS FOLLOWS:

- AT LEAST 80% VEGETATIVE COVER OF GRASS SPECIES PLANTED.
- NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
- FREE OF ERODED AREAS.
- FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.

- RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY THE CITY.

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF ____, A.D. ____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

Issue Date 09/16/22

Revisions

Job #:

Drawn by:

Checked by:

Sheet Title

**LANDSCAPE
DETAILS**

Sheet No.

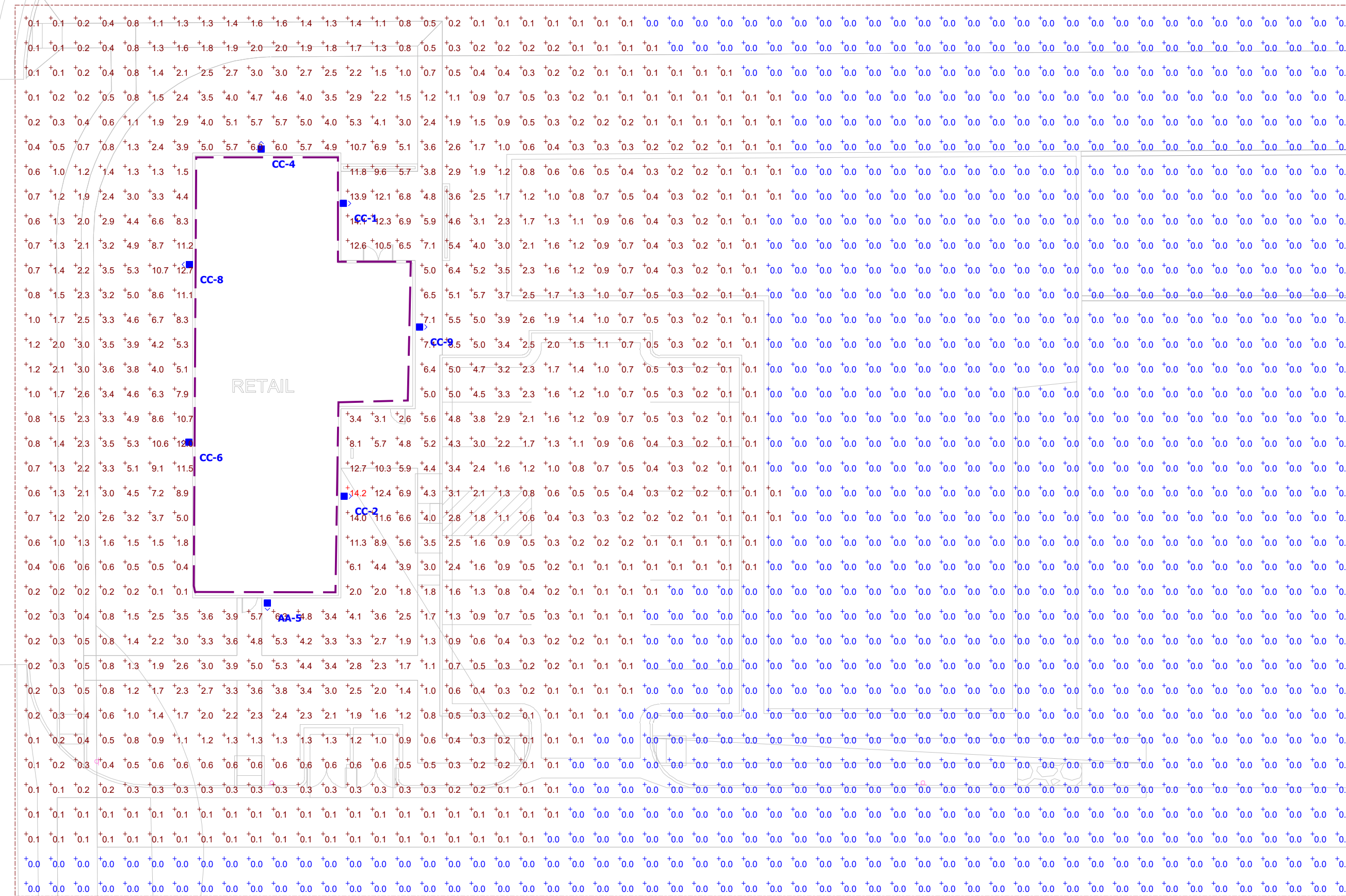
L1.1

Sheet 2 of 2

96TH AVENUE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.9 fc	14.2 fc	0.0 fc	N/A	N/A

Luminaire Locations				
No.	Label	MH	Orientation	Tilt
1	CC	8'	90.00	0.00
2	CC	8'	90.00	0.00
4	CC	12'	0.00	0.00
5	AA	12'	180.00	0.00
6	CC	8'	270.00	0.00
8	CC	8'	270.00	0.00
9	CC	12'	90.00	0.00

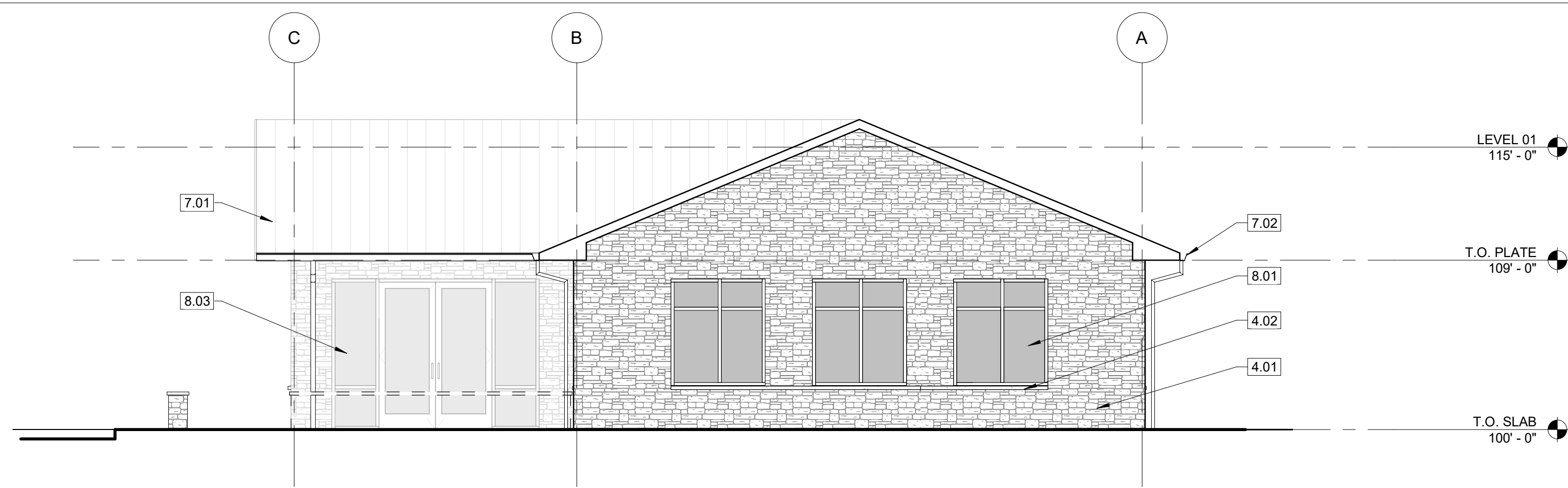


Plan View
Scale - 1" = 20ft

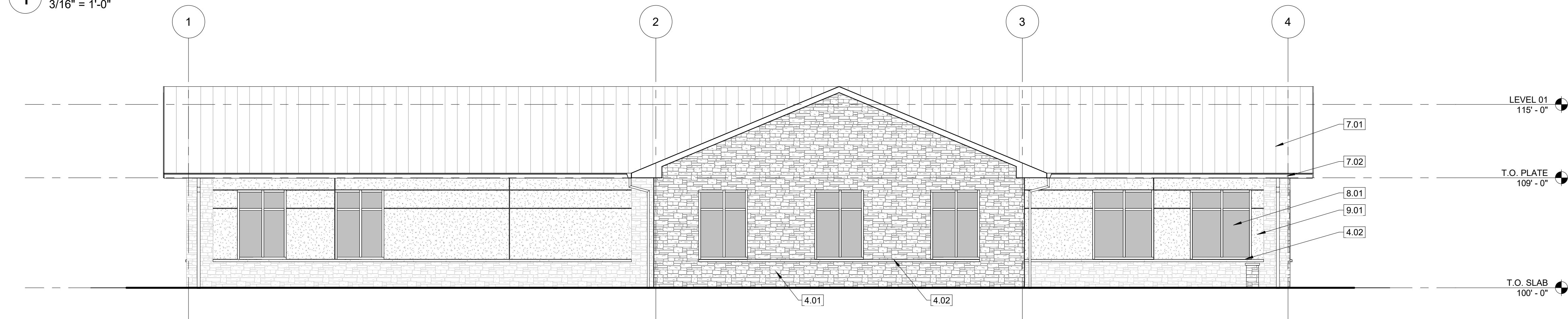
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⬆ □	AA	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1C-735-U-T4W	GALLEON WALL LUMINAIRE (1) 70 CRI, 3500K, 1050mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV WIDE OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		16	GWC-SA1C-735-U-T4W (1).ies	441	1	59
⬆ □	CC	6	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1C-735-U-T4FT	GALLEON WALL LUMINAIRE (1) 70 CRI, 3500K, 1050mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV FORWARD THROW OPTICS Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		16	GWC-SA1C-735-U-T4FT.ies	446	1	59

WILLOW COURT

96TH AND WILLOW STREET
COMMERCE CITY, COLORADO

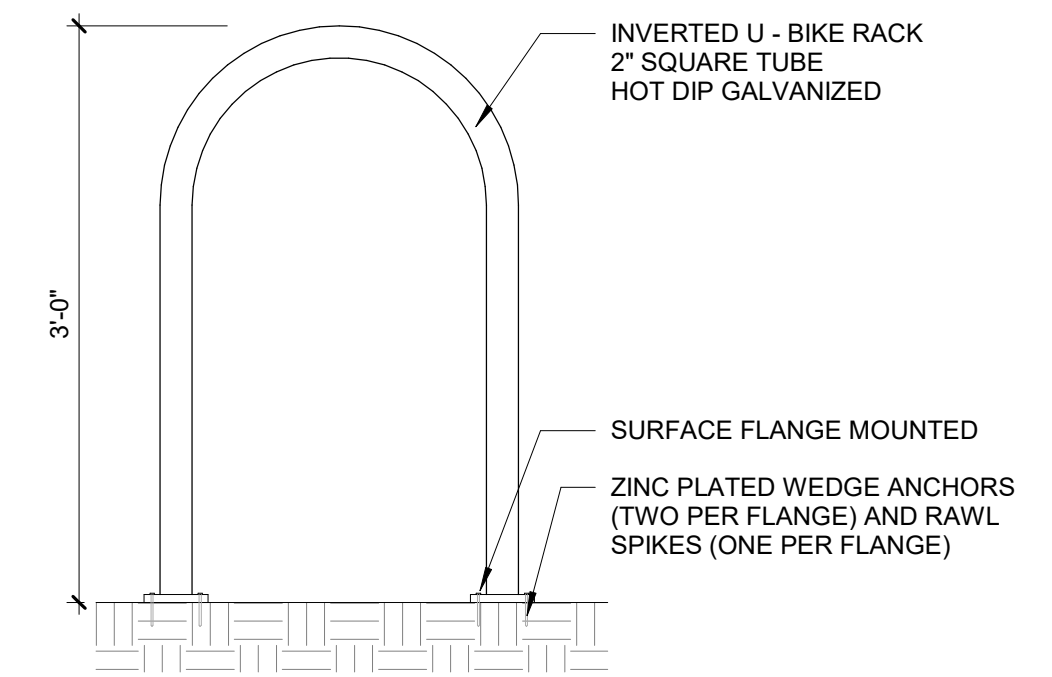


1 NORTH ELEVATION
3/16" = 1'-0"

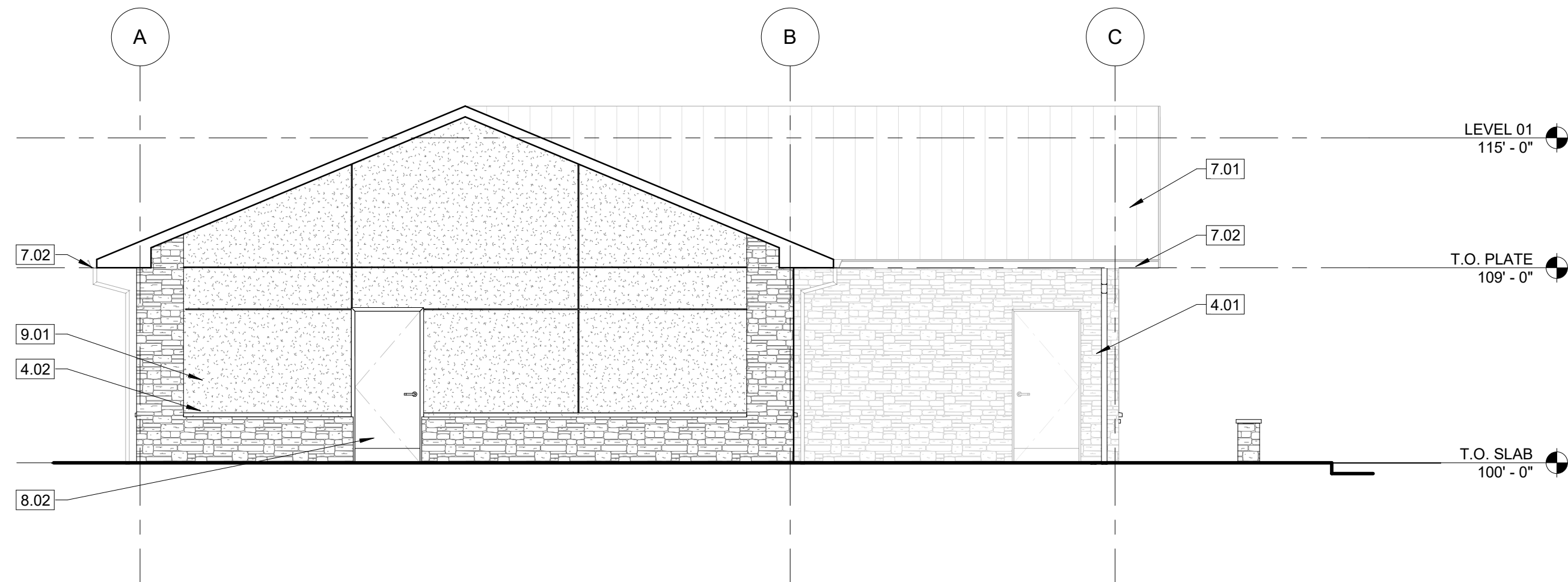


2 EAST ELEVATION
3/16" = 1'-0"

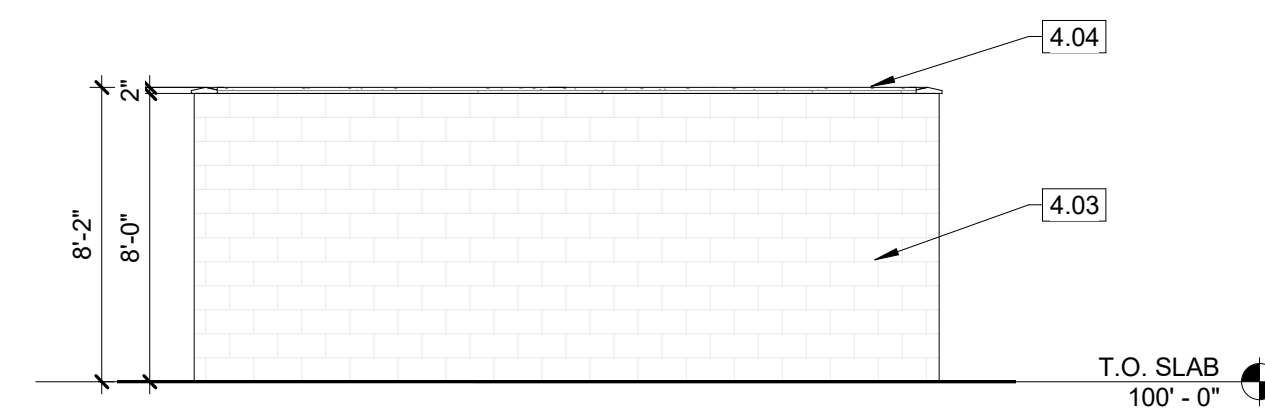
KEYNOTE LEGEND	
Key Value	Keynote Text
4.01	STONE VENEER; BLACK RUNDLE BORAL PRO-FIT ALPINE LEDGESTONE
4.02	CUT STONE SILL
4.03	GROUND FACE CMU BLOCK
4.04	STONE PARAPET CAP
5.01	1-1/2" STEEL TUBE GATE FRAME WITH INFILL METAL PANEL, PAINT: PT-1
7.01	STANDING SEAM METAL ROOF, COLOR: CHARCOAL GRAY
7.02	PRE-FINISHED "K" STYLE METAL GUTTER & DOWNSPOUT, COLOR: CHARCOAL GRAY
8.01	METAL CLAD WOOD WINDOWS WITH 1" INSULATED GLAZING UNITS, COLOR: DARK BRONZE
8.02	HOLLOW METAL DOOR & FRAME, PAINT PT-1
8.03	ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING UNIT, COLOR: DARK BRONZE
9.01	PAREX STUCCO SYSTEM, FINISH: SMOOTH/SAND - COLOR: CANVAS
9.02	4x4 MOSAIC TILE, MMANUFACTURER: DAL TILE, COLOR: TBD



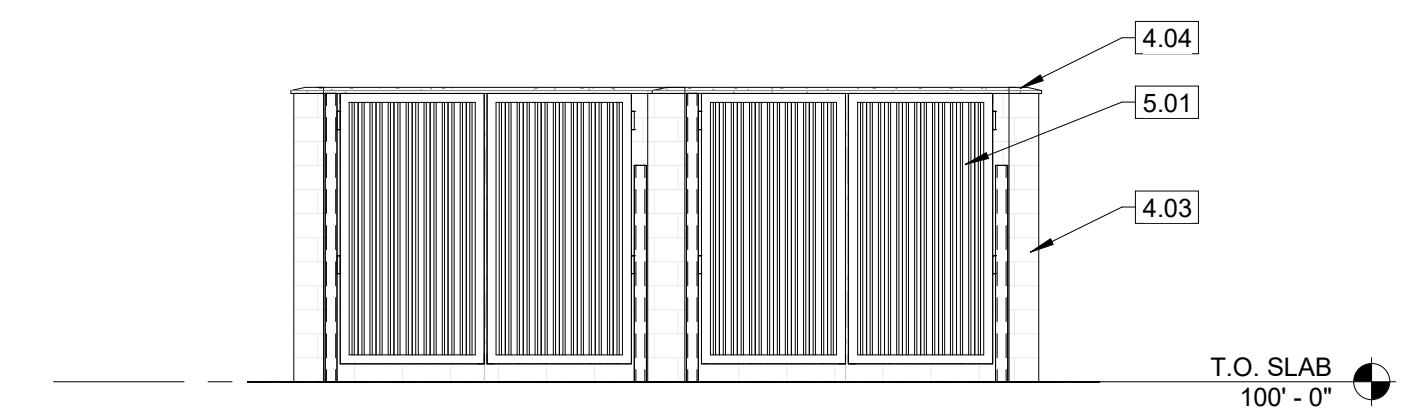
3 INVERTED U - BIKE RACK
1" = 1'-0"



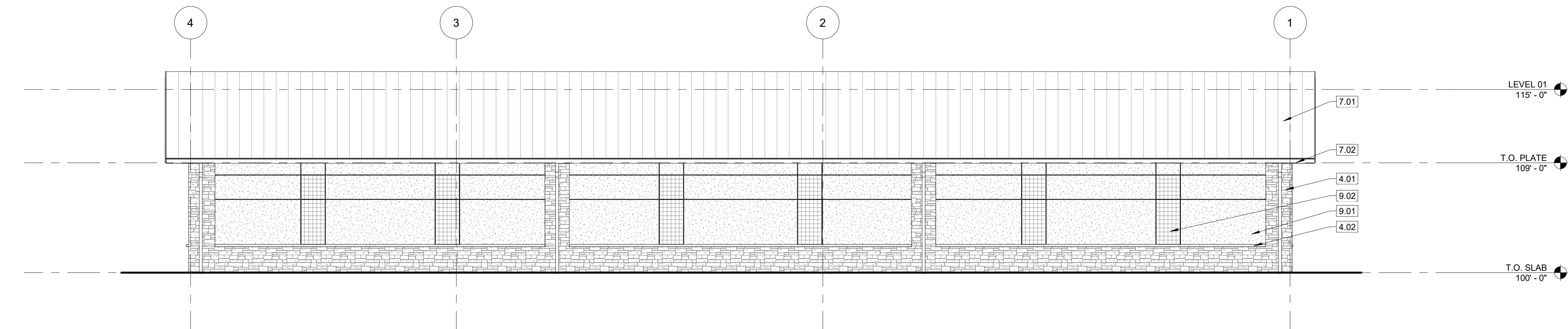
4 SOUTH ELEVATION
3/16" = 1'-0"



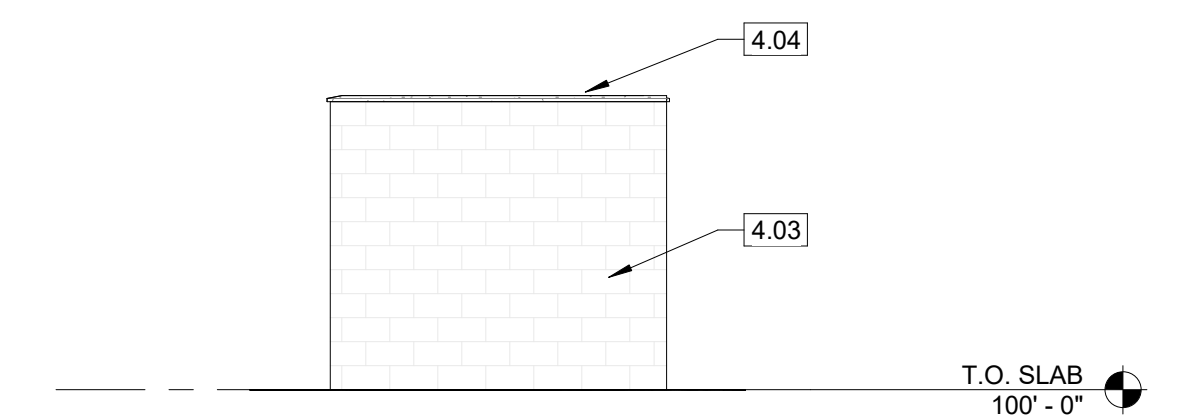
5 NORTH ELEVATION - TRASH
3/16" = 1'-0"



6 SOUTH ELEVATION - TRASH
3/16" = 1'-0"



7 WEST ELEVATION
3/16" = 1'-0"



8 EAST ELEVATION - TRASH
3/16" = 1'-0"

REV. #	ISSUED FOR	DATE	JOB NUMBER:	DRAWN BY:	APPROVED BY:	DATE:	SHEET TITLE:
			20031	XXX	JF	09/21/2022	EXTERIOR ELEVATIONS